

LEGGET DRIVE

GENERAL SITE PLAN - PROJECTED

1:300

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A101P

GENERAL NOTES	
# NOTE	DESCRIPTION
01	OUTLINE OF CANOPY ON LEVEL 2
02	LINK TO BROOKSTREET HOTEL
03	PROPOSED NEW ENTRANCE CONCRETE PATH
04	PROPOSED NEW VEHICULAR ENTRANCE
05	GRADING TO SLOPE TOWARDS EXISTING LOADING DOCK LEVEL TO FACILITATE MOVE-IN/MOVE-OUT AND GARBAGE COLLECTION (SEE CIVIL ENG.)
06	PROPOSED EXTERIOR DECK (REFER TO LANDSCAPE ARCHITECT)
07	NEW SIGNAGE
08	ADDITIONAL TREE (REFER TO LANDSCAPE ARCHITECT)
09	PROJECTED BUILDING OUTLINE - GROUND FLOOR
10	MARQUISE OUTLINE
11	NEW STAIRCASE OUTLINE
12	PROJECTED BUILDING OUTLINE - SECOND FLOOR
13	CONTACT PANEL (SEE ELECTRICAL ENG.)
14	FIRE PANEL (SEE ELECTRICAL ENG.)
15	PROPOSED EXIT STAIR FROM BROOKSTREET HOTEL
16	RELOCATED ROPE GUIDE
19	CONCRETE DRAINAGE SPLASH PAD (REFER TO LANDSCAPE ARCHITECT)
30	SEATING AREA
31	PROPOSED EXTERIOR BIKE PARKING

GENERAL NOTES EXISTANT	
# NOTE	DESCRIPTION
E01	PROPERTY LINE
E02	LOADING DOCK
E03	DEMOLITION OF EXISTING STREET SIGNAGE, FOLLOWED BY SURFACE RESTORATION AND STREETSCAPE ENHANCEMENT (SEE LANDSCAPE ARCHITECT)
E04	EXISTING MECHANICAL EQUIPMENT
E05	REINFORCING DOWELS EXTENDING ABOVE THE SLAB WITH PROTECTIVE HOARDING
E06	EXISTING PEDESTRIAN ENTRANCE
E07	EXISTING CURB TO SEPARATE PARKINGS
E08	EXISTING BROOKSTREET HOTEL
E09	EXISTING BIKE RACK
E10	EXISTING FIRE HYDRANT
E12	GARBAGE CHUTE
E14	EXISTING ROOF ANCHOR
E15	PIPE / CONDUIT ENCLOSURE
E16	FLUE PIPES
E17	KITCHEN EXHAUST FAN
E18	EXISTING ROPE GUIDE TO BE RELOCATED
E19	EXISTING HOUSEKEEPING PAD TO BE DEMOLISHED
E20	DEMOLITION OF EXISTING CURBS AND SIDEWALK TO FACILITATE THE CREATION OF A NEW VEHICULAR ENTRANCE FROM LEGGET DRIVE, INCLUDING NECESSARY LANDSCAPE ADJUSTMENTS (SEE LANDSCAPE ARCHITECT AND CIVIL ENGINEER)
E21	EXISTING ACCESS TO BE DECOMMISSIONED AND PERMANENTLY CLOSED
E22	ALL EXISTING ROOF ASSEMBLIES MUST BE INSPECTED DURING THE DEMOLITION PHASE TO ASSESS AND DETERMINE THE NECESSARY INTERVENTIONS
E23	ALL EXISTING PRECAST CONCRETE PANELS AND ASSOCIATED ELEMENTS MUST BE INSPECTED DURING THE DEMOLITION PHASE TO ASSESS AND DETERMINE THE NECESSARY INTERVENTIONS

PARKING LEGEND	
	TYPICAL PARKING SPACE 5.5 m X 2.6 m (5.2 m X 2.6 m min.)
	BARRIER FREE PARKING SPACE 6 m X 3.4 m
	BARRIER FREE PARKING SPACE 6 m X 3.4 m
	EV PARKING SPACE 6 m X 2.5 m (min.)

SURFACE LEGEND	
	CLEAR STONE (BY LANDSCAPE ARCHITECT)
	PEDESTRIAN PATH (BY LANDSCAPE ARCHITECT)
	LANDSCAPING (BY LANDSCAPE ARCHITECT)
	DECK (BY LANDSCAPE ARCHITECT)
	INTERVENTION AREA
	ASPHALT (REFER TO CIVIL)
	PAVING (BY LANDSCAPE ARCHITECT)
	DEPRESSED SIDEWALK/ BARRIER FREE TACTILE PAVERS

LINE TYPE & ACCESS LEGEND	
	VEHICULAR ENTRY
	ACCESS TO BUILDING
	ACCESS TO OFFICE
	EXITS
	FIRE ROUTE (ON SITE)
	PROPERTY LINE
	CIRCULATION ARROW

WALL AND DOOR LEGEND	
	EXISTING WALL
	EXISTING STRUCTURE
	DEMOLISHED WALL
	NEW WALL
	DEMOLISHED DOOR
	EXISTING DOOR
	NEW DOOR

EXTERIOR BIKE RACK	
	EXTERIOR BIKE RACK
	EXTERIOR BIKE RACK

GROSS FLOOR AREA (GFA) AS PER CITY OF OTTAWA DEFINITION	
GROSS FLOOR AREA (RESIDENTIAL)	15 939 m <sup>2</sup>
GROSS FLOOR AREA (OFFICE)	400 m <sup>2</sup>
TOTAL GROSS FLOOR AREA (RESIDENTIAL & OFFICE)	16 339 m <sup>2</sup>

535 LEGGET - SITE STATISTICS	
PROPOSED LOT AREA	7 937 m <sup>2</sup>
FOOTPRINT (BY LANDSCAPE ARCHITECT)	1 395 m <sup>2</sup> (45% max)
GROSS BUILDING AREA ABOVE GRADE	14 769 m <sup>2</sup>
CONSTRUCTION AREA UNDERGROUND	1 570 m <sup>2</sup>
GROSS FLOOR AREA (ABOVE + BELOW GRADE)	16 339 m <sup>2</sup>

LEGAL DESCRIPTION OF PROPERTY  
PIN 04517-1171 Part Lot 8, Conc. 4, Ottawa, being Parts 5 and 6 Plan 4R16648 and Parts 4, 5 and 9 Plan 4R17106

535 LEGGET - NUMBER OF UNITS	
LEVEL	NUMBER OF UNITS
BASEMENT	0
GROUND FLOOR	0
2nd FLOOR TO 9th	8 x 13 UNITS 104 UNITS
10th FLOOR	11 UNITS
11th FLOOR	-
TOTAL	115 UNITS

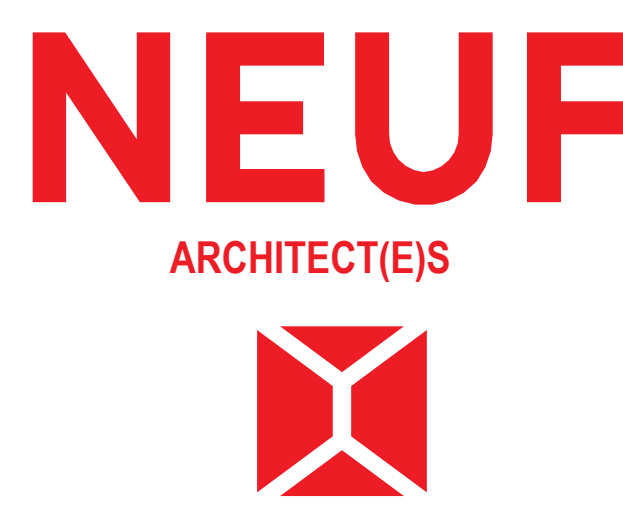
ZONE PROVISIONS 535 LEGGET  
ZONING BY-LAW 2008-250  
CURRENT ZONING: IP6 [301]

	REQUIRED	PROVIDED
FRONT & CORNER YARD SETBACK	FRONT MIN. 12 m	25.10 m
INTERIOR RIGHT SIDE YARD SETBACK	MIN. 7.5 m	61.19 m
INTERIOR LEFT SIDE YARD SETBACK	MIN. 7.5 m	8.04 m
REAR YARD SETBACK	MIN. 7.5 m	13.45 m
BUILDING HEIGHT	44 m (MAX)	11 STOREYS 44 m (MAX)
AMENITY SPACE	6 m <sup>2</sup> X 115 UNITS = 690 m <sup>2</sup>	847 m <sup>2</sup>
PRIVATE AMENITY SPACE	-	145 m <sup>2</sup>
COMMUNAL AMENITY AREA	MINIMUM OF 50% OF REQUIRED TOTAL AMENITY AREA (423 m <sup>2</sup> min.)	702 m <sup>2</sup>
BICYCLE PARKING (RESIDENTIAL)	0.5 X 115 UNITS = 58 SPOTS (25% INDOORS)	93
BICYCLE PARKING (OFFICE)	2 SPOTS (1 LONG-TERM, 1 SHORT-TERM)	2
NUMBER OF PARKING SPACES		
	REQUIRED	PROVIDED
PARKING (RESIDENTIAL)	1.2 SPACES X 115 UNITS	138
PARKING (VISITOR)	0.2 SPACES X 115 UNITS	23
OFFICE	400 m <sup>2</sup>	4
BARRIER FREE PARKING	TYPE A = 1 TYPE B = 1	2 TYPE A = 1 2 TYPE B = 1
TOTAL PARKING REQUIRED	167	107 SPACES

NOTES GÉNÉRALES - General Notes

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CLIENT Client  
**535 LEGGET DRIVE**  
KANATA, ONTARIO

NO	REVISION	DATE (aa-mm-ii)
B	ÉMISSION POUR COORDINATION	2024 06 21
C	AUDIT PROGRAMMATION	2024 06 25
D	ISSUED FOR COORDINATION	2024 07 18
E	ISSUED FOR COORDINATION	2024 08 09
F	LIMITED WINDOW WALL TENDER DRAFT	2024 09 13
G	ISSUED FOR SITE PLAN APPROVAL	2024 10 04

DESSIN PAR Drawn by  
AT MS  
DATE (aa mm ii)  
24.09.18  
TITRE DU DESSIN Drawing Title  
indicated

GENERAL SITE PLAN - PROJECTED

REVISION Revision  
**G**  
NO. DESSIN Drawing Number  
13338  
VERIFIE PAR Checked by  
AT MS  
ECHELLE Scale  
As  
indicated  
**A101P**