

SITE INFORMATION:

SITE AREA: 20.725 hectares / 51.21 acres
 LEGAL DESCRIPTION: PART OF LOT 12, CONCESSION 8
 GEOGRAPHIC TOWNSHIP OF GOULBOURN
 CITY OF OTTAWA
 PIN: 04438-0006

BUILDING INFORMATION

EXISTING BUILDING AREA:

BUILDING A - FERROUS METALS	59.0 SM
BUILDING B - WEIGH SCALE OFFICE	49.9 SM
BUILDING C - STAFF TRAILERS	111.8 SM
BUILDING D - VEHICLE DRAINAGE SHED	91.4 SM
BUILDING E - ATM	14.5 SM
BUILDING F - OFFICE	81.4 SM
TOTAL	408.0 SM

NOTE: BUILDINGS A & C ARE PROPOSED TO BE DEMOLISHED; BUILDINGS B, D & E ARE PROPOSED TO BE RELOCATED

NEW BUILDING AREA:

BUILDING G - WAREHOUSE AND OFFICE (2 STOREYS)	2,008.6 SM
BUILDING H - TRUCK MAINTENANCE AND REPAIR	937.0 SM
TOTAL AREA PROPOSED	2,945.6 SM

EXISTING TO REMAIN AND TO BE RELOCATED BUILDING AREA:

BUILDING B - WEIGH SCALE OFFICE (RELOCATED)	49.9 SM
BUILDING D - VEHICLE DRAINAGE SHED (RELOCATED)	91.4 SM
BUILDING E - ATM (RELOCATED)	14.5 SM
BUILDING F - OFFICE	81.4 SM
TOTAL TO REMAIN	237.2 SM

ZONING INFORMATION (CITY OF OTTAWA BYLAW 2008 250)

CURRENT ZONING DESIGNATIONS: RG1(21) - RURAL GENERAL INDUSTRIAL
 RU - RURAL COUNTRYSIDE

RG1 ZONING IS TO REMAIN; A PORTION OF THE AREA CURRENTLY ZONED AS RU IS PROPOSED TO BE ZONED AS RG1

ZONING BYLAW 2008-250 (Part 11 Sections 219, 220 and 227)

RG1 PERMITTED USES:

- ANIMAL CARE ESTABLISHMENT
- ANIMAL HOSPITAL
- AUTOMOBILE BODY SHOP
- AUTOMOBILE DEALERSHIP
- AUTOMOBILE SERVICE STATION
- CANNABIS PRODUCTION FACILITY
- DRIVE-THROUGH FACILITY
- DWELLING UNIT
- GAS BAR
- HEAVY EQUIP. & VEHICLE SALES, RENTAL & SERV.
- KENNEL
- LEAF AND YARD WASTE COMPOSTING FACILITY
- LIGHT INDUSTRIAL USES
- PARKING LOT
- PRINTING PLANT
- RETAIL STORE (LIMITED TO AGRI. CONST. & LANDSCAPE EQUIP. & SUPPLIES)
- SERVICE AND REPAIR SHOP
- STORAGE YARD
- TRUCK TRANSPORT TERMINAL
- WAREHOUSE
- WASTE PROCESSING AND TRANSFER FACILITY (NON-PUTRESCIBLE)

RU PERMITTED USES:

- AGRICULTURAL USE
- AGRICULTURE-RELATED USE
- ANIMAL CARE ESTABLISHMENT
- ANIMAL HOSPITAL
- ARTIST STUDIO
- BED AND BREAKFAST
- CANNABIS PRODUCTION FACILITY
- CEMETERY
- DETACHED DWELLING
- EQUESTRIAN ESTABLISHMENT
- ENVIRON. PRESERVE & EDUCATIONAL AREA
- FORESTRY OPERATION
- GROUP HOME
- HOME-BASED BUSINESS
- HOME-BASED DAY CARE
- KENNEL
- ON-FARM DIVERSIFIED USE
- RETIREMENT HOME
- SECONDARY DWELLING UNIT

EXCEPTION 21R:
 A DETACHED DWELLING MUST BE ACCESSORY TO A PRINCIPAL USE.

ZONING PROVISIONS (TABLE 219 AND 227):

	RG1	RU
MINIMUM LOT WIDTH:	60 M	50 M (60 M IF AGRICULTURAL)
MINIMUM LOT AREA:	8.0 HA	0.8 HA (2.0 HA IF AGRICULTURAL)
MINIMUM SETBACKS:		
FRONT YARD:	15.0 M	10.0 M
REAR YARD:	15.0 M	10.0 M
INTERIOR SIDE YARD:	8.0 M	5.0 M
CORNER SIDE YARD:	12.0 M	10.0 M
MAXIMUM BUILDING HEIGHT:	15.0 M	12.0 M
MAXIMUM LOT COVERAGE:	50%	20%

PARKING (Part 4, Sections 100-114)

PARKING DESIGNATION: SCHEDULE 1A: AREA D - RURAL

PARKING SPACES (TABLE 101, ROWS N49, N59 AND N95):

MINIMUM PARKING REQUIRED:	
LIGHT INDUSTRIAL:	8 (0.8 PER 100 SM OF GFA)
OFFICE:	24 (2.4 PER 100 SM OF GFA)
WAREHOUSE:	4 (0.4 PER 100 SM OF GFA)
TOTAL	36

PROPOSED PARKING : 224 (INCLUDING 91 FOR "CFT AUTO" STOCK)

PARKING AREA LANDSCAPING PROVISIONS (SECTION 110):

LANDSCAPE BUFFER REQUIRED: 1.5 M FOR PARKING AREAS NOT ABUTTING A STREET
 PROPOSED: MINIMUM 1.5 M

BICYCLE PARKING (SECTION 111): 1 PER 1,000 SM

REQUIRED FOR BUILDING G:	3	REQUIRED FOR BUILDING H:	1
PROPOSED FOR BUILDING G:	3	PROPOSED FOR BUILDING H:	1

NOTE THAT BUILDING G AND BUILDING H PROPOSED BICYCLE PARKING WILL BE PROVIDED IN ONE LOCATION CLOSE TO BUILDING G

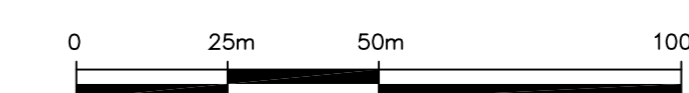
SEE 03/SP-A02 FOR CONTINUATION OF ZONING INFORMATION

02 SITE, BUILDING AND ZONING INFORMATION

SCALE: N/A

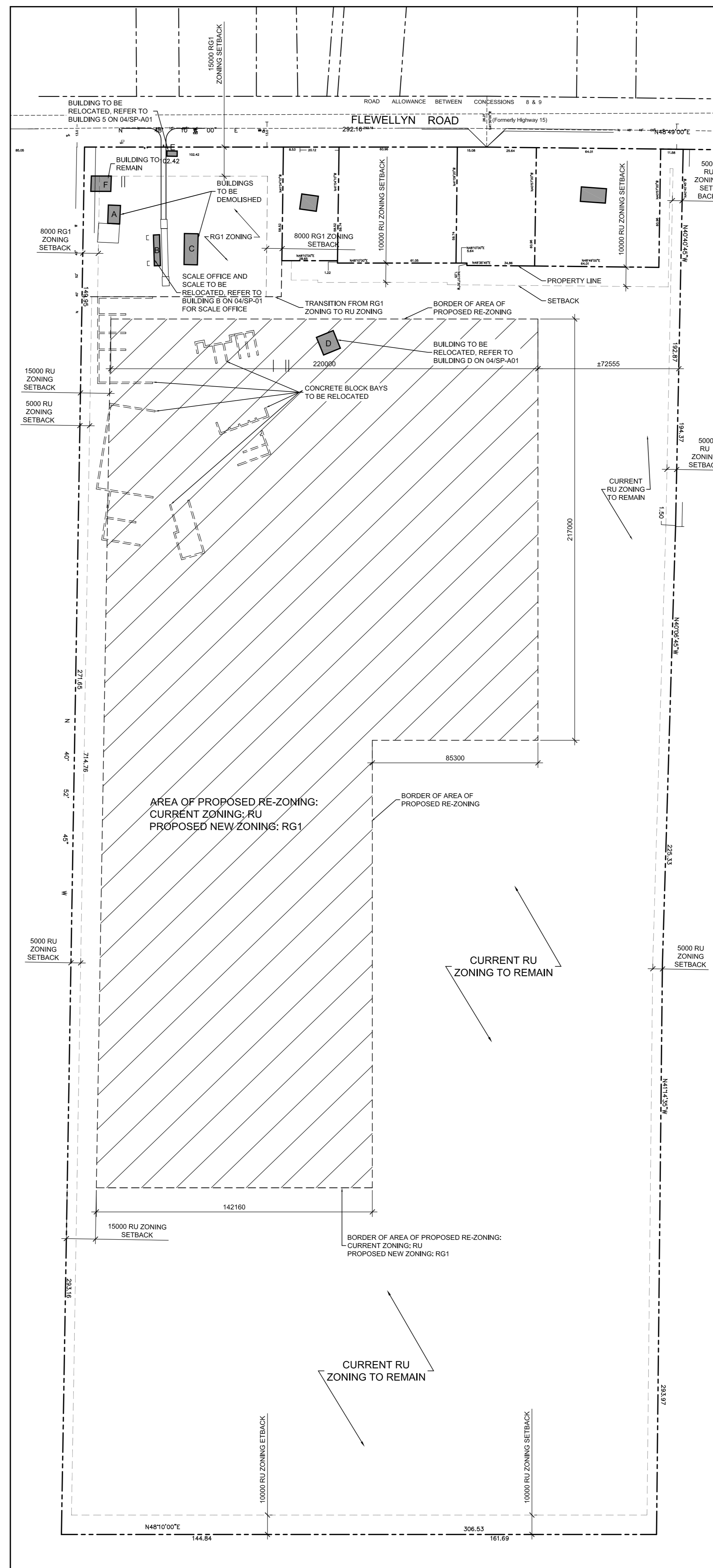
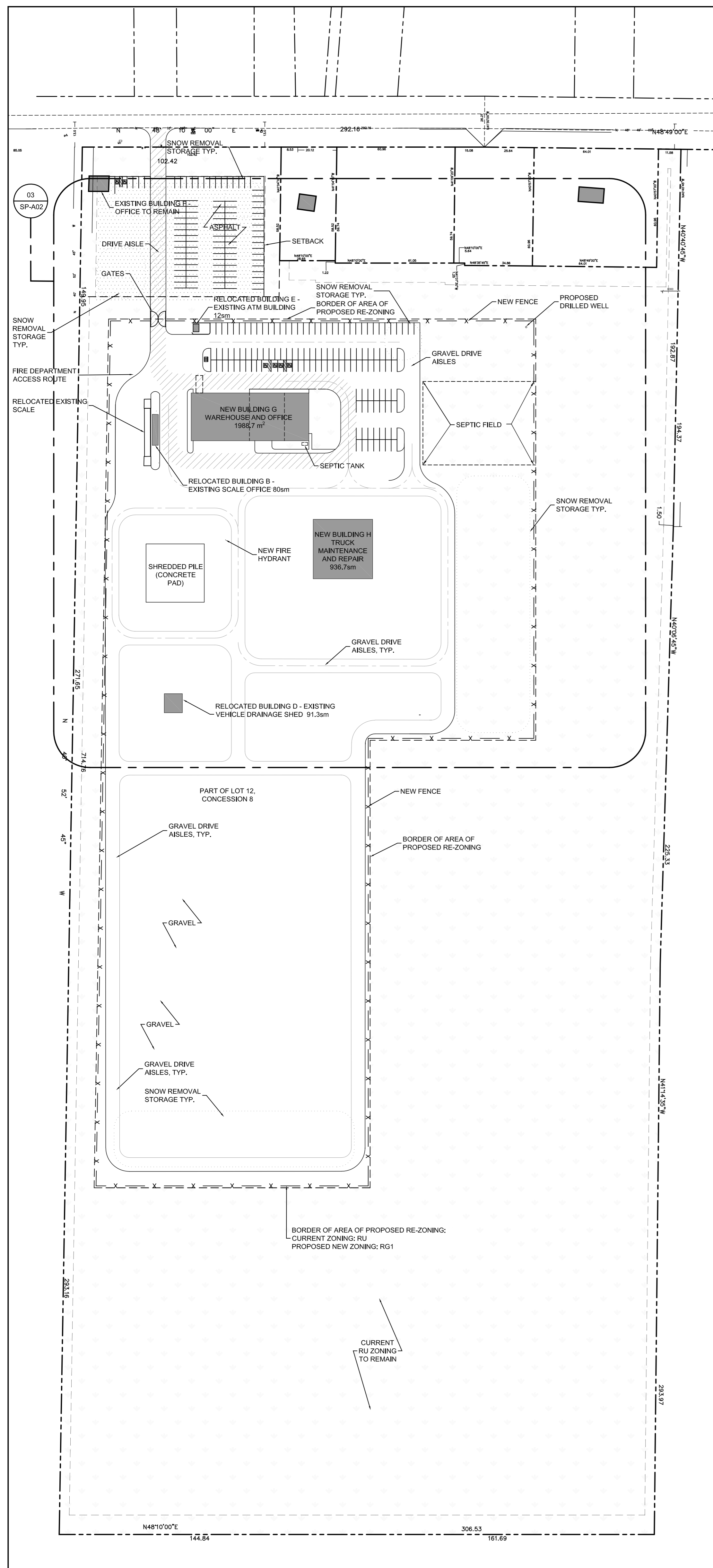
LEGEND

- PROPERTY LINE
- SETBACK FOR RU AND RG1 ZONING
- BORDER OF AREA OF PROPOSED RE-ZONING
- SNOW REMOVAL STORAGE
- FENCE
- AREA OF PROPOSED RE-ZONING SHOWN IN 03/SP-A01
- EXISTING LANDSCAPE TO REMAIN
- ASPHALT
- FIRE DEPARTMENT ACCESS ZONE



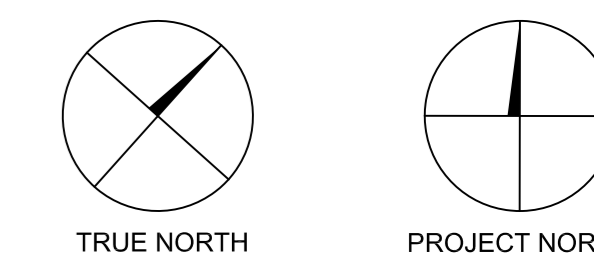
01 LEGEND & SCALE

SCALE: N/A



LOCATION PLAN

North



Revisions

No.	By	Description	Date
01	JT	ISSUED FOR SITE PLAN APPLICATION	31 JAN 2024
02	JT	REVISED AND ISSUED FOR REVIEW	15 AUG 2024

Project

**CFT
SITE PLAN
ZONING AMENDMENT**

7628 FLEWELLYN RD., OTTAWA

Drawing

**ZONING INFORMATION
LOCATION PLAN, EXIST.
AND NEW SITE PLAN**

Scale AS NOTED Stamp

Drawn JAS/KE

Checked

Project No.

21-139

Date

AUGUST 2021

Drawing No.

SP-A01