



**GENERAL NOTES:**

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO MANUFACTURING OR CONSTRUCTION.

DO NOT SCALE DRAWINGS.

ALL WORK SHALL COMPLY WITH THE LOCAL BUILDING CODE AND THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION.

THIS DRAWING SET IS THE EXCLUSIVE PROPERTY OF ATELIER 292 ARCHITECT INC. COPYRIGHT RESERVED.

**IMPORTANT NOTE :**

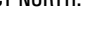
THE CONTRACTOR SHALL NOT MAKE ANY CHANGES OR MODIFICATIONS WITHOUT ARCHITECT'S WRITTEN CONSENT. THE CONTRACTOR ASSUMES FULL LEGAL AND CONTRACTUAL LIABILITY FOR ANY UNAUTHORIZED CHANGES. THE CONTRACTOR MAY BE REQUIRED TO CORRECT THEM AT HIS OWN COST.

| DRAWING LIST: |   |
|---------------|---|
| A-010         | CONTEXT PLAN, PROPERTY ZONING AND STATS           |
| A-100         | SITE PLAN, LANDSCAPE PLAN, SITE DETAILS AND NOTES |
| A-110         | ELEVATIONS  |


| OBC MATRIX - 8 UNIT APARTMENT BUILDING |   |            |            |            |            |            |                                   |                    |                      |                             |            |                 |
|--|---|------------|------------|------------|------------|------------|-----------------------------------|--------------------|----------------------|-----------------------------|------------|-----------------|
| ITEM                                   | ONTARIO BUILDING CODE DATA MATRIX SECTION 9.0.9 |            |            |            |            |            |                                   | OBC REFERENCE      |                      |                             |            |                 |
|  | CHANGE OF USE                                   |            |            | ALTERATION |            |            | PART 1                            | PART 2             | PART 3               |                             |            |                 |
|  | RENOVATION                                      | ALTERATION | ALTERATION | RENOVATION | ALTERATION | ALTERATION | RENOVATION                        | ALTERATION         | RENOVATION           | ALTERATION                  | ALTERATION |                 |
| 1                                      | PROJECT DESCRIPTION:                            |            |            |            |            |            |                                   |                    |                      |                             |            |                 |
| 2                                      | MAJOR OCCUPANCY CLASSIFICATION                  |            |            |            |            |            | RENOVATION                        | ALTERATION         | ALTERATION           | RENOVATION                  | ALTERATION | ALTERATION      |
| 3                                      | BUILDING AREA (m <sup>2</sup> )                 |            |            |            |            |            | EXISTING                          | NEW                | 600                  | TOTAL                       | 600        | 3.1.1.10        |
| 4                                      | GROSS AREA                                      |            |            |            |            |            | EXISTING                          | NEW                | 1,277                | TOTAL                       | 1,277      | 3.1.2           |
| 5                                      | NUMBER OF STOREYS ABOVE GRADE                   |            |            |            |            |            | 1                                 | BELOW GRADE        | 0                    | 2.1.1.1 & 1.1.2             | 2.1.2      | 1.1.3           |
| 6                                      | HEIGHT OF BUILDING (m)                          |            |            |            |            |            | 7.4                               |                    |                      |                             |            | 2.1.1.3         |
| 7                                      | NUMBER OF STREETS/ACCESS ROADS                  |            |            |            |            |            | 1                                 |                    |                      | 3.2.2.0 & 3.2.5             |            | 3.10.2          |
| 8                                      | BUILDING CLASSIFICATION                         |            |            |            |            |            | B.10.2.1, GROUP C - RESIDENTIAL   |                    |                      | 3.2.2.0 - 83                |            | 3.10.2 & 3.10.3 |
| 9                                      | SPRINKLER SYSTEM PROPOSED                       |            |            |            |            |            | EXISTING                          |                    |                      |                             |            | 3.10.3          |
| 10                                     | STANDPIPE REQUIRED                              |            |            |            |            |            |                                   |                    |                      |                             |            |                 |
| 11                                     | FIRE ALARM REQUIRED                             |            |            |            |            |            |                                   | YES                | NO                   | 3.2.8                       |            | 3.10.10.2       |
| 12                                     | WATER SUPPLY/SUPPLY IS ADEQUATE                 |            |            |            |            |            |                                   | YES                | NO                   | 3.2.8                       |            |                 |
| 13                                     | HIGH BUILDING                                   |            |            |            |            |            |                                   |                    |                      | 3.2.6                       |            |                 |
| 14                                     | PERMITTED CONSTRUCTION                          |            |            |            |            |            | COMBUSTIBLE                       | NON-COMBUSTIBLE    | 3.2.2.0 - 83         |                             | 3.10.8     |                 |
| 15                                     | APARTMENT CONSTRUCTION                          |            |            |            |            |            | COMBUSTIBLE                       | NON-COMBUSTIBLE    | 3.2.2.0 - 83         |                             |            |                 |
| 16                                     | MEZZANINE AREA (m <sup>2</sup> )                |            |            |            |            |            | N/A                               |                    |                      | 3.2.1.1, (b)(b)             |            | 3.10.4.1        |
| 17                                     | OCCUPANT LOAD (BASED ON)                        |            |            |            |            |            | 1 PERSON                          | DESIGN OF BUILDING | 3.1.1.8              |                             | 3.1.1.3    |                 |
| 18                                     | BARRIER-FREE DESIGN                             |            |            |            |            |            | OCCUPANCY                         | 1                  | 3.1.1.7.1            |                             | 3.1.1.7    |                 |
| 19                                     | HAZARDOUS SUBSTANCES                            |            |            |            |            |            |                                   | YES                | NO                   | 3.1.2.7(a) & 3.2.3.1 (b)(b) |            | 3.1.1.3         |
| 20                                     | REQUIRED FIRE RESISTANCE RATING                 |            |            |            |            |            | HORIZONTAL ASSEMBLIES (FR JOISTS) | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 21                                     | FLOOR JOISTS                                    |            |            |            |            |            | 1 HOUR                            | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 22                                     | FLOOR JOISTS                                    |            |            |            |            |            | 2 HOURS                           | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 23                                     | FLOOR JOISTS                                    |            |            |            |            |            | 3 HOURS                           | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 24                                     | FLOOR JOISTS                                    |            |            |            |            |            | 4 HOURS                           | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 25                                     | FLOOR JOISTS                                    |            |            |            |            |            | 5 HOURS                           | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 26                                     | FLOOR JOISTS                                    |            |            |            |            |            | 6 HOURS                           | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 27                                     | FLOOR JOISTS                                    |            |            |            |            |            | 7 HOURS                           | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 28                                     | FLOOR JOISTS                                    |            |            |            |            |            | 8 HOURS                           | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 29                                     | FLOOR JOISTS                                    |            |            |            |            |            | 9 HOURS                           | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 30                                     | FLOOR JOISTS                                    |            |            |            |            |            | 10 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 31                                     | FLOOR JOISTS                                    |            |            |            |            |            | 11 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 32                                     | FLOOR JOISTS                                    |            |            |            |            |            | 12 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 33                                     | FLOOR JOISTS                                    |            |            |            |            |            | 13 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 34                                     | FLOOR JOISTS                                    |            |            |            |            |            | 14 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 35                                     | FLOOR JOISTS                                    |            |            |            |            |            | 15 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 36                                     | FLOOR JOISTS                                    |            |            |            |            |            | 16 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 37                                     | FLOOR JOISTS                                    |            |            |            |            |            | 17 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 38                                     | FLOOR JOISTS                                    |            |            |            |            |            | 18 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 39                                     | FLOOR JOISTS                                    |            |            |            |            |            | 19 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 40                                     | FLOOR JOISTS                                    |            |            |            |            |            | 20 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 41                                     | FLOOR JOISTS                                    |            |            |            |            |            | 21 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 42                                     | FLOOR JOISTS                                    |            |            |            |            |            | 22 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 43                                     | FLOOR JOISTS                                    |            |            |            |            |            | 23 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 44                                     | FLOOR JOISTS                                    |            |            |            |            |            | 24 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 45                                     | FLOOR JOISTS                                    |            |            |            |            |            | 25 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 46                                     | FLOOR JOISTS                                    |            |            |            |            |            | 26 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 47                                     | FLOOR JOISTS                                    |            |            |            |            |            | 27 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 48                                     | FLOOR JOISTS                                    |            |            |            |            |            | 28 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 49                                     | FLOOR JOISTS                                    |            |            |            |            |            | 29 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 50                                     | FLOOR JOISTS                                    |            |            |            |            |            | 30 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 51                                     | FLOOR JOISTS                                    |            |            |            |            |            | 31 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 52                                     | FLOOR JOISTS                                    |            |            |            |            |            | 32 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 53                                     | FLOOR JOISTS                                    |            |            |            |            |            | 33 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 54                                     | FLOOR JOISTS                                    |            |            |            |            |            | 34 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 55                                     | FLOOR JOISTS                                    |            |            |            |            |            | 35 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 56                                     | FLOOR JOISTS                                    |            |            |            |            |            | 36 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 57                                     | FLOOR JOISTS                                    |            |            |            |            |            | 37 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 58                                     | FLOOR JOISTS                                    |            |            |            |            |            | 38 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 59                                     | FLOOR JOISTS                                    |            |            |            |            |            | 39 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 60                                     | FLOOR JOISTS                                    |            |            |            |            |            | 40 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 61                                     | FLOOR JOISTS                                    |            |            |            |            |            | 41 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 62                                     | FLOOR JOISTS                                    |            |            |            |            |            | 42 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 63                                     | FLOOR JOISTS                                    |            |            |            |            |            | 43 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 64                                     | FLOOR JOISTS                                    |            |            |            |            |            | 44 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 65                                     | FLOOR JOISTS                                    |            |            |            |            |            | 45 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 66                                     | FLOOR JOISTS                                    |            |            |            |            |            | 46 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 67                                     | FLOOR JOISTS                                    |            |            |            |            |            | 47 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 68                                     | FLOOR JOISTS                                    |            |            |            |            |            | 48 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 69                                     | FLOOR JOISTS                                    |            |            |            |            |            | 49 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 70                                     | FLOOR JOISTS                                    |            |            |            |            |            | 50 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 71                                     | FLOOR JOISTS                                    |            |            |            |            |            | 51 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 72                                     | FLOOR JOISTS                                    |            |            |            |            |            | 52 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 73                                     | FLOOR JOISTS                                    |            |            |            |            |            | 53 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 74                                     | FLOOR JOISTS                                    |            |            |            |            |            | 54 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 75                                     | FLOOR JOISTS                                    |            |            |            |            |            | 55 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 76                                     | FLOOR JOISTS                                    |            |            |            |            |            | 56 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 77                                     | FLOOR JOISTS                                    |            |            |            |            |            | 57 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 78                                     | FLOOR JOISTS                                    |            |            |            |            |            | 58 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 79                                     | FLOOR JOISTS                                    |            |            |            |            |            | 59 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 80                                     | FLOOR JOISTS                                    |            |            |            |            |            | 60 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 81                                     | FLOOR JOISTS                                    |            |            |            |            |            | 61 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 82                                     | FLOOR JOISTS                                    |            |            |            |            |            | 62 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 83                                     | FLOOR JOISTS                                    |            |            |            |            |            | 63 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 84                                     | FLOOR JOISTS                                    |            |            |            |            |            | 64 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 85                                     | FLOOR JOISTS                                    |            |            |            |            |            | 65 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 86                                     | FLOOR JOISTS                                    |            |            |            |            |            | 66 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 87                                     | FLOOR JOISTS                                    |            |            |            |            |            | 67 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 88                                     | FLOOR JOISTS                                    |            |            |            |            |            | 68 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 89                                     | FLOOR JOISTS                                    |            |            |            |            |            | 69 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 90                                     | FLOOR JOISTS                                    |            |            |            |            |            | 70 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 91                                     | FLOOR JOISTS                                    |            |            |            |            |            | 71 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 92                                     | FLOOR JOISTS                                    |            |            |            |            |            | 72 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 93                                     | FLOOR JOISTS                                    |            |            |            |            |            | 73 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 94                                     | FLOOR JOISTS                                    |            |            |            |            |            | 74 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 95                                     | FLOOR JOISTS                                    |            |            |            |            |            | 75 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 96                                     | FLOOR JOISTS                                    |            |            |            |            |            | 76 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 97                                     | FLOOR JOISTS                                    |            |            |            |            |            | 77 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 98                                     | FLOOR JOISTS                                    |            |            |            |            |            | 78 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 99                                     | FLOOR JOISTS                                    |            |            |            |            |            | 79 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 100                                    | FLOOR JOISTS                                    |            |            |            |            |            | 80 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 101                                    | FLOOR JOISTS                                    |            |            |            |            |            | 81 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 102                                    | FLOOR JOISTS                                    |            |            |            |            |            | 82 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 103                                    | FLOOR JOISTS                                    |            |            |            |            |            | 83 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 104                                    | FLOOR JOISTS                                    |            |            |            |            |            | 84 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 105                                    | FLOOR JOISTS                                    |            |            |            |            |            | 85 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 106                                    | FLOOR JOISTS                                    |            |            |            |            |            | 86 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 107                                    | FLOOR JOISTS                                    |            |            |            |            |            | 87 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 108                                    | FLOOR JOISTS                                    |            |            |            |            |            | 88 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 109                                    | FLOOR JOISTS                                    |            |            |            |            |            | 89 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 110                                    | FLOOR JOISTS                                    |            |            |            |            |            | 90 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 111                                    | FLOOR JOISTS                                    |            |            |            |            |            | 91 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 112                                    | FLOOR JOISTS                                    |            |            |            |            |            | 92 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 113                                    | FLOOR JOISTS                                    |            |            |            |            |            | 93 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 114                                    | FLOOR JOISTS                                    |            |            |            |            |            | 94 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 115                                    | FLOOR JOISTS                                    |            |            |            |            |            | 95 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 116                                    | FLOOR JOISTS                                    |            |            |            |            |            | 96 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 117                                    | FLOOR JOISTS                                    |            |            |            |            |            | 97 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 118                                    | FLOOR JOISTS                                    |            |            |            |            |            | 98 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 119                                    | FLOOR JOISTS                                    |            |            |            |            |            | 99 HOURS                          | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 120                                    | FLOOR JOISTS                                    |            |            |            |            |            | 100 HOURS                         | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 121                                    | FLOOR JOISTS                                    |            |            |            |            |            | 101 HOURS                         | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 122                                    | FLOOR JOISTS                                    |            |            |            |            |            | 102 HOURS                         | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 123                                    | FLOOR JOISTS                                    |            |            |            |            |            | 103 HOURS                         | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 124                                    | FLOOR JOISTS                                    |            |            |            |            |            | 104 HOURS                         | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 125                                    | FLOOR JOISTS                                    |            |            |            |            |            | 105 HOURS                         | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 126                                    | FLOOR JOISTS                                    |            |            |            |            |            | 106 HOURS                         | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 127                                    | FLOOR JOISTS                                    |            |            |            |            |            | 107 HOURS                         | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 128                                    | FLOOR JOISTS                                    |            |            |            |            |            | 108 HOURS                         | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 129                                    | FLOOR JOISTS                                    |            |            |            |            |            | 109 HOURS                         | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 130                                    | FLOOR JOISTS                                    |            |            |            |            |            | 110 HOURS                         | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 131                                    | FLOOR JOISTS                                    |            |            |            |            |            | 111 HOURS                         | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 132                                    | FLOOR JOISTS                                    |            |            |            |            |            | 112 HOURS                         | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 133                                    | FLOOR JOISTS                                    |            |            |            |            |            | 113 HOURS                         | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 134                                    | FLOOR JOISTS                                    |            |            |            |            |            | 114 HOURS                         | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 135                                    | FLOOR JOISTS                                    |            |            |            |            |            | 115 HOURS                         | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 136                                    | FLOOR JOISTS                                    |            |            |            |            |            | 116 HOURS                         | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 137                                    | FLOOR JOISTS                                    |            |            |            |            |            | 117 HOURS                         | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 138                                    | FLOOR JOISTS                                    |            |            |            |            |            | 118 HOURS                         | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 139                                    | FLOOR JOISTS                                    |            |            |            |            |            | 119 HOURS                         | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 140                                    | FLOOR JOISTS                                    |            |            |            |            |            | 120 HOURS                         | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 141                                    | FLOOR JOISTS                                    |            |            |            |            |            | 121 HOURS                         | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 142                                    | FLOOR JOISTS                                    |            |            |            |            |            | 122 HOURS                         | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 143                                    | FLOOR JOISTS                                    |            |            |            |            |            | 123 HOURS                         | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 144                                    | FLOOR JOISTS                                    |            |            |            |            |            | 124 HOURS                         | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 145                                    | FLOOR JOISTS                                    |            |            |            |            |            | 125 HOURS                         | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 146                                    | FLOOR JOISTS                                    |            |            |            |            |            | 126 HOURS                         | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |
| 147                                    | FLOOR JOISTS                                    |            |            |            |            |            | 127 HOURS                         | NO                 | 3.1.1.1, 3.2.2.2.0.3 |                             | 3.10.7.8   |                 |

|            |               |
|------------|---------------|
| 2020-04-29 | CLIENT REVIEW |
| 2020-04-23 | CLIENT REVIEW |
| DATE       | DESCRIPTION   |
| YYYY/MM/DD |               |

PROJECT NORTH:



ARCHITECT'S SEAL:



PROJECT NAME:  
8-UNIT INFILL  
251 PENFIELD DRIVE - TOWNHOUSES

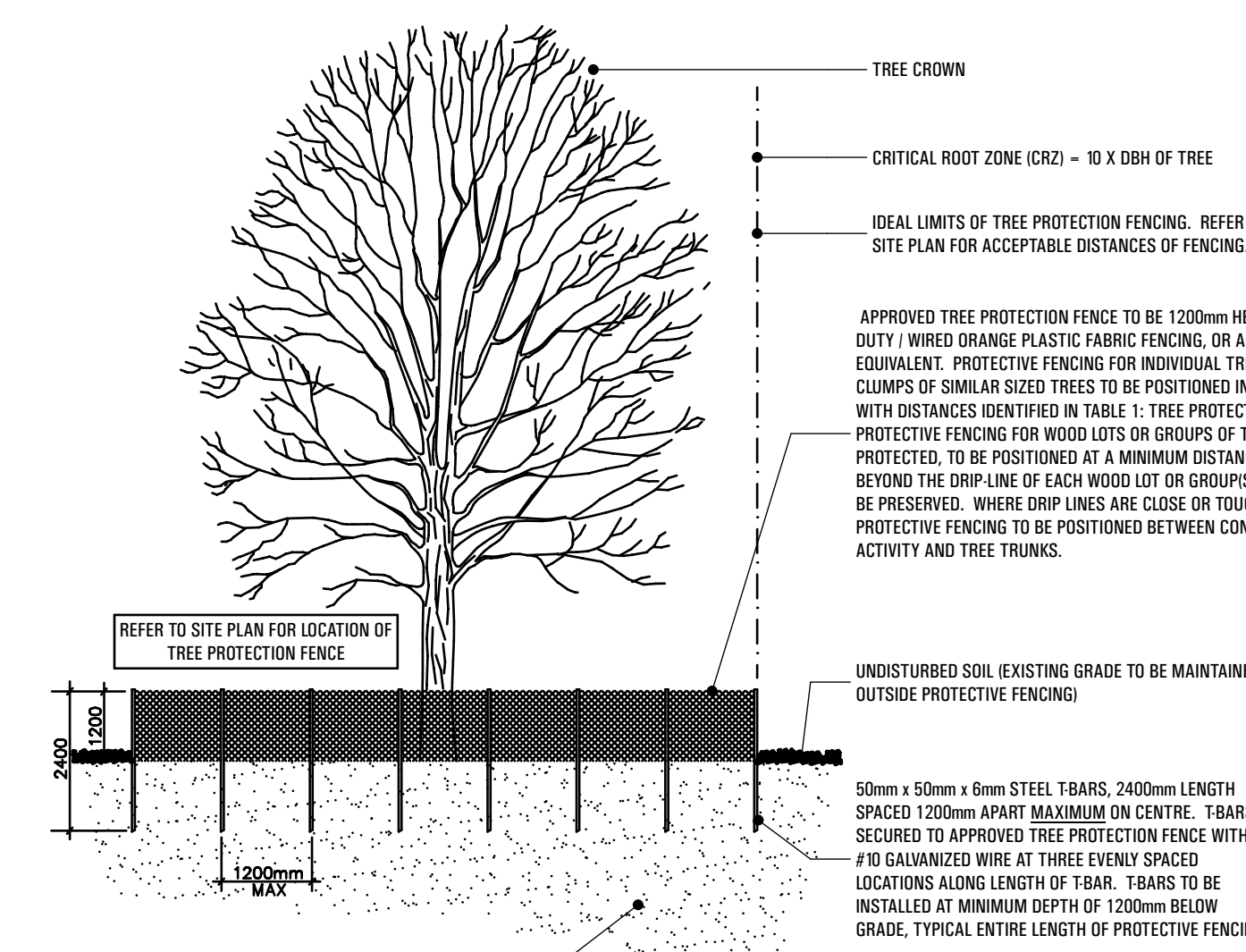
DRAWING NAME:

CONTEXT PLAN, PROPERTY ZONING & STATS

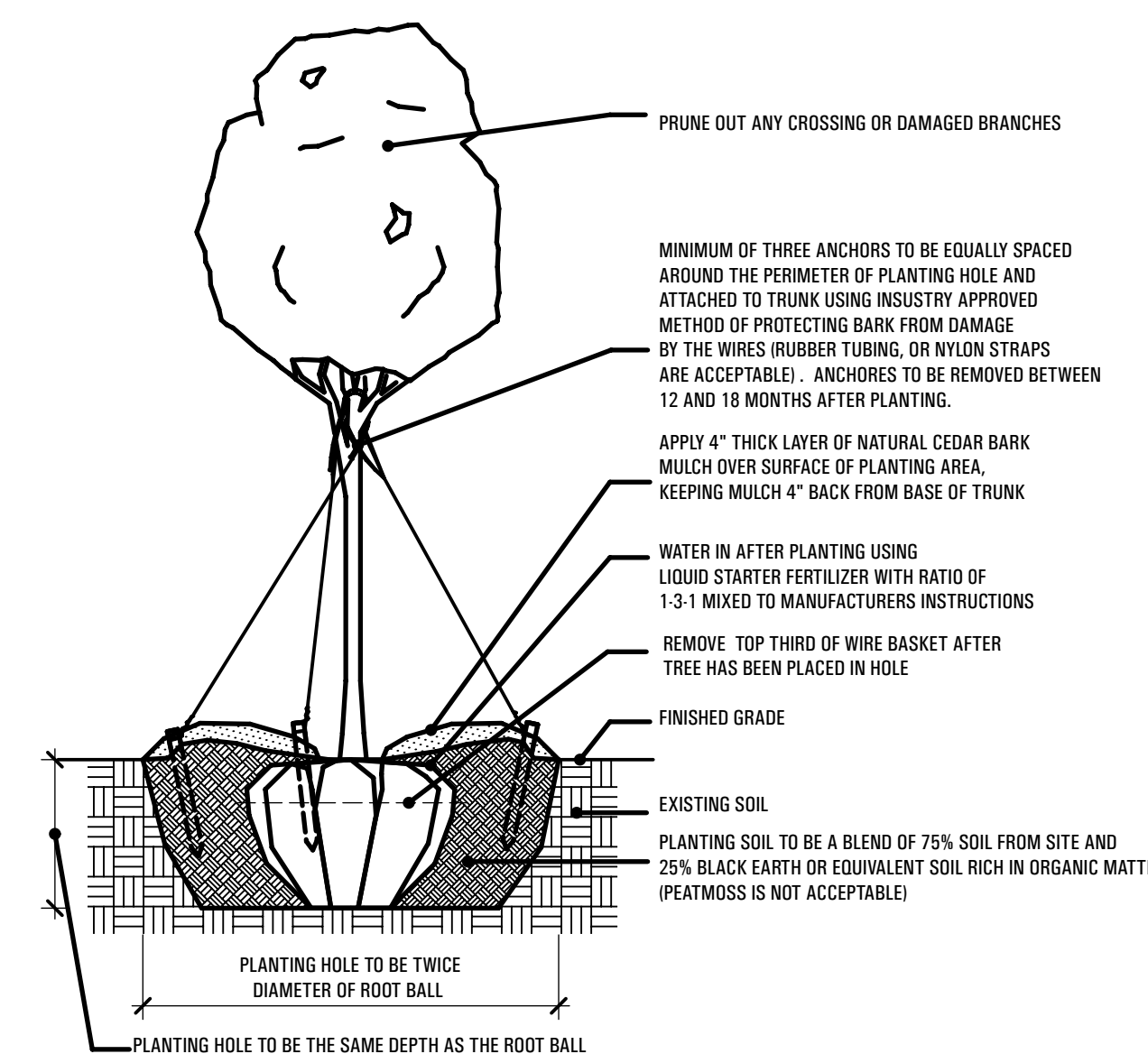
|              |            |
|--------------|------------|
| DATE:        | 2020-07-14 |
| PROJECT NO.: | 1925       |
| DRAWN BY:    | GDV        |
| CHECKED BY:  | PJF        |
| DATE:        |            |

A-010





**1**  
**A-100** TREE PROTECTION DETAIL  
SCALE: 1:50



**1**  
**A-100** TREE PLANTING DETAIL  
SCALE: 1:25

**TREE PROTECTION REQUIREMENTS:**

- ALL TREES ON SITE TO REMAIN AND ANY ADJACENT TREES TO BE PROTECTED DURING CONSTRUCTION.
- ERECT FENCE AT CRITICAL ROOT ZONE (CRZ) AS INDICATED ON DRAWING A-100 TO PROTECT EXISTING TREES DURING CONSTRUCTION.
- DO NOT PLACE ANY MATERIAL OR EQUIPMENT WITHIN TREE CRZ.
- DO NOT ATTACH ANY SIGNS, NOTICES OR POSTERS TO ANY TREE.
- DO NOT RAISE OR LOWER EXISTING GRADE WITHIN EXISTING TREE CRZ WITHOUT APPROVAL.
- DO NOT TUNNEL OR BORE WHEN EXCAVATING WITHIN TREE CRZ.
- DO NOT DAMAGE ROOT SYSTEM, TRUNK OR BRANCHES OF ANY TREE.
- ENSURE THAT EQUIPMENT EXHAUST FUMES ARE NOT DIRECTED TOWARDS CANOPY OF ANY TREE.
- CRZ IS MEASURED BY MULTIPLYING DIAMETER OF TRUNK (DB) BY 10 CM.
- IF TREE PERMIT IS REQUIRED, NO TREES ARE TO BE CUT UNTIL TREE PERMIT IS PROVIDED.
- PROVIDE DISCONTINUOUS FOOTINGS IN LIMITED EXCAVATION ZONE, FOOTINGS THERE TO ALLOW FOR ANY ROOTS OVER 50mm (2") DIA.
- ANY ROOTS LARGER THAN 25 mm (1") DIA. TO BE CUT OFF CLEANLY BY HAND, COVERED BY BURLAP FILTER, CLOTH OR WOOD CHIPS AND KEEP MOIST.
- ANY PRUNING OF EXISTING TREES TO BE DONE BY PROFESSIONAL.
- FOR ADDITIONAL INFORMATION AND TREE PROTECTION REQUIREMENTS: REFER TO ARBORIST REPORT PREPARED BY BOWTHORPE TREE SERVICES, DATED OCTOBER 23, 2014.

**GENERAL LANDSCAPING NOTES:**

- TREES TO BE PLANTED A MINIMUM OF 8 FEET OR 2.4 METERS FROM THE FOUNDATION OF THE PROPOSED STRUCTURE.
- PRIOR TO ANY DEMOLITION AND CONSTRUCTION, CONTRACTOR SHALL ERECT PROTECTIVE FENCING WHERE INDICATED, MAINTAIN FENCING THROUGHOUT DURATION OF PROJECT.
- COVER ANY EXPOSED ROOTS WITH MULCH AND KEEP MOIST.

**GENERAL SITE NOTES:**

- REFER TO GRADING PLAN FOR NEW & EXISTING GRADES.
- FOR ALL NEW TREES, REFER TO TREE PLANTING DETAIL (A-100).
- ALL SITE PLAN DIMENSIONS ARE SHOWN IN METRES.
- EXISTING GRADING AND DRAINAGE PATTERNS MUST NOT BE ALTERED UNLESS NOTED OTHERWISE.
- NEW ROOF DOWNSPOUTS SHALL NOT BE DIRECTED TOWARDS ADJACENT PROPERTY.
- EXCAVATED MATERIAL SHALL BE REMOVED FROM THE PROPERTY UNLESS USED FOR BACKFILL.
- NEW GRADING PLAN IS BASED ON INFORMATION PROVIDED BY FARLEY SMITH & DENIS SURVEYING LIMITED.
- PLAN IS TO BE READ IN CONJUNCTION WITH SITE GRADING PLAN AND SITE SERVICING PLAN PREPARED BY MONTOSH PERRY LTD.
- ALL SNOW TO BE TRUCKED OFF BY OCH.

**SYMBOLS LEGEND**

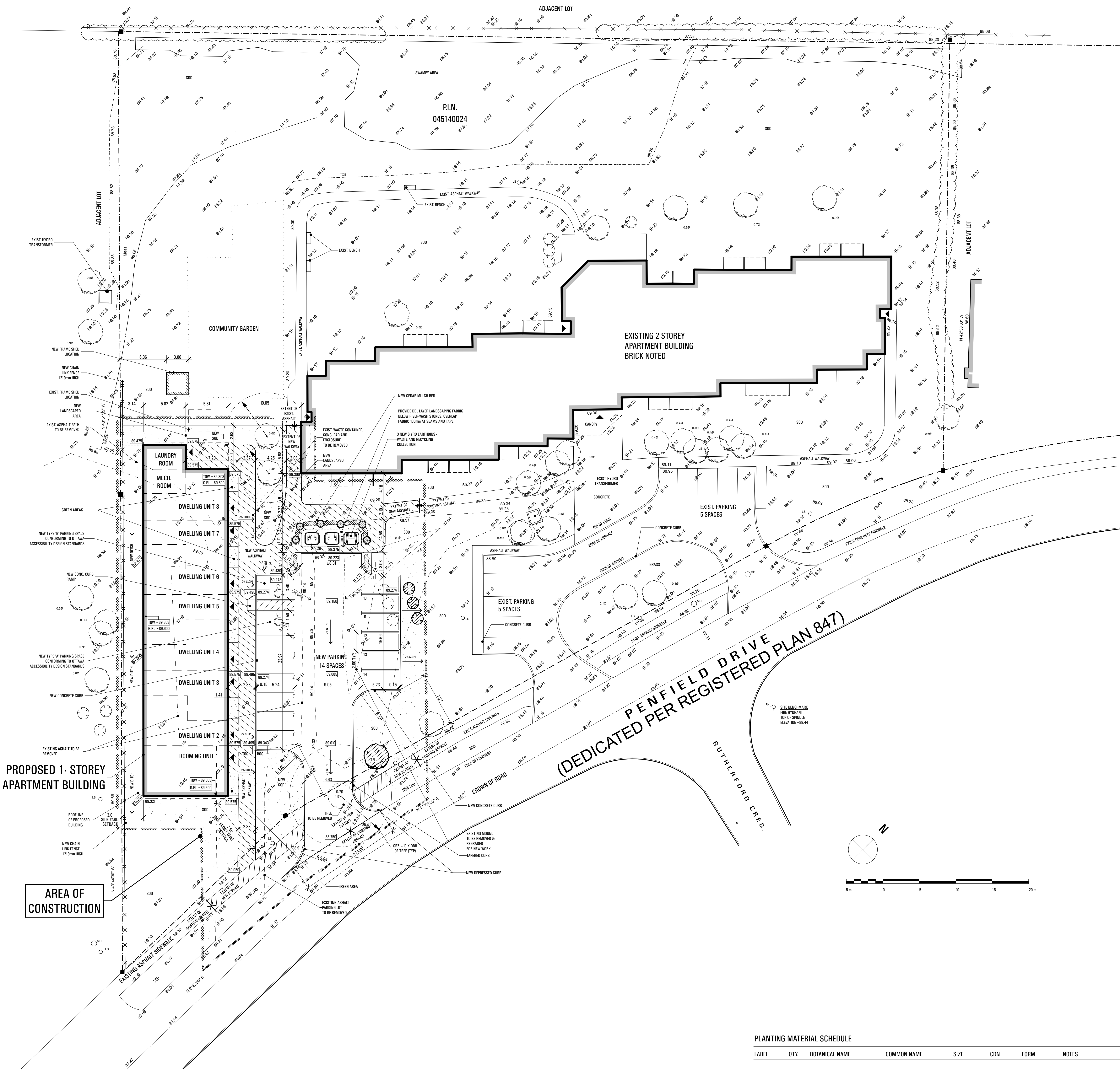
|  |                                    |  |                     |
|--|------------------------------------|--|---------------------|
|  | EXISTING TREE                      |  | EXISTING SHRUB      |
|  | TREE TO BE REMOVED                 |  | SHRUB TO BE REMOVED |
|  | TREE TO BE PLANTED                 |  | SHRUB TO BE PLANTED |
|  | EXTENT OF CRITICAL ROOT ZONE (CRZ) |  | NEW EMERALD CEDAR   |
|  | BUILDING ENTRANCE                  |  | CEDAR HEDGE         |
|  | MAINTENANCE HOLE                   |  | NEW BOXWOOD HEDGE   |
|  | CHAIN LINK FENCE                   |  | EXISTING LAMP POST  |
|  | FIRE HYDRANT                       |  | NEW LAMP POST       |

**PLANTING MATERIAL SCHEDULE**

| LABEL | QTY. | BOTANICAL NAME | COMMON NAME | SIZE | CON | FORM | NOTES |
|-------|------|----------------|-------------|------|-----|------|-------|
|       |      |                |             |      |     |      |       |
|       |      |                |             |      |     |      |       |
|       |      |                |             |      |     |      |       |
|       |      |                |             |      |     |      |       |

**SITE NOTE:**

PROPERTY BOUNDARY INFORMATION IS DERIVED FROM TOPOGRAPHIC SURVEY PREPARED BY FARLEY SMITH & DENIS SURVEYING LTD., DATED SEPTEMBER 30, 2019



**1**  
**A-100** SITE PLAN / LANDSCAPE PLAN  
SCALE: 1:200

- GENERAL NOTES:**
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO MANUFACTURING OR CONSTRUCTION.
  - DO NOT SCALE DRAWINGS.
  - ALL WORK SHALL COMPLY WITH THE LOCAL BUILDING CODE AND THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION.
  - THIS DRAWING SET IS THE EXCLUSIVE PROPERTY OF ATELIER 292 ARCHITECT INC. COPYRIGHT RESERVED.

**IMPORTANT NOTE:**

THE CONTRACTOR SHALL NOT MAKE ANY CHANGES OR MODIFICATIONS WITHOUT ARCHITECT'S WRITTEN CONSENT. THE CONTRACTOR ASSUMES FULL LEGAL AND CONTRACTUAL LIABILITY FOR ANY UNAUTHORIZED CHANGES. THE CONTRACTOR MAY BE REQUIRED TO CORRECT THEM AT HIS OWN COST.

|   |                        |
|---|------------------------|
| 2020-04-29  | CLIENT REVIEW          |
| 2020-04-23  | CLIENT REVIEW          |
| DATE  | DESCRIPTION            |
| YYYYMMDD  |                        |
| PROJECT NUMBER:                                   | ARCHITECT'S SEAL:      |
| PROJECT NAME:                                     | ARCHITECT'S ASSOCIATE: |
| 8-UNIT INFILL                                     | ARCHITECT'S ASSOCIATE: |
| 251 PENFIELD DRIVE - TOWNHOUSES                   | ARCHITECT'S ASSOCIATE: |
| DRAWING NAME:                                     |                        |
| SITE PLAN, LANDSCAPE PLAN, SITE DETAILS AND NOTES |                        |
| DATE:   | 2020/07/14             |
| PROJECT NO.:                                      | 1925                   |
| DRAWN BY:   | GVY                    |
| CHECKED BY:                                       | PLF                    |
| DRAWING NO.:                                      |                        |





- IMPORTANT NOTE:**
- THE CONTRACTOR SHALL NOT MAKE ANY CHANGES OR MODIFICATIONS WITHOUT ARCHITECT'S WRITTEN CONSENT. THE CONTRACTOR ASSUMES FULL LEGAL AND CONTRACTUAL LIABILITY FOR ANY UNAUTHORIZED CHANGES. THE CONTRACTOR MAY BE REQUIRED TO CORRECT THEM AT HIS OWN COST.

|              |            |
|--------------|------------|
| DATE:        | 2020-07-14 |
| PROJECT NO.: | 1825       |
| DRAWN BY:    | GDV        |
| CHECKED BY:  | PJF        |
| DRAWING NO.: |            |

### MATERIALS LEGEND

|                                     |
|-------------------------------------|
| 1: FIBRE CEMENT PANELS              |
| 2: HORIZONTAL METAL SIDING          |
| 3: METAL ROOFING                    |
| 4: PHOTOVOLTAIC ARRAY               |
| 5: HALF-ROUND GALVALUME EAVESTROUGH |
| 6: ROUND GALVALUME DOWNSPOUT        |