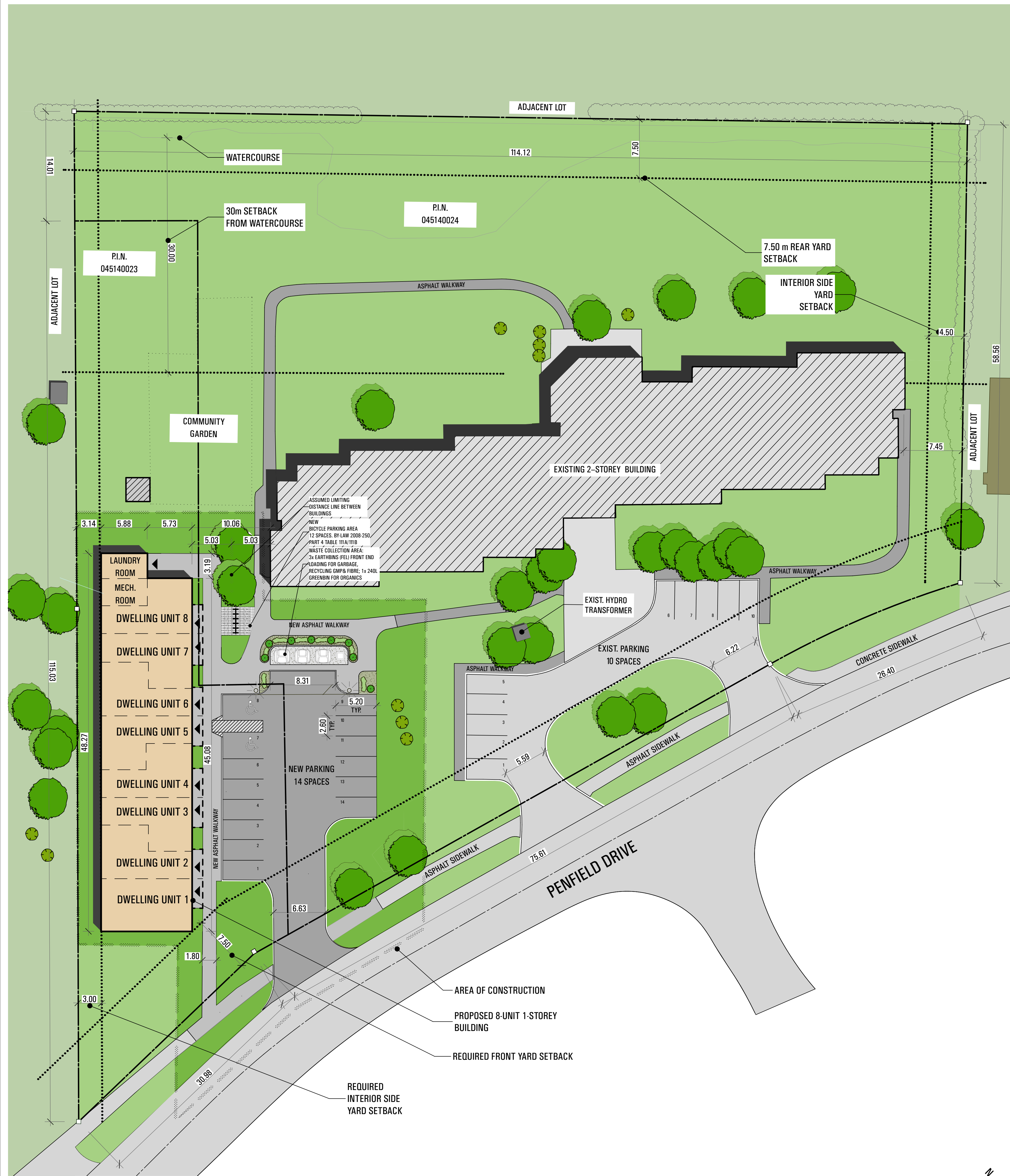




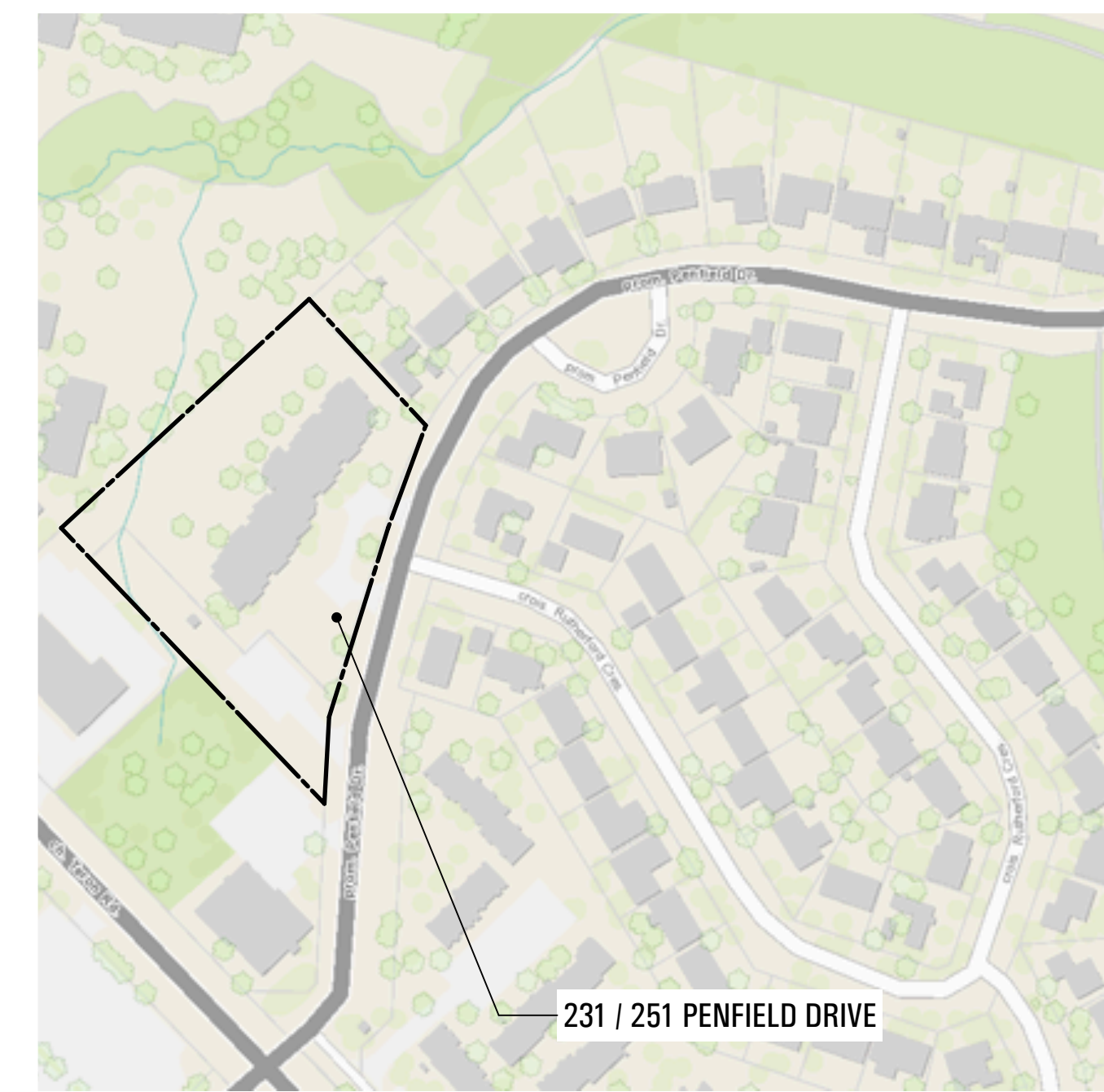
1 APARTMENT BUILDING VIEW FROM PARKING  
SCALE: 1:80



2 APARTMENT BUILDING VIEW FROM PARKING  
SCALE: 1:80



3 CONTEXT PLAN  
SCALE: 1:250



4 LOCATION MAP  
NOT TO SCALE

PROPERTY OWNER:	OTTAWA COMMUNITY HOUSING CORPORATION 41 AURIGA DRIVE OTTAWA, ONTARIO, K2E 7Y8
ARCHITECT:	ATELIER 292 ARCHITECT INC. 292 MAIN STREET OTTAWA, ONTARIO, K1S 1E1 PHONE: (613) 231-2245, FAX: (613) 234-3176
CIVIL & STRUCTURAL ENGINEER:	McINTOSH PERRY 115 WALGREEN ROAD CARP, ONTARIO, K0A 1L0 PHONE: (613) 424-4567
ARBORIST:	IFS ASSOCIATES P.O. BOX 13595 KANATA, ONTARIO, K2K 1X6 PHONE: (613) 838-5717

GENERAL NOTES:  
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 • DO NOT SCALE DRAWINGS.  
 • ALL WORK SHALL COMPLY WITH THE LOCAL BUILDING CODE AND THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION.  
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ZONING INFORMATION	EXISTING	PROPOSED	PROVIDED (PER SITE PLAN)
PROPERTY ZONING	R4X (1201)	R4X (1201) *ONE LOT FOR ZONING PURPOSES	R4X (1201) *ONE LOT FOR ZONING PURPOSES
PERMITTED USE	APARTMENT DWELLING - LOW RISE	ALL R4X USES PERMITTED	TOWNHOUSE WITHIN A PLANNED UNIT DEVELOPMENT
MIN. LOT WIDTH	30 m	30 m	133.1 m *100% OF PARCELS OR PROPERTIES ADJACENT
MIN. LOT AREA	8000 m <sup>2</sup>	8000 m <sup>2</sup>	10,085 m <sup>2</sup>
MAX. BLDG. HEIGHT	11 m	11 m	7.4 m
MIN. FRONT YARD SETBACK	7.5 m	7.5 m	7.5 m
MIN. REAR YARD SETBACK	4.5 m (ADJACENT TO 15M TONE); 3M IN ALL OTHER CASES	4.5 m (ADJACENT TO 15M TONE); 3M IN ALL OTHER CASES	0.9M 7.5 m
MIN. W.E. SIDEYARD SETBACK	-	-	3.4m
MIN. NET FLOOR AREA - PER DWELLING UNIT	42 m <sup>2</sup>	42 m <sup>2</sup>	52.4 m <sup>2</sup>
EXIST. RESIDENTIAL PARKING	10	0.25 PER DWELLING UNIT	10
NEW RESIDENTIAL PARKING (0.25 PER DWELLING UNIT)	-	0.25 PER DWELLING UNIT	4
NEW VISITOR PARKING (0.2 PER DWELLING UNIT)	-	-	10
TOTAL PARKING REQUIRED	10	-	24

PROPERTY INFORMATION:			
LEGAL DESCRIPTION		REGISTERED PLAN 847 PT BLK R1 & REGISTERED PLAN 847 PF BLK R1 RP 5R2134	
PLN.	045140023	045140024	
ZONING:	R4X (1201)	R4X (1201)	
SITE AREA PLN. 045140023	2,082 m <sup>2</sup>	2,082 m <sup>2</sup>	
SITE AREA PLN. 045140024	8,003 m <sup>2</sup>	8,003 m <sup>2</sup>	
TOTAL COMBINED SITE AREA:	10,085 m <sup>2</sup>	10,085 m <sup>2</sup>	
(PROPERTIES COMBINED)	EXISTING	EXISTING	PLANNED
BUILDING AREA	1310 m <sup>2</sup>	0 m <sup>2</sup>	539 m <sup>2</sup>
LOT AREA	8,003 m <sup>2</sup>	2,082 m <sup>2</sup>	10,085 m <sup>2</sup>
GREEN AREA	5,921 m <sup>2</sup>	2,082 m <sup>2</sup>	2,082 m <sup>2</sup>
GREENSTEEL AREA	74%	100%	100%
LOT COVERAGE	16.3%	0%	2%
			18.3%

SITE STATISTICS:			
	EXISTING	EXISTING	PLANNED
Nb. OF BUILDINGS	1	0	1
Nb. OF HOUSING UNITS	40	0	8
Nb. OF PARKING SPACES	10	0	14
GROSS FLOOR AREA BUILDINGS	1310 m <sup>2</sup>	0 m <sup>2</sup>	539 m <sup>2</sup>
PARKING LOTS & STREETS	484 m <sup>2</sup>	484 m <sup>2</sup>	989 m <sup>2</sup>
PATHS & SIDEWALKS	483 m <sup>2</sup>	483 m <sup>2</sup>	327 m <sup>2</sup>
			810 m <sup>2</sup>

UNIT AREAS (m <sup>2</sup> )	
UNIT #	GROUND
1	52.4
2	52.4
3	52.4
4	52.4
5	52.4
6	52.4
7	52.4
8	70.4

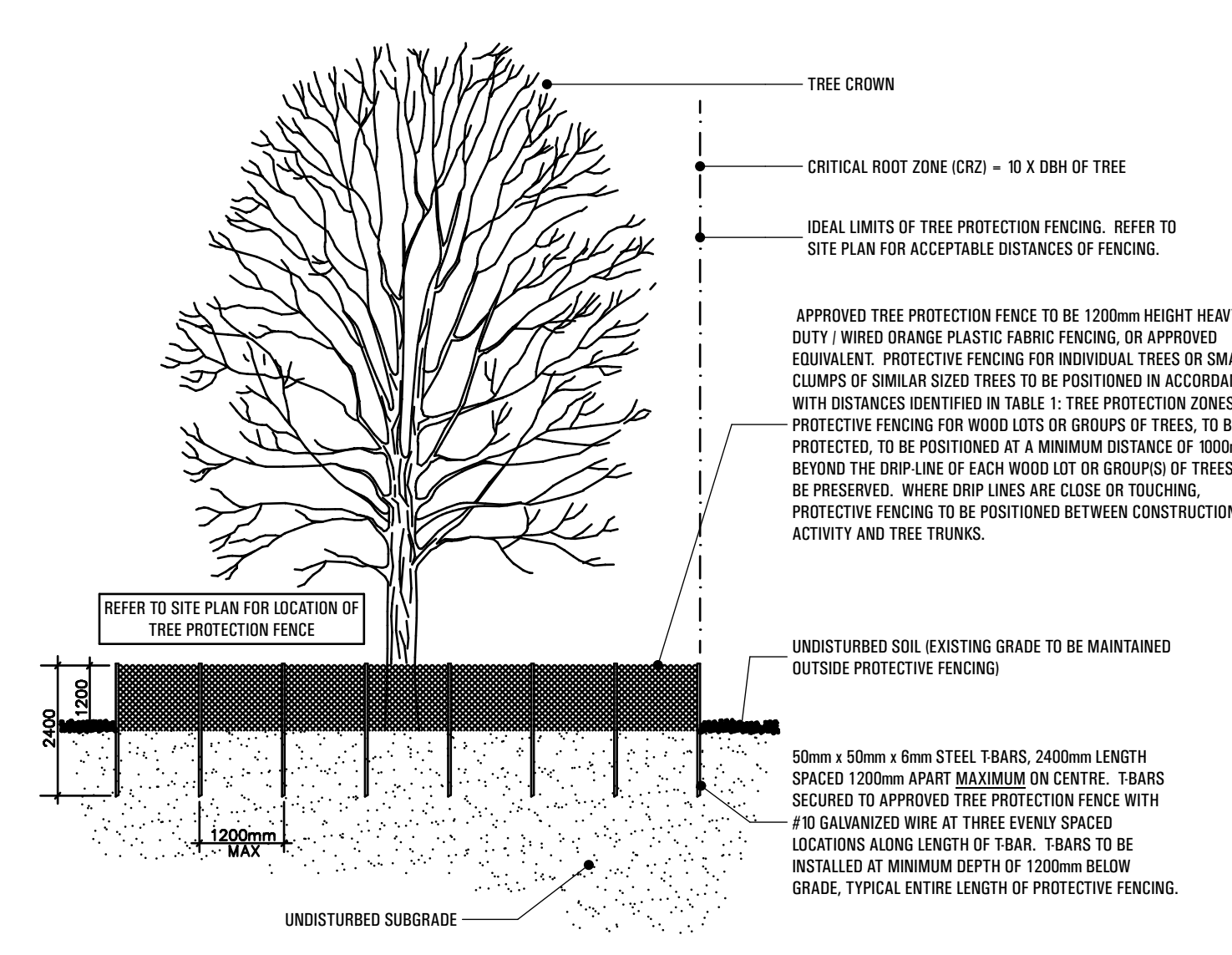
OBC MATRIX - FOR NEW 8 UNIT APARTMENT BUILDING			
ITEM	ONTARIO BUILDING CODE DATA MATRIX PARTS 3 & 9	OBC REFERENCE	
1	PROJECT DESCRIPTION: <input type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION	PART 3	PART 9
2	MAJOR OCCUPANCIES: RESIDENTIAL (R)	3.1.2.1(i)	9.10.2
3	BUILDING AREA (m <sup>2</sup> ): EXISTING: NEW 541.08 TOTAL 541.08	1.1.3.2	1.1.3.2
4	GROSS AREA: EXISTING: NEW 541.08 TOTAL 541.08	1.1.3.2	1.1.3.2
5	NUMBER OF STOREYS ABOVE GRADE: 1 BELOW GRADE: 0	3.2.1.1 & 1.1.3.2	2.1.1.3
6	HEIGHT OF BUILDING (m): 4.61		2.1.1.3
7	NUMBER OF STREETS/ACCESS ROUTES: 1	3.2.2.10 & 3.2.5.5	
8	BUILDING CLASSIFICATION: 9.10.2.1 - GROUP C - RESIDENTIAL	3.2.2.20 - .83	9.10.2 9.10.3
9	SPRINKLER SYSTEM PROPOSED: EXISTING: <input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> BASEMENT ONLY <input type="checkbox"/> IN USE OF ROOF RATING <input type="checkbox"/> NOT REQUIRED	3.2.2.20 - .83 3.2.1.5 3.2.2.17	9.10.8
10	STANDPIPE REQUIRED: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.8	
11	FIRE ALARM REQUIRED: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.4	9.10.18.2
12	WATER SERVICE SUPPLY IS ADEQUATE: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		
13	HIGH BUILDING: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.8	
14	PERMITTED CONSTRUCTION: <input checked="" type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE	3.2.2.20 - .83	9.10.6
15	MEZZANINE AREA (m <sup>2</sup> ): N/A	3.2.1.1 (5)(b)	9.10.4.1
16	OCCUPANT LOAD BASED ON: <input type="checkbox"/> PERSON <input type="checkbox"/> DESIGN OF BUILDING LOAD <input type="checkbox"/> PERSONS	3.1.1.6 3.1.17.1	9.1.3
17	BARRIER-FREE DESIGN: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.8	9.1.2
18	HAZARDOUS SUBSTANCES: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.3.1.2(i) & 3.3.1.19(i)	9.10.1.3
19	REQUIRED: <input type="checkbox"/> HORIZONTAL ASSEMBLIES <input type="checkbox"/> LISTED DESIGN NO. OR DESCRIPTION (SG-2) <input type="checkbox"/> FIRE RESISTANCE RATING: <input type="checkbox"/> 0 HOURS <input type="checkbox"/> 1 HOURS <input type="checkbox"/> 2 HOURS <input type="checkbox"/> 3 HOURS <input type="checkbox"/> 4 HOURS <input type="checkbox"/> 5 HOURS <input type="checkbox"/> 6 HOURS <input type="checkbox"/> 7 HOURS <input type="checkbox"/> 8 HOURS <input type="checkbox"/> 9 HOURS <input type="checkbox"/> 10 HOURS	3.1.1.2.2.20.83 & 3.2.1.4	9.10.8 9.10.9
20	SPIRAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS	3.2.3	9.10.14
21	OTHER: *FIRE COMPARTMENT FOR PORTION OF TOP WITH PROXIMITY TO EXISTING BUILDING		

2024-02-08 RE-ZONING APPLICATION  
 2024-01-16 COORDINATION RE-ZONING  
 2023-12-19 COORDINATION RE-ZONING  
 2020-04-29 CLIENT REVIEW  
 2020-04-23 CLIENT REVIEW  
 DATE DESCRIPTION  
 YYYYMMDD  
 PROJECT NORTH:   
 ARCHITECT'S SEAL:   
 PROJECT NAME:  
 8-UNIT INFILL  
 251 PENFIELD DRIVE - TOWNHOUSES

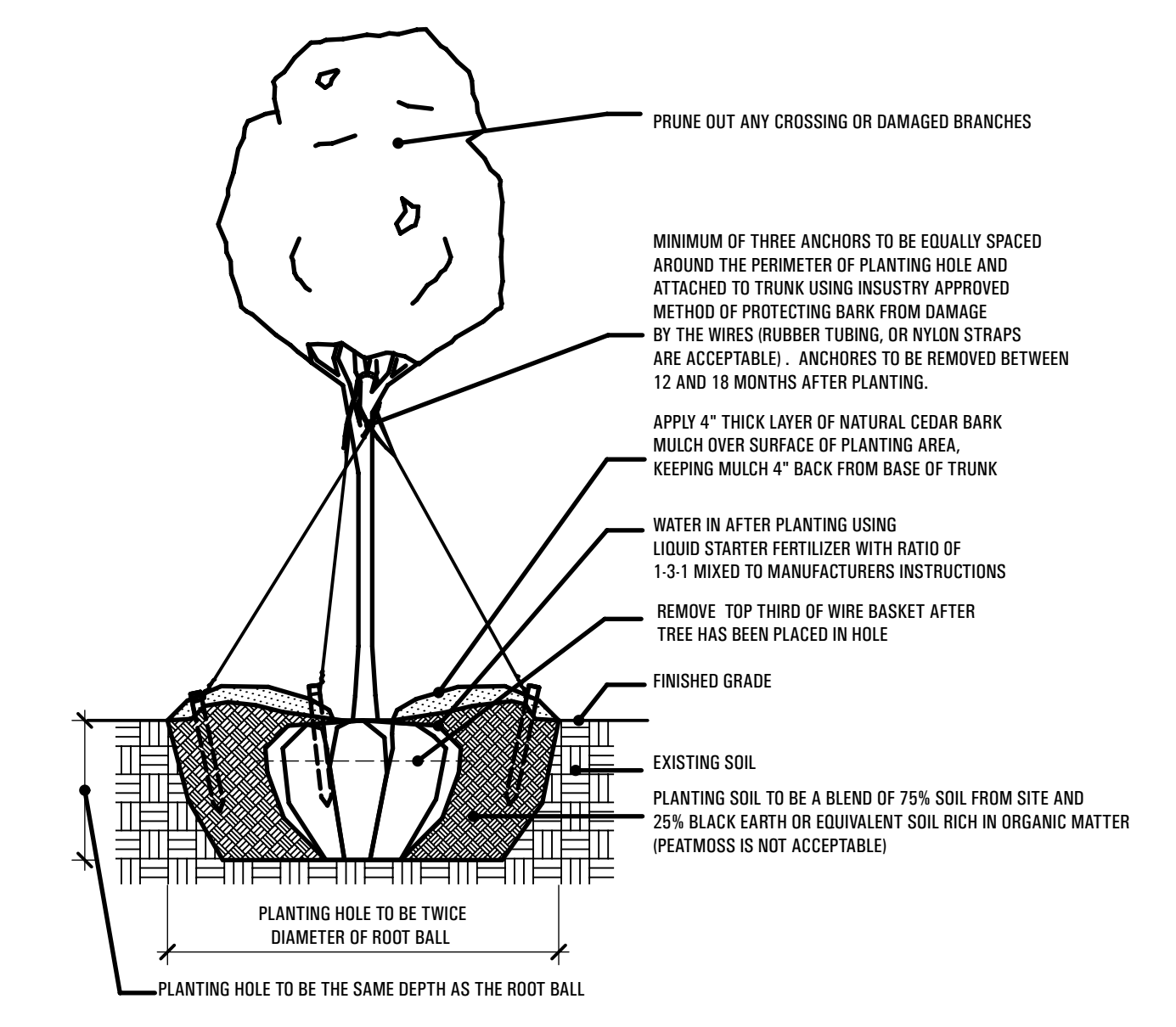
DRAWING NAME:  
 CONTEXT PLAN, PROPERTY ZONING & STATS

DATE: 20240208  
 PROJECT NO.: 1929  
 DRAWN BY: GUY  
 CHECKED BY: PJF  
 DRAWING NO.:





**1 TREE PROTECTION DETAIL**  
SCALE: 1:50



**1 TREE PLANTING DETAIL**  
SCALE: 1:35

**TREE PROTECTION REQUIREMENTS:**

- ALL TREES ON SITE TO REMAIN AND ANY ADJACENT TREES TO BE PROTECTED DURING CONSTRUCTION.
- ERECT FENCE AT CRITICAL ROOT ZONE (CRZ), AS INDICATED ON DRAWING A-100 TO PROTECT EXISTING TREES DURING CONSTRUCTION.
- DO NOT PLACE ANY MATERIAL OR EQUIPMENT WITHIN TREE CRZ.
- DO NOT ATTACH ANY SIGNS, NOTICES OR POSTERS TO ANY TREE.
- DO NOT RAISE OR LOWER EXISTING GRADE WITHIN EXISTING TREE CRZ WITHOUT APPROVAL.
- DO NOT TUNNEL OR BORE WHEN EXCAVATING WITHIN TREE CRZ.
- DO NOT DAMAGE ROOT SYSTEM, TRUNK OR BRANCHES OF ANY TREE.
- ENSURE THAT EQUIPMENT EXHAUST FUMES ARE NOT DIRECTED TOWARDS CANOPY OF ANY TREE.
- CRZ IS MEASURED BY MULTIPLYING DIAMETER OF TRUNK (DB) BY 10 CM.
- IF TREE PERMIT IS REQUIRED, NO TREES ARE TO BE CUT UNTIL TREE PERMIT IS PROVIDED.
- PROVIDE DISCONTINUOUS FOOTINGS IN LIMITED EXCAVATION ZONE. FOOTINGS THERE TO ALLOW FOR ANY ROOTS OVER 50mm (2") DIA.
- ANY ROOTS LARGER THAN 25mm (1") DIA. TO BE CUT OFF CLEARLY BY HAND, COVERED BY BURLAP/FETER, CLOTH OR WOOD CHIPS AND KEEP MOIST.
- ANY PRUNING OF EXISTING TREES TO BE DONE BY PROFESSIONAL.
- FOR ADDITIONAL INFORMATION AND TREE PROTECTION REQUIREMENTS, REFER TO ARBORIST REPORT PREPARED BY BOWTHORPE TREE SERVICES, DATED OCTOBER 23, 2014.

**GENERAL LANDSCAPING NOTES:**

1. TREES TO BE PLANTED A MINIMUM OF 8 FEET OR 2.4 METERS FROM THE FOUNDATION OF THE PROPOSED STRUCTURE.
2. FOR ALL NEW TREES, REFER TO TREE PLANTING DETAIL (A-100).
3. ALL SITE PLAN DIMENSIONS ARE SHOWN IN METRES.
4. EXISTING GRADING AND DRAINAGE PATTERNS MUST NOT BE ALTERED UNLESS NOTED OTHERWISE.
5. NEW ROOF DOWNSPOUTS SHALL NOT BE DIRECTED TOWARDS ADJACENT PROPERTY.
6. EXCAVATED MATERIAL SHALL BE REMOVED FROM THE PROPERTY UNLESS USED FOR BACKFILL.
7. NEW GRADING PLAN IS BASED ON INFORMATION PROVIDED BY FARLEY, SMITH, & DENNIS SURVEYING LIMITED.
8. PLAN IS TO BE READ IN CONJUNCTION WITH SITE GRADING PLAN AND SITE SERVICES PLAN PREPARED BY MAINTOSH PERRY LTD.
9. ALL SNOW TO BE TRUCKED OFF BY OCH.

**GENERAL SITE NOTES:**

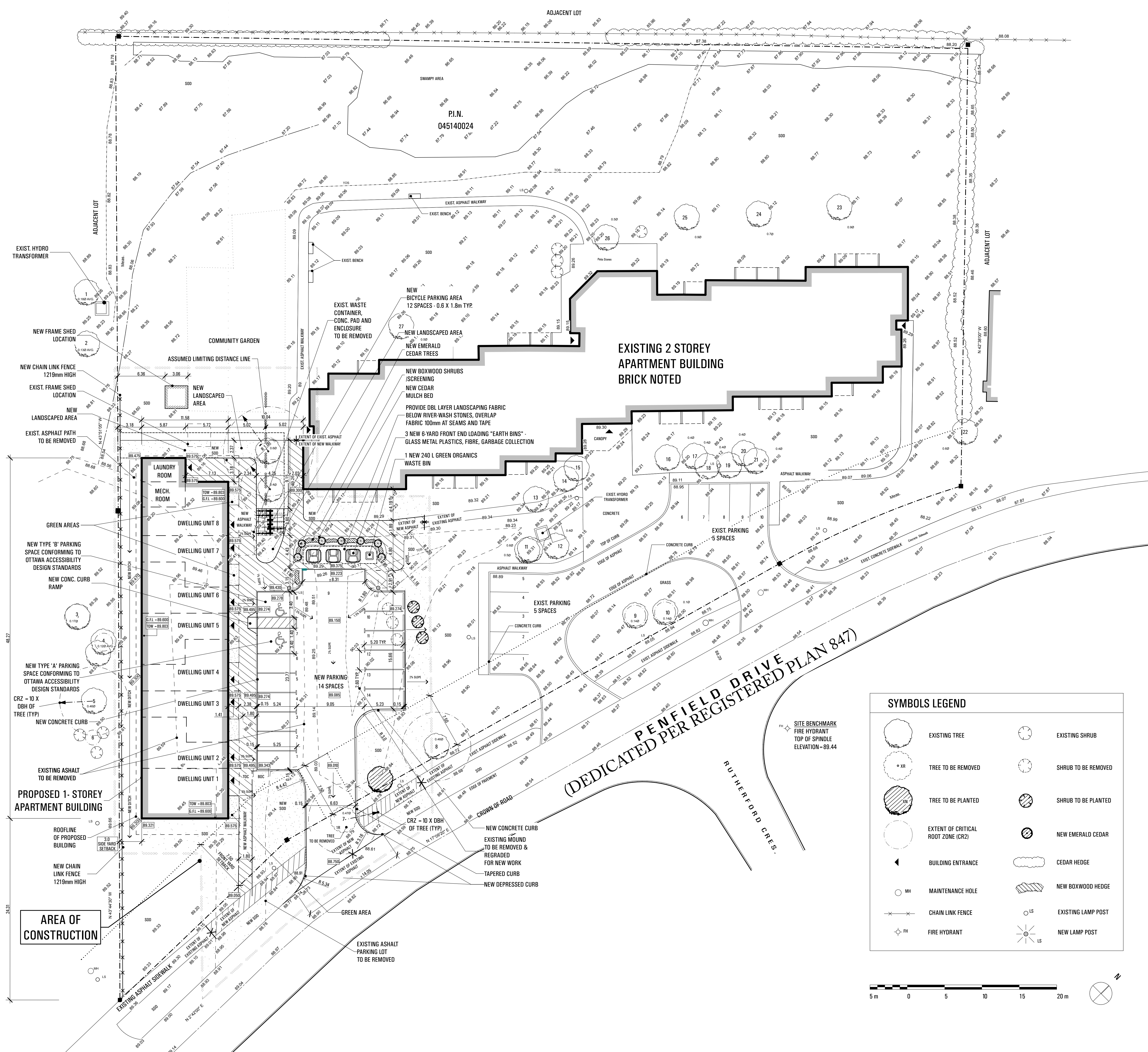
1. REFER TO GRADING PLAN FOR NEW & EXISTING GRADES.
2. FOR ALL NEW TREES, REFER TO TREE PLANTING DETAIL (A-100).
3. ALL SITE PLAN DIMENSIONS ARE SHOWN IN METRES.
4. EXISTING GRADING AND DRAINAGE PATTERNS MUST NOT BE ALTERED UNLESS NOTED OTHERWISE.
5. NEW ROOF DOWNSPOUTS SHALL NOT BE DIRECTED TOWARDS ADJACENT PROPERTY.
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SYMBOLS LEGEND			
	EXISTING TREE		EXISTING SHRUB
	TREE TO BE REMOVED		SHRUB TO BE REMOVED
	TREE TO BE PLANTED		SHRUB TO BE PLANTED
	EXTENT OF CRITICAL ROOT ZONE (CRZ)		NEW EMERALD CEDAR
	BUILDING ENTRANCE		CEDAR HEDGE
	MAINTENANCE HOLE		NEW BOXWOOD HEDGE
	CHAIN LINK FENCE		EXISTING LAMP POST
	FIRE HYDRANT		NEW LAMP POST

PLANTING MATERIAL SCHEDULE							
LABEL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CON	FORM	NOTES

**SITE NOTE:**  
PROPERTY BOUNDARY INFORMATION IS DERIVED FROM TOPOGRAPHIC SURVEY PREPARED BY FARLEY, SMITH, & DENNIS SURVEYING LTD., DATED SEPTEMBER 26, 2019

**1 SITE PLAN / LANDSCAPE PLAN**  
SCALE: 1:200

DATE	DESCRIPTION
2024-02-08	RE-ZONING APPLICATION
2024-01-16	COORDINATION RE-ZONING
2023-12-19	COORDINATION RE-ZONING
2020-04-29	CLIENT REVIEW
2020-04-23	CLIENT REVIEW
DATE	DESCRIPTION
YYYYMMDD	

PROJECT NAME:  
8-UNIT INFILL  
251 PENFIELD DRIVE - TOWNHOUSES

DRAWING NAME:  
SITE PLAN, LANDSCAPE PLAN, SITE DETAILS AND NOTES

DATE:	2024/08
PROJECT NO.:	1925
DRAWN BY:	GVY
CHECKED BY:	PLF
DRAWING NO.:	A-100

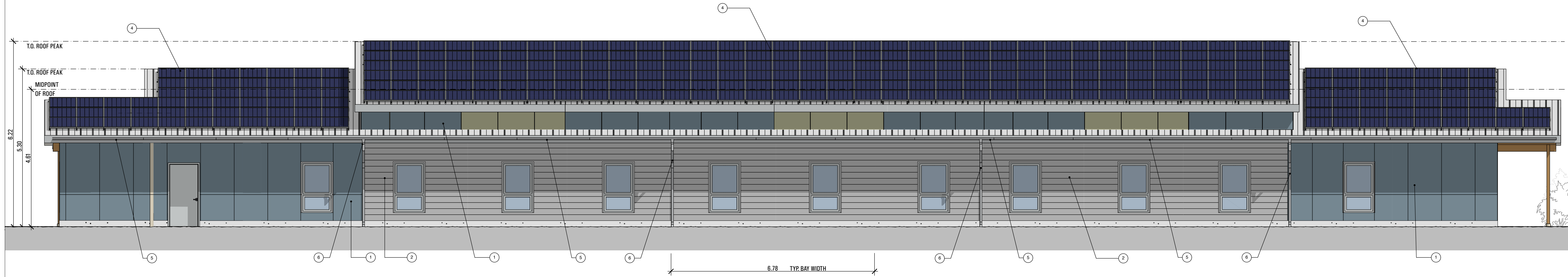




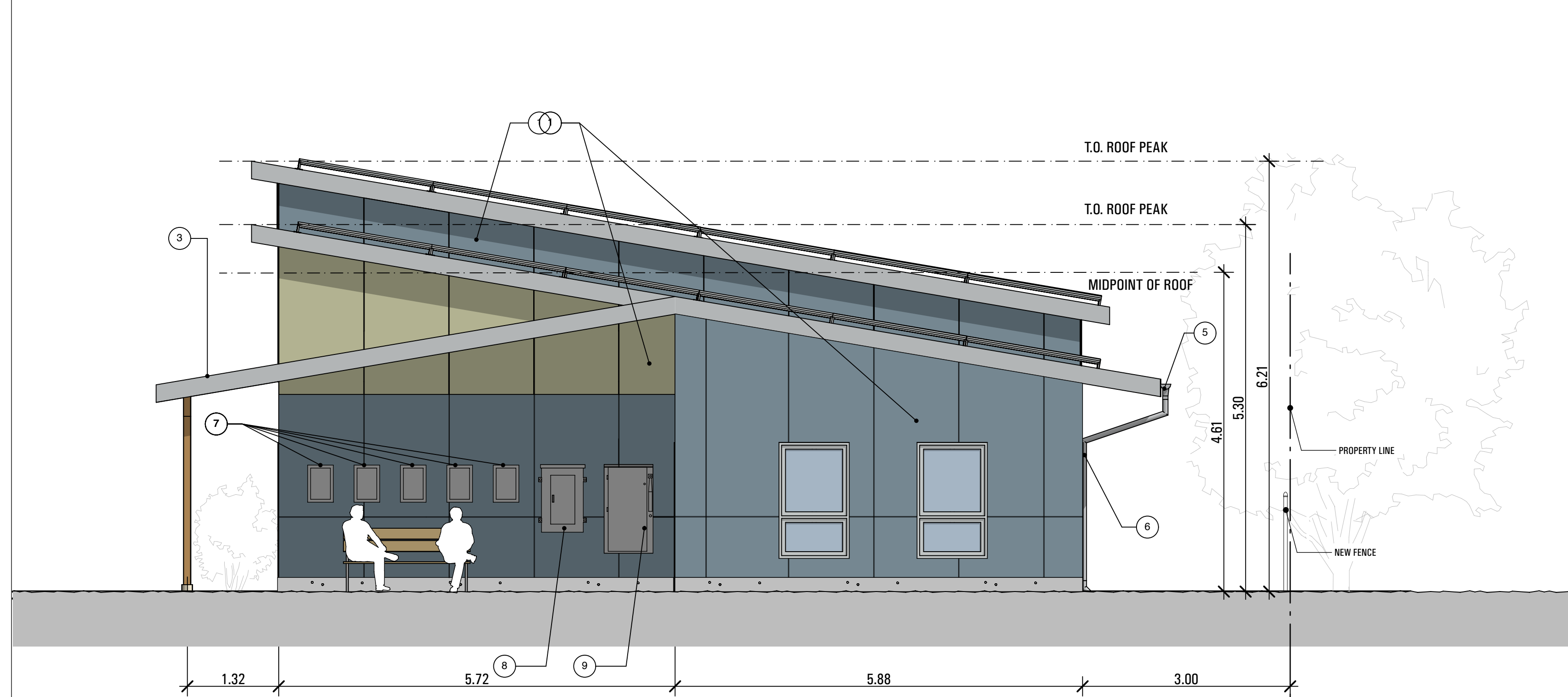
**ATELIER 292**  
 ARCHITECT INC.  
 292 main street  
 ottawa ontario k1s 1e1 canada  
 t41 813-2311 2345 fax: 613/234-3176  
 www.atelier292.com



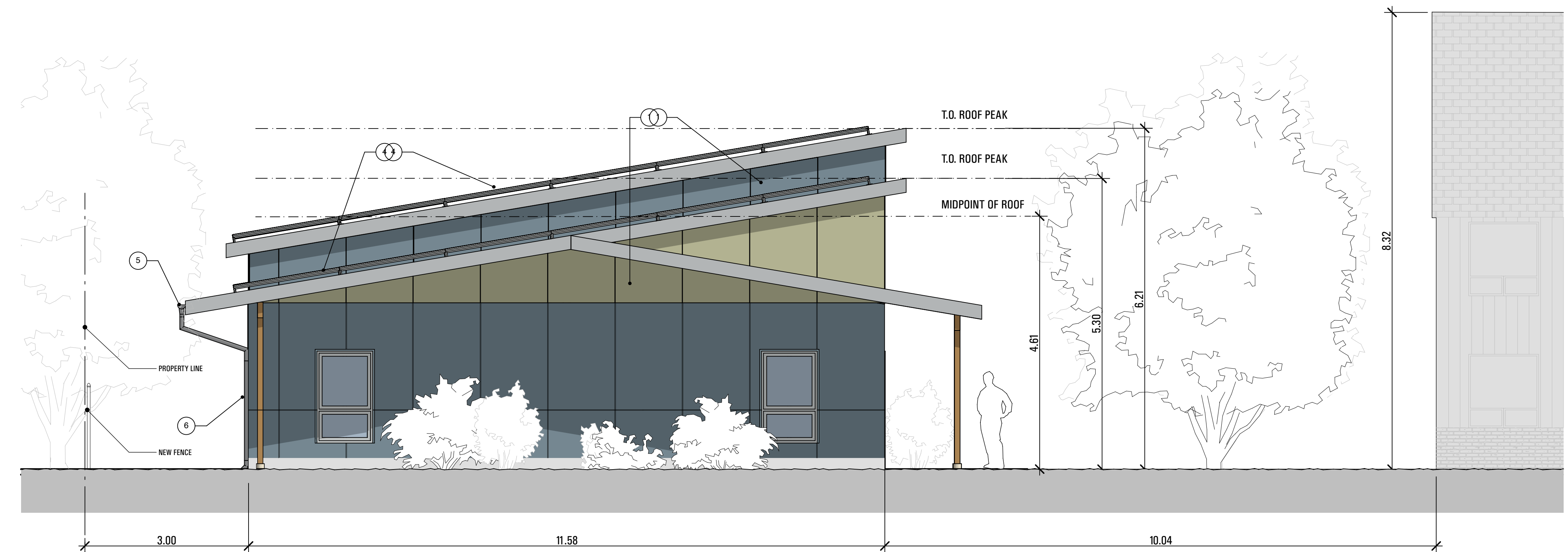
2 EAST ELEVATION  
 SCALE: 1/50  
 A-110



2 WEST ELEVATION  
 SCALE: 1/50  
 A-110



3 NORTH ELEVATION  
 SCALE: 1/50  
 A-110



4 SOUTH ELEVATION  
 SCALE: 1/50  
 A-110

**MATERIALS LEGEND**

- 1: FIBRE CEMENT PANELS
- 2: HORIZONTAL METAL SIDING
- 3: METAL ROOFING
- 4: PHOTOVOLTAIC ARRAY
- 5: HALF-ROUND GALVALUME EAVESTROUGH
- 6: ROUND GALVALUME DOWNSPOUT

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DATE	DESCRIPTION
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2023-12-19	COORDINATION RE-ZONING
2020-04-29	CLIENT REVIEW
2020-04-23	CLIENT REVIEW
DATE	DESCRIPTION
YYYYMMDD	

PROJECT NORTH: \_\_\_\_\_  
 ARCHITECT'S SEAL:

PROJECT NAME:  
 8-UNIT INFILL  
 251 PENFIELD DRIVE - TOWNHOUSES

DRAWING NAME:  
 ELEVATIONS

DATE: 20240318  
 PROJECT NO.: 1925  
 DRAWN BY: SDX  
 CHECKED BY: P.J.F.  
 DRAWING NO.: