

LEGEND

	PROPERTY LINE		UTILITY EASEMENT		RIVER STONE
	SETBACK		PLANTING BED (REFER TO LANDSCAPE)		STAMPED CONCRETE
	UNIT ENTRY		POURED CONCRETE TERRACE		SOD
	EXISTING STREET LIGHT		ASPHALT		DC DEPRESSED CURB
	EXISTING FIRE HYDRANT		PROPOSED CONSTRUCTION		CURB
	EXISTING LIGHT STANDARD NOT IN USE		RETAINING WALL		R.O.W.
	EXISTING BUILDINGS				

SCALE 1 : 150



SURVEY INFORMATION TAKEN FROM:

PART OF LOT "H" CONCESSION "D" (RIDEAU FRONT)
 GEOGRAPHIC TOWNSHIP OF NEPEAN AND BLOCKS 60 AND 62 REGISTERED PLAN 4M-1583
 CITY OF OTTAWA

PART OF BLOCKS 26, 28, 29, 30, 31 & 32
 REGISTERED PLAN 4M-1546 AND PART OF BLOCK 58
 REGISTERED PLAN 4M-1583
 CITY OF OTTAWA

ANNIS O'SULLIVAN VOLLEBECK LTD. 2017

ZONING SUMMARY (BLOCK 28)
 R30(2306) Planned Unit Development (Detached Dwellings and Townhouse Dwellings)

	REQUIRED	PROVIDED
MINIMUM LOT WIDTH (m)	N/A	N/A
MINIMUM LOT AREA (m ²)	1,400 m ²	2,416 m ²
MINIMUM FRONT YARD (m)	3.0 m	2.0 m
MINIMUM INTERIOR SIDE YARD (m)	1.8 m	2.0 m
MINIMUM REAR YARD (m)	7.1m (25% LOT DEPTH)	3.0 m
MAXIMUM BUILDING HEIGHT (m)	11 m	11 m

PERMITTED PROJECTION INTO YARDS - PART 2, SECTION 65

	FRONT YARD	IN. SIDE YARD	REAR YARD
(b)(6)(i)	0.6 m	NO LIMIT	NO LIMIT
	NO LIMIT	1.2 m	1.1 m
	2.0 m MAX PROJ	2.0 m	2.0 m
(b)(6)(iv)	1.0 m (NO PROJ)	1.6 m	0.2 m
	2.0 m MAX PROJ	1.6 m	0.5 m
	2.0 m MAX PROJ	2.5 m	2.5 m
	1.0 m (NO PROJ)	1.1 m	1.1 m

PLANNED UNIT DEVELOPMENT - PART 5, SECTION 131 (U/C) the entire planned unit development complies with all applicable Sections of the By-law, the provisions set out in this Section and Table 131, however, development parcels within the planned unit development, whether severed or not, that have vehicular access off of the private way only, need not comply with the dwelling type specific provisions indicated in Part 6 other than maximum permitted building height.

	MINIMUM WIDTH OF PRIVATE WAY	MIN. SETBACK FOR ANY WALL OF RESIDENTIAL USE BUILDING TO PRIVATE WAY	MIN. SETBACK FOR ANY GARAGE OR CARPORT ENTRANCE FROM PRIVATE WAY	MINIMUM SEPARATION BETWEEN BUILDINGS
	6.0 m	4.5 m	0 m	0 m
		1.8 m	0 m	0 m
		5.2 m	0 m	0 m
		1.2 m	2.4 m	2.4 m

PARKING

a) In addition to providing parking pursuant to Section 100 of this by-law, parking within a planned unit development may be located within the development, whether or not the development parcels within the planned unit development are severed.

LANDSCAPE AND PARKING

a) In the case of a planned unit development consisting of detached, linked-detached, semi-detached, three-unit or townhouse dwellings, or any combination thereof, all lands located between the dwelling unit or oversized dwelling unit, the extension of the main wall of the dwelling unit or oversized dwelling unit, and the private way are to be landscaped with soft landscaping other than the area used for a driveway leading to the dwelling unit's associated parking space, garage or carport.

b) In no case may any dwelling unit or oversized dwelling unit located within a Planned Unit Development that has its own driveway leading to its associated parking space, garage or carport have a driveway that is wider than the associated parking space, garage or carport. Furthermore, the remaining area between the dwelling unit or oversized dwelling unit and the private way must be landscaped with soft landscaping and a walkway extending from the private way back to the principal entranceway is prohibited. A path that is mostly parallel to the street, that provides pedestrian access from the driveway to the principal entranceway of no more than 1.2 m is permitted.

c) Despite (a) and (b), where a development parcel containing a dwelling unit or oversized dwelling unit, located within a Planned Unit Development in R1, R2, R3 or R4 Zone within Schedule 342 has frontage on a public street, whether severed or not, the area between the dwelling unit or oversized dwelling unit and the street lot line is subject to the requirements of Sections 139 and 140.

	COMPLIES	DOES NOT COMPLY
	COMPLIES	COMPLIES
	N/A	N/A

PARKING REQUIREMENTS

	8	12
MINIMUM PARKING SPACES (1.00 / SEMI-DETACHED)	8	12
MINIMUM PARKING SPACES (0.75 / TOWNHOUSE)	6	8
MINIMUM PARKING VISITOR PARKING SPACES	0	0
TOTAL PARKING SPACES	14	20

NOTE: CELLS HIGHLIGHTED IN RED INDICATE REQUESTED RELIEF FROM PROVISIONS OF ZONING BY-LAW (2006-250)

PROJECT CONSULTANTS

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 THE REGIONAL GROUP
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LANDSCAPE
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 11 AURORA DRIVE
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no.	date	revision
8	2024-11-24	REISSUED FOR ZBA + SPC
7	2024-11-26	ISSUED FOR COORDINATION
6	2024-10-11	ISSUED FOR SPC
5	2024-10-10	ISSUED FOR COORDINATION
4	2024-09-18	ISSUED FOR COORDINATION
3	2024-08-14	SPC PRECONSULT 3
2	2024-08-04	ISSUED FOR COORDINATION
1	2024-07-16	ISSUED FOR REVIEW

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

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SITE STATISTICS

RESIDENTIAL BLOCK #	# OF UNITS	GROSS FLOOR AREA (m ²)
T7	4	601 m ²
T8	2	384 m ²
T9	2	315 m ²
T10	2	384 m ²
T11	2	315 m ²
T12	4	601 m ²
TOTAL	16 UNITS (TOTAL)	2,600 m² (TOTAL)

UNIT TYPOLOGIES

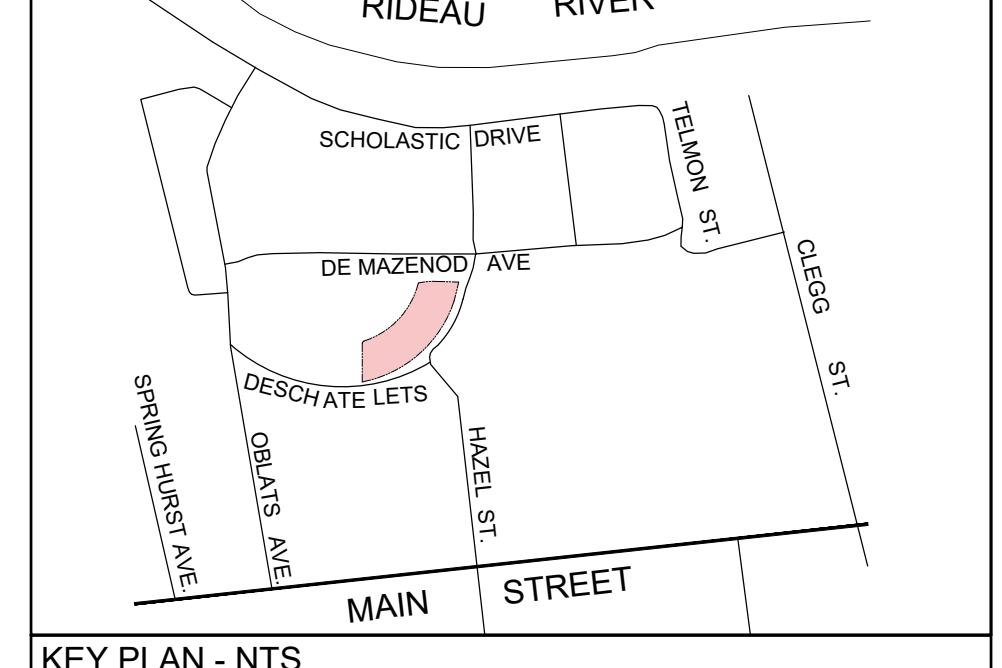
	8	8
SEMI-DETACHED	8	
TOWNHOUSE		8

SITE COVERAGE

	2,416 m ²	1,022 m ² / 42.3%	350 m ² / 14.5%	441 m ² / 18.5%	541 m ² / 24.7%
TOTAL LOT AREA (m ²)	2,416 m ²				
TOTAL GROSS BUILDING AREA (m ² / % LOT COVERAGE)	1,022 m ² / 42.3%				
TOTAL HARD LANDSCAPING AREA (m ² / % LOT COVERAGE)	350 m ² / 14.5%				
TOTAL SOFT LANDSCAPING AREA (m ² / % LOT COVERAGE)	441 m ² / 18.5%				
TOTAL VEHICULAR SURFACE AREA (m ² / % LOT COVERAGE)	541 m ² / 24.7%				

SOLID WASTE STORAGE AND DISPOSAL

TYPE	REQUIRED	PROVIDED
GARBAGE	3 YARDS	3 YARDS (6x 360L)
FIBRE	1 YARD	1 YARD (2x 360L)
G.M.P.	5 YARDS	1 YARD (2x360L)
ORGANICS	1 X 240L CART	2 X 240L CART



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PROJECT/LOCATION:
 FORECOURT TOWNHOMES
 175 MAIN STREET - GREYSTONE

DRAWING TITLE:
 SITEPLAN - BLOCK 28
 4M-1596
 355 DESCHÂTELETS AVE.

DRAWN BY: JD **DATE:** 24/03/15 **SCALE:** 1:150

PROJECT: 2308 **DRAWING NO.:** A1.01 **REVISION NO.:**