

SITE PLAN KEYNOTES:

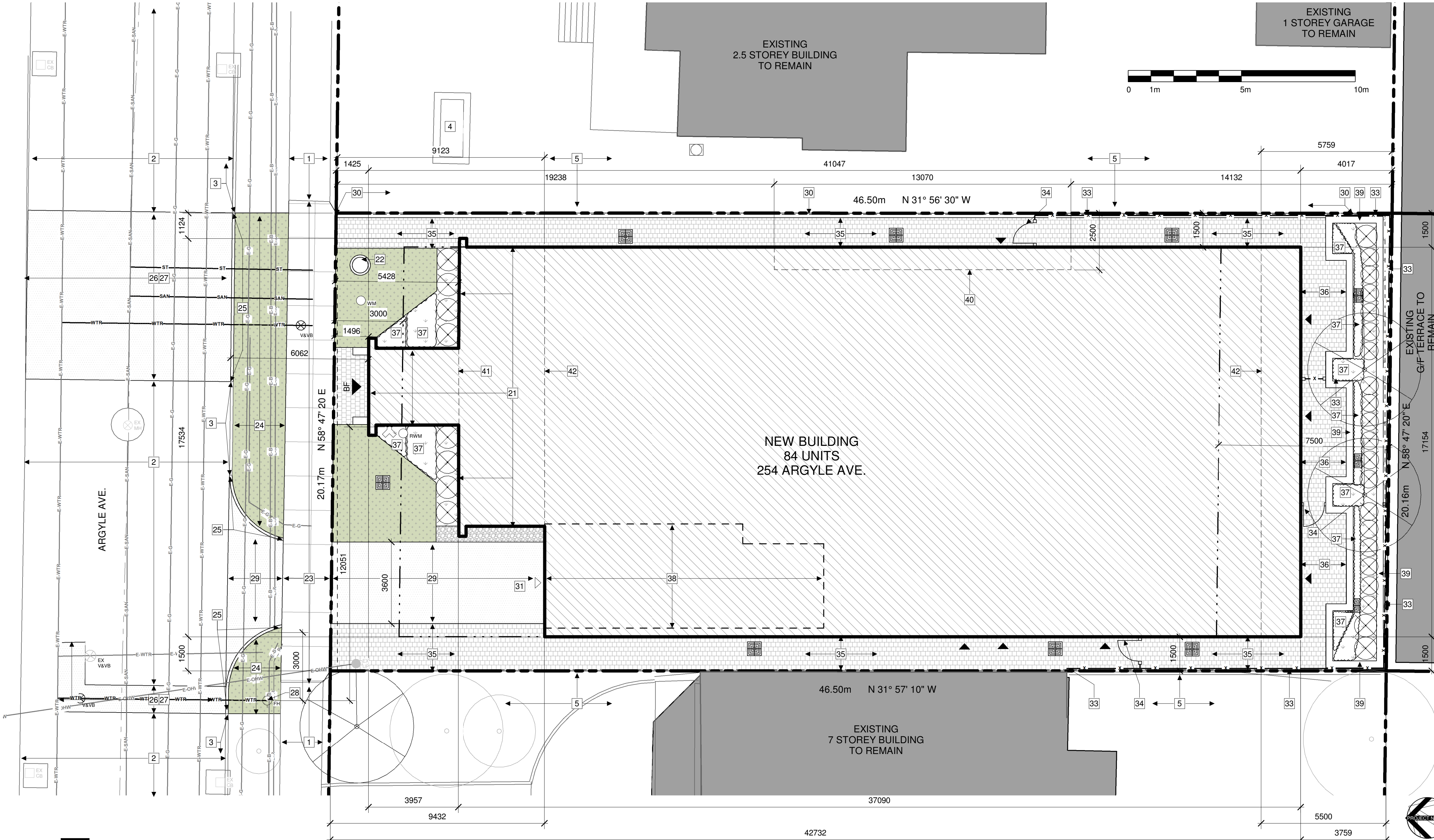
- 1 EXISTING SIDEWALK TO REMAIN
- 2 EXISTING ASPHALT PAVING TO REMAIN
- 3 EXISTING CURB TO REMAIN
- 4 EXISTING SIGN TO REMAIN
- 5 EXISTING LANDSCAPING TO REMAIN.
- 21 RELOCATE EXISTING CHURCH FACADE TO NEW LOCATION
- 22 VENTED CISTERN LID
- 23 NEW CONCRETE SIDEWALK PER CIVIL
- 24 REINSTATE TOP SOIL AND GRASS IN BETWEEN ROAD AND SIDEWALK AT AREAS EFFECTED BY CONSTRUCTION
- 25 NEW CURB PER CIVIL
- 26 REINSTATE EXISTING ROAD ASSEMBLY PER CIVIL AT AREAS EFFECTED BY DEMOLITION AND CONSTRUCTIONS. PROVIDE SMOOTH TRANSITION TO EXISTING PAVING.
- 27 BACKFILL TRENCHES AS REQUIRED PER CIVIL AND GEOTECHNICAL.
- 28 RELOCATE EXISTING FIRE HYDRANT PER CIVIL.
- 29 NEW DRIVEWAY PER CIVIL
- 30 NEW CURB WALL PER CIVIL
- 31 OVERHEAD DOOR TO UNDERGROUND PARKING
- 32 WOOD PRIVACY FENCE PER LANDSCAPING
- 33 TERMINATE WOOD PRIVACY FENCE FLUSH TO THE RETAINING WALL PER LANDSCAPING
- 34 PEDESTRIAN GATE
- 35 WALKWAY PER LANDSCAPING
- 36 PATIO PER LANDSCAPING
- 37 PLANTS PER LANDSCAPING
- 38 VAULT
- 39 RAISED PLANTER WALL PER LANDSCAPING
- 40 STEPBACK AT LEVELS 2 TO ROOF
- 41 SETBACK AT LEVEL 1B
- 42 SETBACK AT LEVELS 1C TO ROOF

SITE PLAN GENERAL NOTES:

1. ALL GENERAL SITE INFORMATION AND CONDITIONS COMPILED FROM EXISTING PLANS AND SURVEYS
2. DO NOT SCALE THIS DRAWING
3. REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK. NO RESPONSIBILITY IS BORN BY THE CONSULTANT FOR UNKNOWN SUBSURFACE CONDITIONS
4. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS AND/OR OMISSIONS TO THE CONSULTANT
5. REINSTATE ALL AREAS AND ITEMS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE CONSULTANT
6. CONTRACTOR TO LAYOUT PLANTING BEDS, PATHWAYS ETC. TO APPROVAL OF CONSULTANT PRIOR TO ANY JOB EXCAVATION
7. THE ACCURACY OF THE POSITION OF UTILITIES IS NOT GUARANTEED - CONTRACTOR TO VERIFY PRIOR TO EXCAVATION
8. INDIVIDUAL UTILITY COMPANY MUST BE CONTACTED FOR CONFIRMATION OF UTILITY EXISTENCE AND LOCATION PRIOR TO DIGGING
9. ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE NOTED

SITE PLAN LEGEND:

- EXISTING BUILDING & SITE ELEMENTS
- NEW BUILDING
- NEW ASPHALT PAVING
- NEW GRASS
- NEW PLANTING BEDS / PLANTS PER LANDSCAPING
- NEW CONCRETE SIDEWALK
- NEW CONCRETE PAD
- NEW RIVER STONE PER LANDSCAPING
- NEW PAVER PER LANDSCAPING
- PROPERTY LINE
- SET BACK LINE
- EXTENT OF PARKING BELOW GRADE
- NEW FENCE PER LANDSCAPE
- EXISTING WATER MAIN TO REMAIN
- NEW WATER MAIN PER CIVIL
- EXISTING SANITARY SEWAGE TO REMAIN
- NEW SANITARY SEWAGE PER CIVIL
- EXISTING STORM SEWAGE TO REMAIN
- NEW STORM SEWAGE PER CIVIL
- EXISTING ELECTRICAL OVERHEAD SERVICE TO REMAIN
- NEW ELECTRICAL OVERHEAD SERVICE PER ELECTRICAL
- EXISTING GAS LINE TO REMAIN
- NEW GAS LINE PER CIVIL
- EXISTING BELL LINE TO REMAIN
- EXISTING ROGER LINE TO REMAIN
- ENTRANCE / BARRIER-FREE ENTRANCE
- MAIN ENTRANCE
- VEHICLE ACCESS
- NEW AREA DRAIN PER CIVIL
- CATCH BASIN: EXISTING TO REMAIN / NEW PER CIVIL
- MAINTENANCE HOLE: EXISTING TO REMAIN / NEW PER CIVIL
- UTILITY POLE: EXISTING TO REMAIN / NEW PER CIVIL
- VALVE AND VALVE BOX : EXISTING TO REMAIN / NEW PER CIVIL
- LIGHT STANDARD
- NEW FIRE HYDRANT PER CIVIL
- NEW WATER METER PER CIVIL
- NEW REMOTE WATER METER PER CIVIL
- NEW SIAMESE CONNECTION
- NEW DROPPED CURB
- NEW TREE PER LANDSCAPING
- EXISTING TREE TO REMAIN
- SHRUB: EXISTING TO REMAIN / NEW PER LANDSCAPING



1 NEW SITE PLAN
A100 1:100

LEGAL DESCRIPTION
LOT 16 (SOUTH ARGYLE AVENUE)
REGISTERED PLAN 30
CITY OF OTTAWA

REFERENCE SURVEY
DRAFT OF TOPOGRAPHIC PLAN OF SURVEY OF
LOT 16 (SOUTH ARGYLE AVENUE)
REGISTERED PLAN 30
CITY OF OTTAWA
PREPARED BY SURVEYED BY ANNIS, O'SULLIVAN,
VOLLEBECK LTD.

MUNICIPAL ADDRESS
254 ARGYLE AVE. OTTAWA, ON

SITE AREA	937.6m ²
BUILDING AREA	633.56m ²
GROSS FLOOR AREA	3,810.12m ²
BUILDING HEIGHT	35m 9 STOREYS
ZONE:	R5B H(19)
SCHEDULE 1:	AREA B
SCHEDULE 1A:	AREA X

ZONING PROVISION	REQUIRED	PROVIDED
MIN. LOT WIDTH	22.5m	20.17m
MIN. LOT AREA	675m ²	937.05m ²
MIN. FRONT YARD SETBACK	3m	1.42m
MIN. REAR YARD SETBACK	7.5m	3.759m
MIN. INTERIOR YARD SETBACK	1.5m (6m past 21m)	1.5m
MAX. HEIGHT	19m	34.5m
AMENITY AREA	504m ² (6m ² /unit)	582.5m ²
LANDSCAPED AREA	281.12m ²	270.94m ²

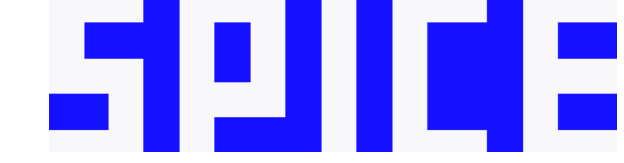
PARKING QUEUING + LOADING	REQUIRED	PROVIDED	UNIT TYPES	PROVIDED	GFA BREAKDOWN	PROVIDED
RESIDENTIAL SPACES	42	27	STUDIO	41	RESIDENTIAL	3718.81m ²
VISITOR SPACES	8	8	1 BEDROOM	32	WINE BAR	91.31m ²
ACCESSIBLE PARKING	0	2	2 BEDROOM	9	TOTAL	3810.12m ²
BICYCLE PARKING	42 (.5/UNIT)	84	3 BEDROOM	2		
			TOTAL	84		

ARCHITECT OF RECORD

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www.csv.ca Ottawa, Ontario, Canada K2P 2P3

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STAMP

4	2024.12.13	ISSUED FOR SPC AND REZONING COMMENT RESPONSE 01
3	2024.10.25	REISSUED FOR SPC AND REZONING
2	2024.08.29	ISSUED FOR SPC AND REZONING
1	2024.05.08	ISSUED FOR PHASE 2 PRECONSULT
REV DATE	ISSUE	

NOTES
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CLIENT



OTTAWA
ONTARIO, CANADA

PROJECT

254 ARGYLE

254 Argyle Avenue, Ottawa, Ontario

TITLE

SITE PLAN

PROJECT NO: 2023-0250
DRAWN: EF / IK
APPROVED: DH
SCALE: As indicated
DATE PRINTED: 12/13/2024 2:08:59 PM

REV DRAWING NO.

4 A100



GENERAL REFERENCE PLAN NOTES:

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- C. REFER TO MECHANICAL + ELECTRICAL DRAWINGS FOR DETAILS OF UNDERGROUND SERVICES.
- D. ALL EXTERIOR FOUNDATION WALLS ARE DIMENSIONED TO EXTERIOR FACE OF ASSEMBLY UNLESS OTHERWISE NOTED.
- E. ALL INTERIOR FOUNDATION WALLS + FOOTINGS ARE DIMENSIONED FROM GRIDLINE TO FACE UNLESS OTHERWISE NOTED.
- F. ALL WINDOWS ARE DIMENSIONED TO CENTERLINE OF WINDOW OPENING, UNLESS OTHERWISE NOTED.
- G. ALL DOORS ARE DIMENSIONED TO CENTERLINE OF DOOR OPENING, INCLUDING SIDELIGHT FRAMING, UNLESS OTHERWISE NOTED.
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- K. ENSURE 25mm MINIMUM THICKNESS OF CONCRETE COVER OVER VERTICAL STEEL REINFORCEMENT TO ALL REINFORCED CONCRETE STRUCTURAL COLUMNS AND WALLS.

REFERENCE PLAN KEYNOTES:

- 1 CISTERN OVERFLOW AND HATCH / VENTED CISTERN LID
- 2 EXTENT OF DROPPED SLAB ABOVE
- 3 DOUBLE TEAR BICYCLE STORAGE SPACES
- 4 EXIT ONLY
- 5 EXTENT OF FOUNDATION WALL BELOW

REFERENCE PLAN LEGEND:

- NOT IN CONTRACT
- PAINTED PARKING ISLAND

STAMP

REV	DATE	ISSUE
3	2024.10.25	REISSUED FOR SPC AND REZONING
2	2024.08.29	ISSUED FOR SPC AND REZONING

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CLIENT



OTTAWA
ONTARIO, CANADA

PROJECT

254 ARGYLE

254 Argyle Avenue, Ottawa, Ontario

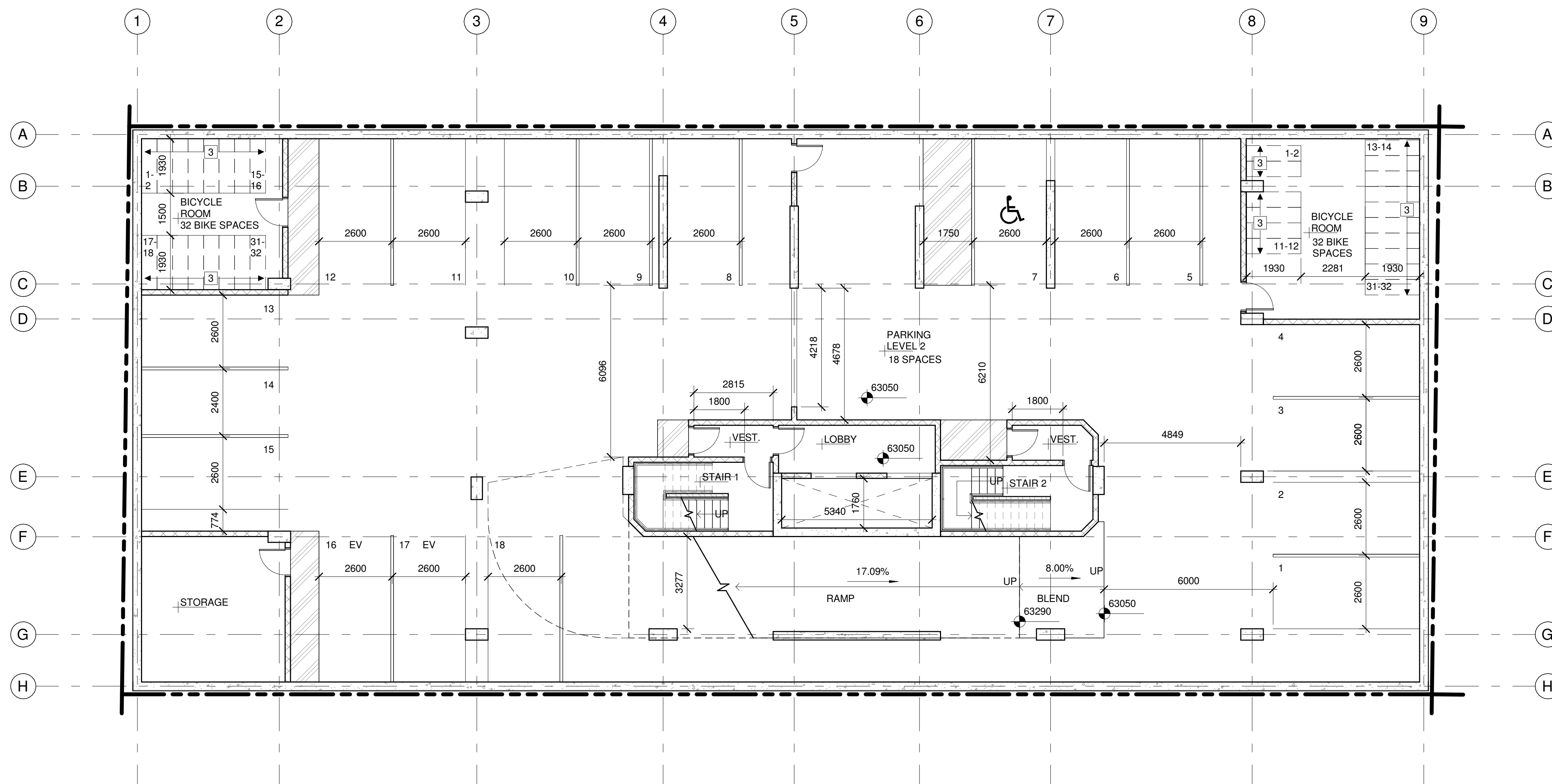
TITLE

LEVEL -2 PLAN

PROJECT NO: 2023-0250
 DRAWN: Author
 APPROVED: Approver
 SCALE: 1 : 100
 DATE PRINTED: 2025-03-24 11:59:31 AM

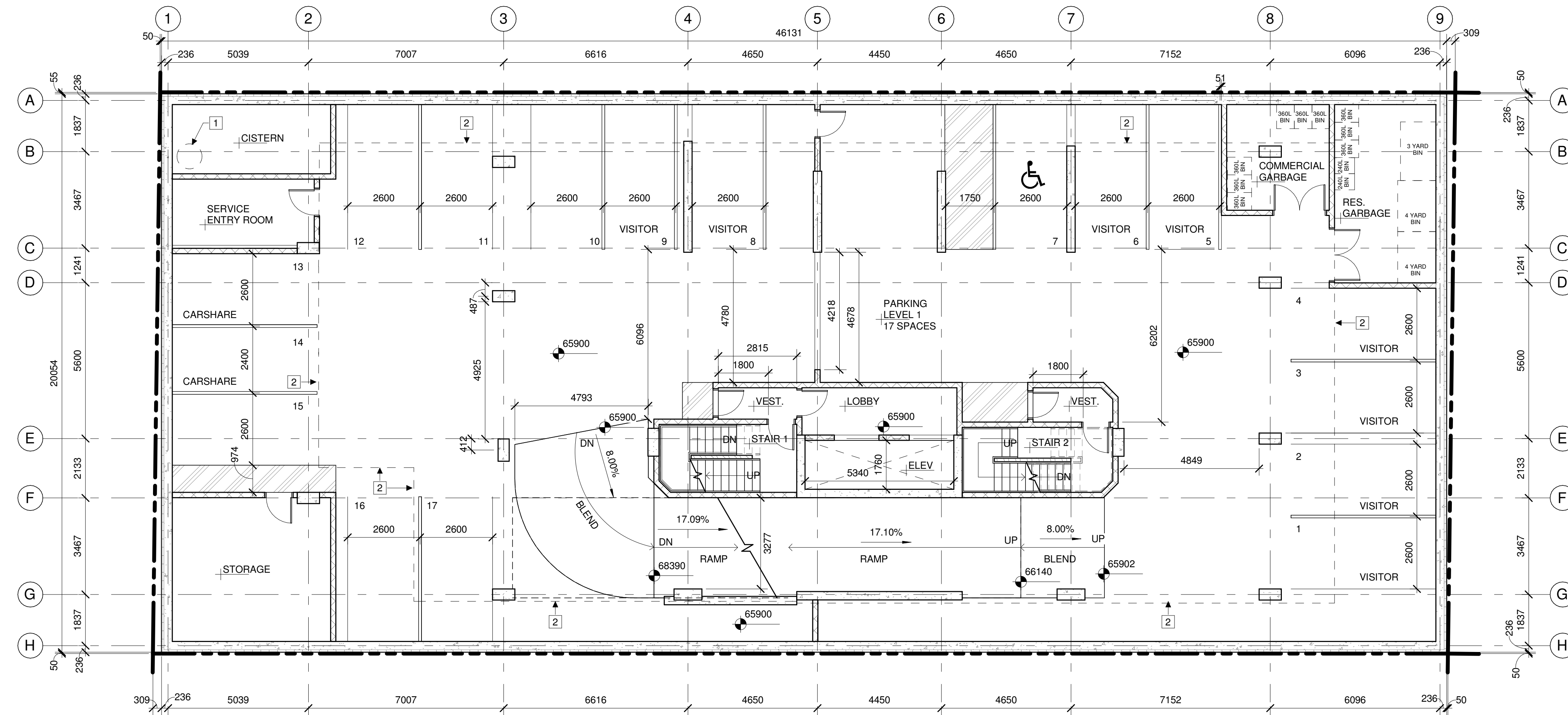
REV DRAWING NO.

3 A200

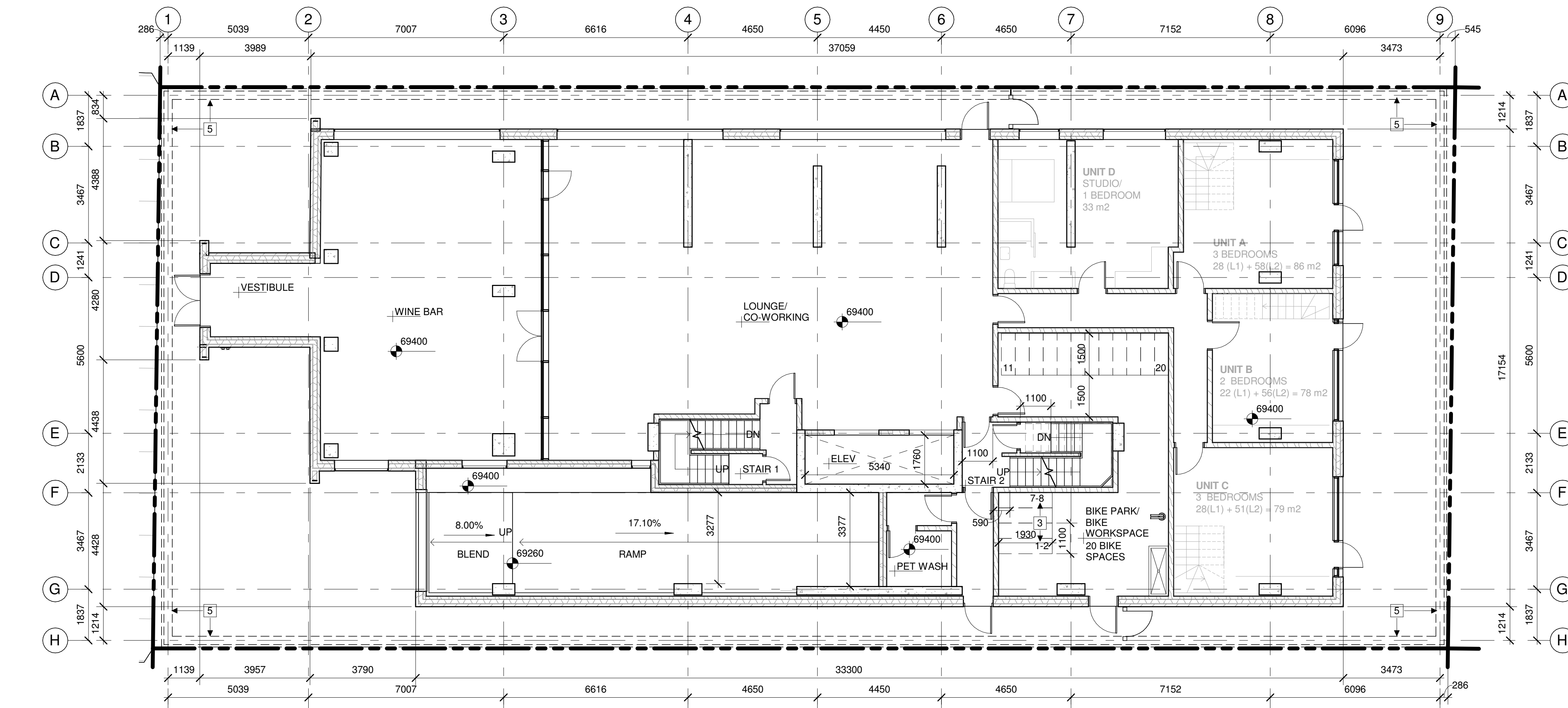


1 LEVEL -2 PLAN
A200 1:100





1 LEVEL -1 PLAN
A201 1:100



2 GROUND FLOOR REFERENCE PLAN
A201 1:100



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REFERENCE PLAN LEGEND:

- NOT IN CONTRACT
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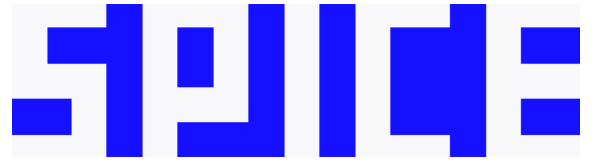
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1	2024.05.08	ISSUED FOR PHASE 2 PRECONSULT

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CLIENT



OTTAWA
ONTARIO, CANADA

PROJECT

254 ARGYLE

254 Argyle Avenue, Ottawa, Ontario

TITLE

**LEVEL -1 AND
GROUND FLOOR
PLANS**

PROJECT NO: 2023-0250
DRAWN: IK / EF
APPROVED: DH
SCALE: 1 : 100
DATE PRINTED: 2025-03-24 11:59:32 AM

REV DRAWING NO.

4

A201



GENERAL REFERENCE PLAN NOTES:

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REFERENCE PLAN KEYNOTES:

- 1 COLUMN PER STRUCTURAL
- 2 WALL PER STRUCTURAL

REFERENCE PLAN LEGEND:

- NOT IN CONTRACT

STAMP

REV	DATE	ISSUE
3	2024.10.25	REISSUED FOR SPC AND REZONING
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OTTAWA
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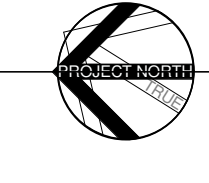
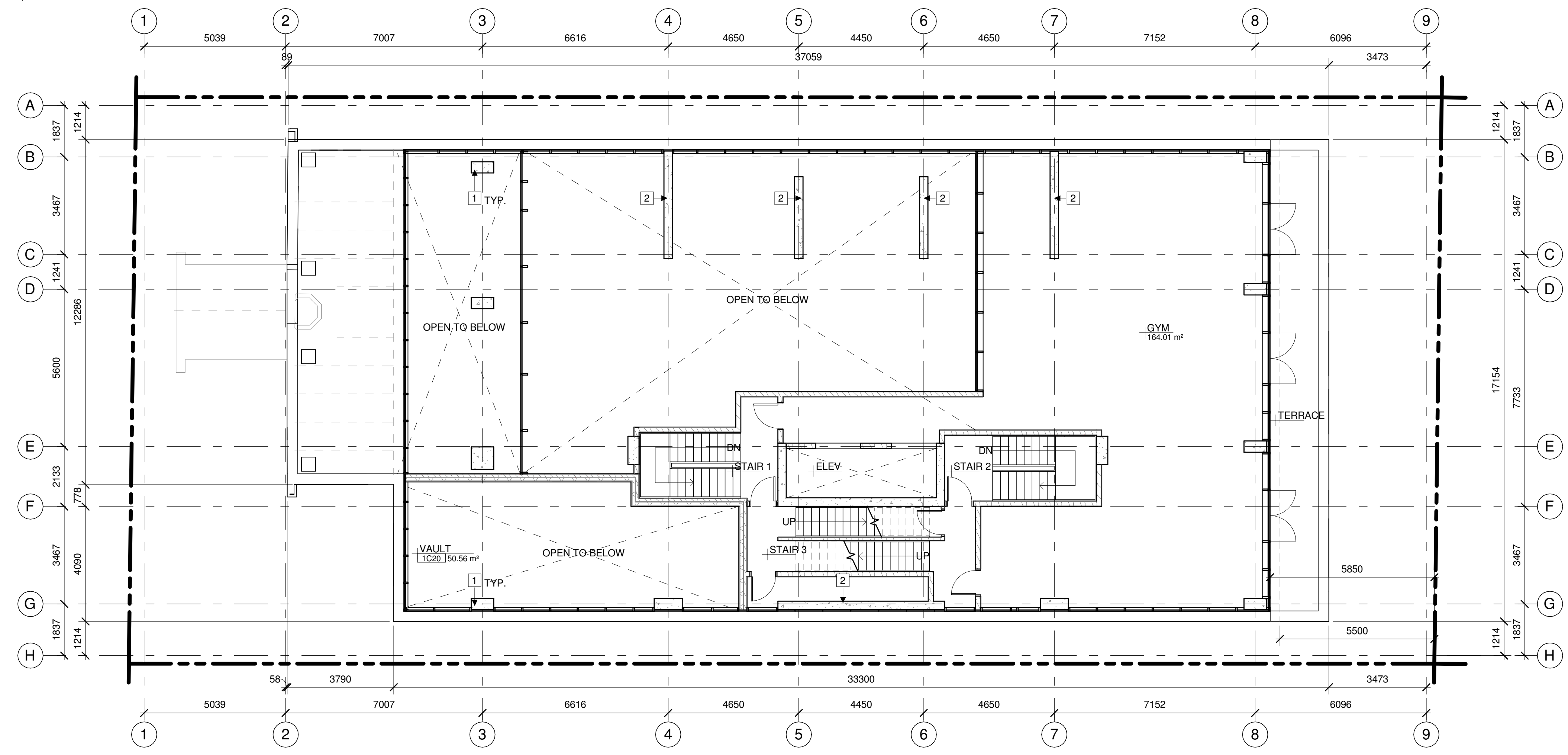
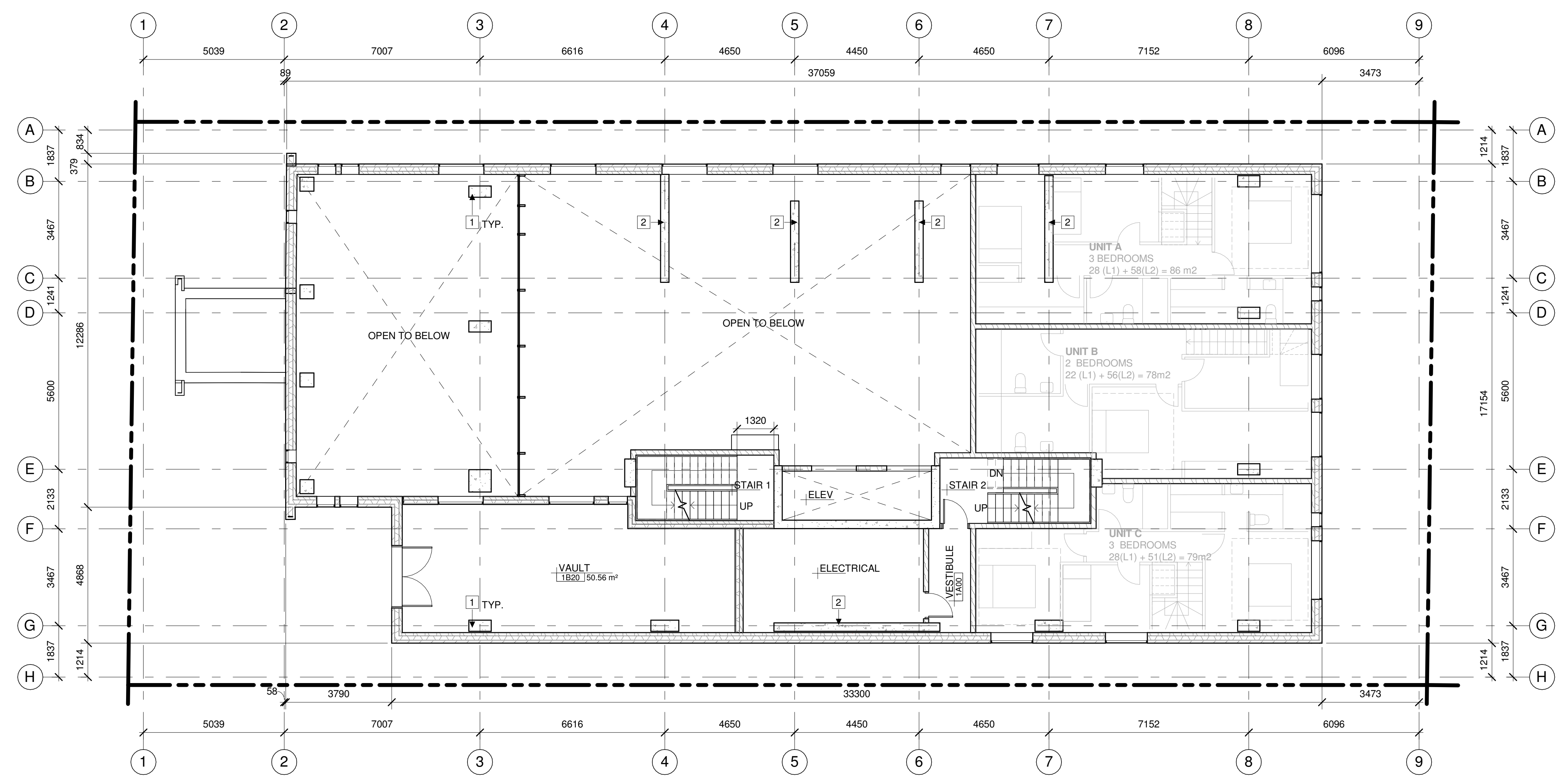
TITLE

LEVEL 1B AND LEVEL 1C PLANS

PROJECT NO: 2023-0250
DRAWN: IK / EF / RK
APPROVED: DH
SCALE: 1 : 100
DATE PRINTED: 2025-03-20 9:35:07 AM

REV DRAWING NO.

3 A202





4	2024.12.13	ISSUED FOR SPC AND REZONING COMMENT RESPONSE 01
3	2024.10.25	REISSUED FOR SPC AND REZONING
2	2024.08.29	ISSUED FOR SPC AND REZONING
1	2024.05.08	ISSUED FOR PHASE 2 PRECONSULT

REV DATE ISSUE

- NOTES
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CLIENT



OTTAWA
ONTARIO, CANADA

PROJECT

254 ARGYLE

254 Argyle Avenue, Ottawa, Ontario

TITLE

ROOFS & PENTHOUSE PLANS

PROJECT NO: 2023-0250
DRAWN: IK / EF / RK
APPROVED: DH
SCALE: 1 : 100
DATE PRINTED: 12/13/2024 2:09:08 PM

REV DRAWING NO.

4 **A204**

GENERAL REFERENCE PLAN NOTES:

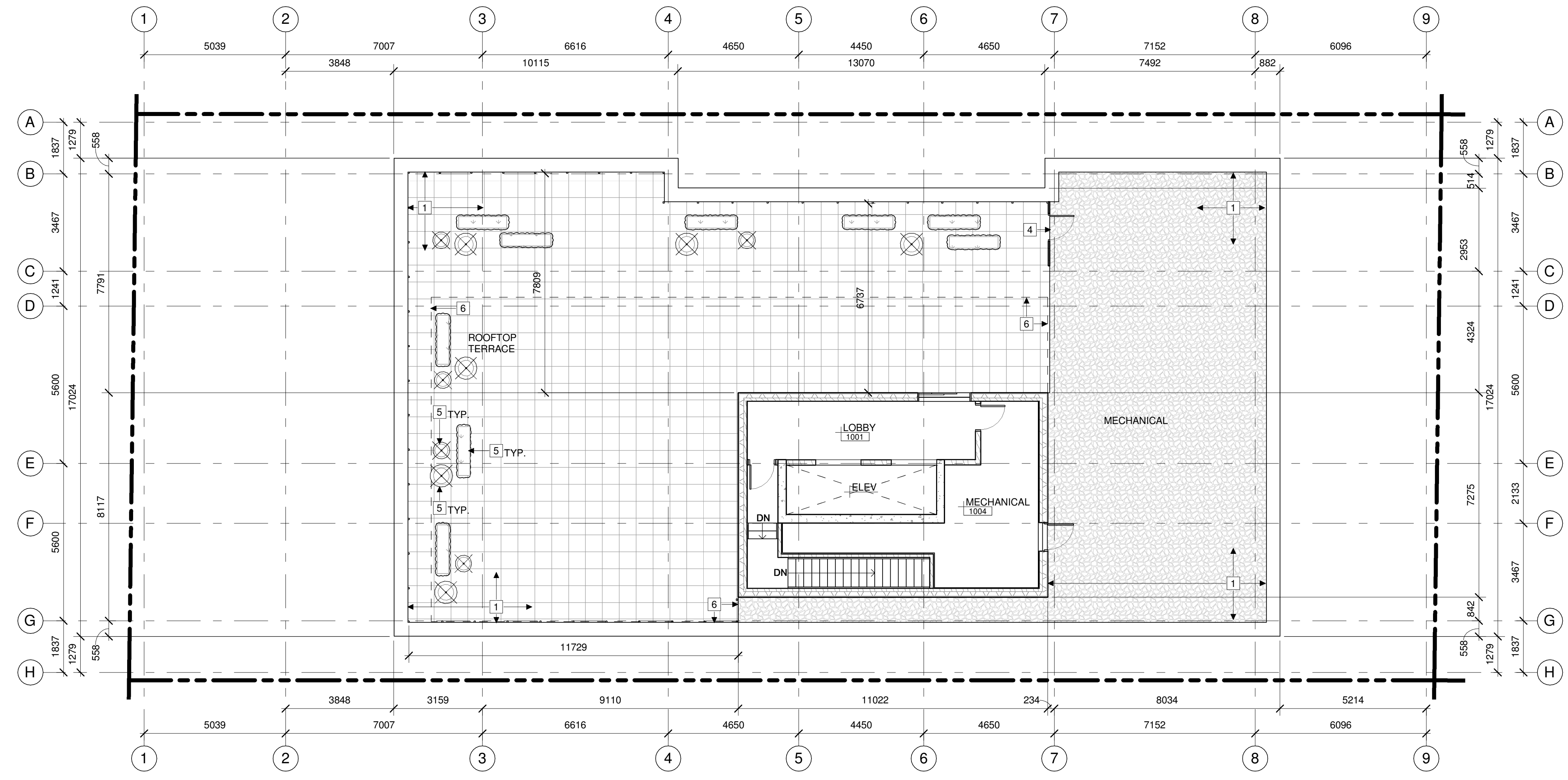
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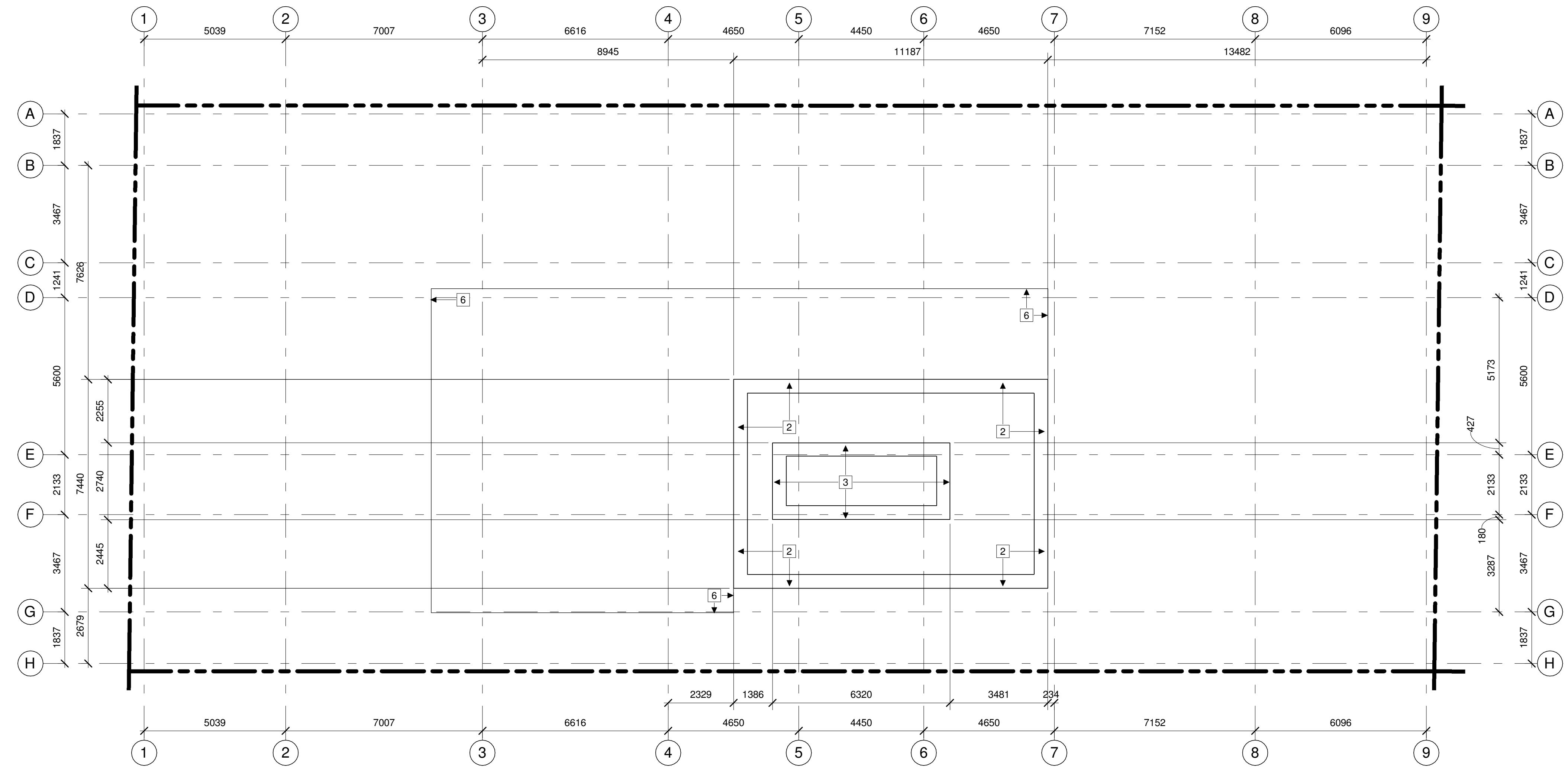
- LOWER LEVEL ROOF
- UPPER ROOF
- ELVATOR SHAFT ROOF
- ROOF SCREEN AND GATE
- SHRUBS IN PLANTER
- EXTENT OF PERGOLA

REFERENCE PLAN LEGEND:

NOT IN CONTRACT



1 PENTHOUSE & MAIN ROOF PLAN
A204 1:100



2 UPPER ROOF PLAN
A204 1:100