

**GROSS FLOOR AREA (GFA) AS PER CITY OF OTTAWA DEFINITION**

GROSS FLOOR AREA (RESIDENTIAL)	15 939 m <sup>2</sup>
GROSS FLOOR AREA (OFFICE)	400 m <sup>2</sup>
TOTAL GROSS FLOOR AREA (RESIDENTIAL & OFFICE)	16 339 m <sup>2</sup>

**535 LEGGET - SITE STATISTICS**

PROPOSED LOT AREA	7 937 m <sup>2</sup>
FOOTPRINT	1 395 m <sup>2</sup> (45% MAX)
GROSS BUILDING AREA ABOVE GRADE	14 769 m <sup>2</sup>
CONSTRUCTION AREA UNDERGROUND	1 570 m <sup>2</sup>
GROSS FLOOR AREA (ABOVE + BELOW GRADE)	16 339 m <sup>2</sup>

**LEGAL DESCRIPTION OF PROPERTY**  
 PIN 04517-1171 Part Lot 8, Conc. 4, Ottawa, being Parts 5 and 6 Plan 4R18548 and Parts 4, 5 and 9 Plan 4R11708

**PROPERTY BOUNDARY INFORMATION FROM SURVEYOR'S REAL PROPERTY REPORT BY FAIRHALL MOFFATT AND WOOLAND ONTARIO LAND SURVEYOR, JULY 25, 2024**

**535 LEGGET - NUMBER OF UNITS**

LEVEL	NUMBER OF UNITS
BASEMENT	0
GROUND FLOOR	0
2nd FLOOR TO 9th	8 x 13 UNITS 104 UNITS
10th FLOOR	11 UNITS
11th FLOOR	-
TOTAL	115 UNITS

**PARKING LEGEND**

	TYPICAL PARKING SPACE 5.5 m X 2.6 m (5.2 m X 2.6 m min.)
	BARRIER FREE PARKING SPACE 6 m X 3.4 m
	BARRIER FREE PARKING SPACE 6 m X 2.4 m (min.)
	EV PARKING SPACE 6 m X 2.5 m (min.)

**SURFACE LEGEND**

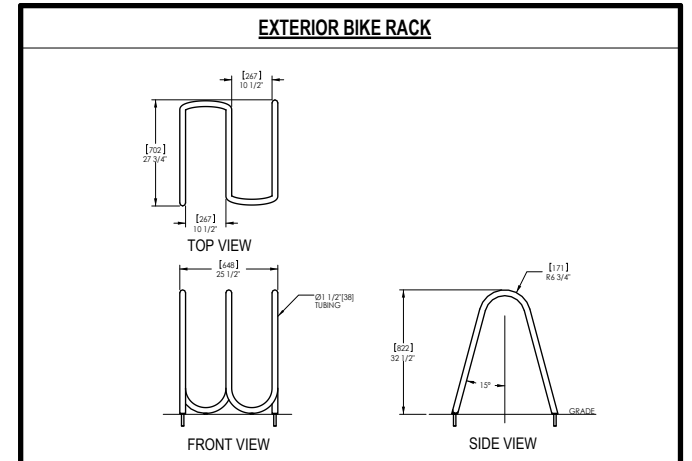
	EXISTING SNOW STORAGE AREA (SEE LANDSCAPE ARCHITECT)
	CLEAR STONE (BY LANDSCAPE ARCHITECT)
	PEDESTRIAN PATH (BY LANDSCAPE ARCHITECT)
	LANDSCAPING (BY LANDSCAPE ARCHITECT)
	DECK (BY LANDSCAPE ARCHITECT)
	INTERVENTION AREA
	PAVING (BY LANDSCAPE ARCHITECT)
	DEPRESSED SIDEWALK/ BARRIER FREE TACTILE PAVERS

**LINE TYPE & ACCESS LEGEND**

	VEHICULAR ENTRY		CIRCULATION ARROW
	ACCESS TO BUILDING		ACCESS TO OFFICE
	EXITS		FIRE ROUTE (ON SITE)
	PROPERTY LINE		SETBACK

**WALL AND DOOR LEGEND**

	EXISTING WALL
	EXISTING STRUCTURE
	DEMOLISH WALL
	NEW WALL
	DEMOLISH DOOR
	EXISTING DOOR
	NEW DOOR



**GENERAL NOTES**

# NOTE	DESCRIPTION
01	OUTLINE OF CANOPY ON LEVEL 2
02	LINK TO BROOKSTREET HOTEL
03	PROPOSED NEW ENTRANCE CONCRETE PATH
04	PROPOSED NEW VEHICULAR ENTRANCE
05	GRANDING TO SLOPE TOWARDS EXISTING LOADING DOCK LEVEL TO FACILITATE MOVE-IN MOVE-OUT AND GARBAGE COLLECTION (5% MAX FOR GARBAGE COLLECTION) (SEE CIVIL ENG.)
06	PROPOSED EXTERIOR DECK (REFER TO LANDSCAPE ARCHITECT)
07	NEW SIGNAGE
08	ADDITIONAL TREE (REFER TO LANDSCAPE ARCHITECT)
09	PROJECTED BUILDING OUTLINE - GROUND FLOOR
10	MARQUISE OUTLINE
11	PROJECTED BUILDING OUTLINE - SECOND FLOOR
12	CONTACT PANEL (SEE ELECTRICAL ENG.)
13	FIRE PANEL (SEE ELECTRICAL ENG.)
14	PROPOSED EXIT STAIR FROM BROOKSTREET HOTEL (TO BE ADDRESSED UNDER A SEPARATE PERMIT APPLICATION)
15	RELOCATED ROPE GUIDE
16	CONCRETE DRAINAGE SPLASH PAD (REFER TO LANDSCAPE ARCHITECT)
17	FOOT SCRAPER GRILLE (7/10/31)
18	ACCESSIBLE ENTRANCE/ EXIT ACCESS (AS REQUIRED FOR RH/FAC)
19	SEATING AREA
20	PROPOSED EXTERIOR BIKE PARKING
21	EXIT TOWARDS BROOKSTREET HOTEL
22	STRUCTURAL REINFORCEMENT (2'X12' TRIPLE ROW) BEHIND DRYWALL AT TOILET AND SHOWER AS REQUIRED FOR RH/FAC
23	STRUCTURAL REINFORCEMENT (2'X12' TRIPLE ROW) IN BEDROOM FOR CLOTHES ROD AS REQUIRED FOR RH/FAC
24	FLOORING FINISH MUST CONTINUE UNDER WASHROOM VANITY AS REQUIRED FOR RH/FAC
25	FLOORING FINISH MUST CONTINUE UNDER KITCHEN CABINETS AS REQUIRED FOR RH/FAC
26	DEPRESSED SIDEWALK/ BARRIER FREE TACTILE PAVERS (SEE LANDSCAPE ARCHITECT)
27	PROPOSED PAINTED EGRESS PATH (SEE LANDSCAPE ARCHITECT)
28	EXISTING ELECTRIC VEHICLE CHARGING STATION
29	PROPOSED BOLLARDS (SEE CIVIL ENG.)

**GENERAL NOTES EXISTANT**

# NOTE	DESCRIPTION
E01	PROPERTY LINE
E02	LOADING DOCK
E03	DEMOLITION OF EXISTING STREET SIGNAGE, FOLLOWED BY SURFACE RESTORATION AND STREETSCAPE ENHANCEMENT (SEE LANDSCAPE ARCHITECT)
E04	EXISTING MECHANICAL EQUIPMENT
E05	REINFORCING BOWLS EXTENDING ABOVE THE SLAB WITH PROTECTIVE HOARDING
E06	EXISTING PEDESTRIAN ENTRANCE
E07	EXISTING CURB TO SEPARATE PARKINGS
E08	EXISTING BROOKSTREET HOTEL
E09	EXISTING BIKE RACK
E10	EXISTING FIRE HYDRANT
E11	GARBAGE CHUTE
E12	EXISTING ROOF ANCHOR
E13	PIPE / CONDUIT ENCLOSURE
E14	FLUE PIPES
E15	KITCHEN EXHAUST FAN
E16	EXISTING ROPE GUIDE TO BE RELOCATED
E17	EXISTING HOUSEKEEPING PAD TO BE DEMOLISHED
E18	DEMOLITION OF EXISTING CURBS AND SIDEWALK TO FACILITATE THE CREATION OF A NEW VEHICULAR ENTRANCE FROM LEGGET DRIVE, INCLUDING NECESSARY LANDSCAPE ADJUSTMENTS (SEE LANDSCAPE ARCHITECT AND CIVIL ENGINEER)
E19	EXISTING ACCESS TO BE DECOMMISSIONED AND PERMANENTLY CLOSED
E20	ALL EXISTING ROOF ASSEMBLIES MUST BE INSPECTED DURING THE DEMOLITION PHASE TO ASSESS AND DETERMINE THE NECESSARY INTERVENTIONS
E21	ALL EXISTING PRECAST CONCRETE PANELS AND ASSOCIATED ELEMENTS MUST BE INSPECTED DURING THE DEMOLITION PHASE TO ASSESS AND DETERMINE THE NECESSARY INTERVENTIONS
E22	EXISTING DRAINS TO BE REPURPOSED (SEE CIVIL ENGINEER)
E23	EXISTING FOOT SCRAPER GRILL
E24	EXISTING PAVED PATHWAY
E25	EXISTING PAINTED PATHWAY
E26	EXISTING GAS METERS
E27	EXISTING COMMUNICATION BOX
E28	EXISTING SHRUBS
E29	EXISTING COMMUNICATION TRANSFORMER

**ZONE PROVISIONS 535 LEGGET**

ZONING BY-LAW 2008-250  
 CURRENT ZONING: IP6 [301]

	REQUIRED	PROVIDED
FRONT & CORNER YARD SETBACK	FRONT MIN. 12 m	25.10 m
INTERIOR RIGHT SIDE YARD SETBACK	MIN. 7.5 m	61.19 m
INTERIOR LEFT SIDE YARD SETBACK	MIN. 7.5 m	8.04 m
REAR YARD SETBACK	MIN. 7.5 m	13.45 m
BUILDING HEIGHT	44 m (MAX)	11 STOREYS 44 m (MAX)
AMENITY SPACE	6 m <sup>2</sup> X 115 UNITS = 690 m <sup>2</sup>	847 m <sup>2</sup>
PRIVATE AMENITY SPACE	-	145 m <sup>2</sup>
COMMUNAL AMENITY AREA	MINIMUM OF 50% OF REQUIRED TOTAL AMENITY AREA (423 m <sup>2</sup> min.)	702 m <sup>2</sup>
BICYCLE PARKING (RESIDENTIAL)	0.5 X 115 UNITS = 58 SPOTS (25% INDOORS)	93
BICYCLE PARKING (OFFICE)	2 SPOTS (1 LONG-TERM, 1 SHORT-TERM)	2

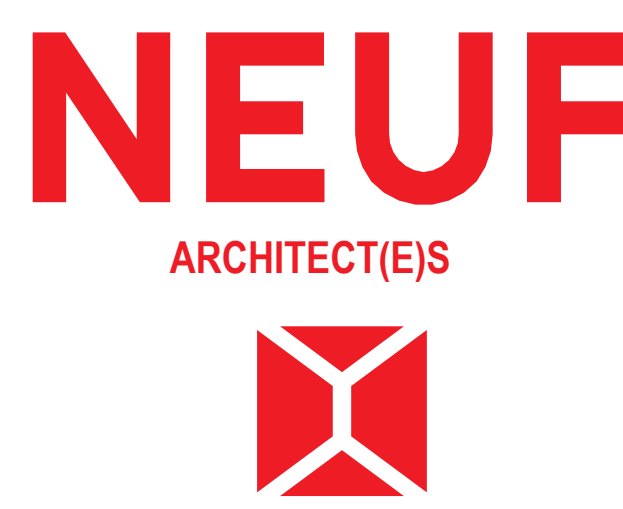
**NUMBER OF PARKING SPACES**

	REQUIRED	PROVIDED
PARKING (RESIDENTIAL)	1.2 SPACES X 115 UNITS	138 / 81 SPACES
PARKING (VISITOR)	0.2 SPACES X 115 UNITS	23 / 20 SPACES
OFFICE	400 m <sup>2</sup>	4 / 4 SPACES
BARRIER FREE PARKING	TYPE A = 1 TYPE B = 1	2 / TYPE A = 1 TYPE B = 1
TOTAL PARKING REQUIRED		167 / 107 SPACES

**NOTES GÉNÉRALES - General Notes**

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CLIENT Client  
**535 LEGGET DRIVE**  
 KANATA, ONTARIO

EMPLACEMENT Location NO PROJET No. 13338

NO	REVISION	DATE (aa-mm-jj)
0	ISSUED FOR SITE PLAN APPROVAL	2024 11 29

DESSIN PAR Drawn by AT MS VÉRIFIÉ PAR Checked by KP  
 DATE (aa mm jj) 24.09.18 ÉCHELLE Scale As  
 TITRE DU DESSIN Drawing Title GENERAL SITE PLAN - PROJECTED indicated

**GENERAL SITE PLAN - PROJECTED**

REVISION Revision NO. DESSIN Drawing Number  
**0 A101P**

**GENERAL SITE PLAN - PROJECTED**  
 1/300

