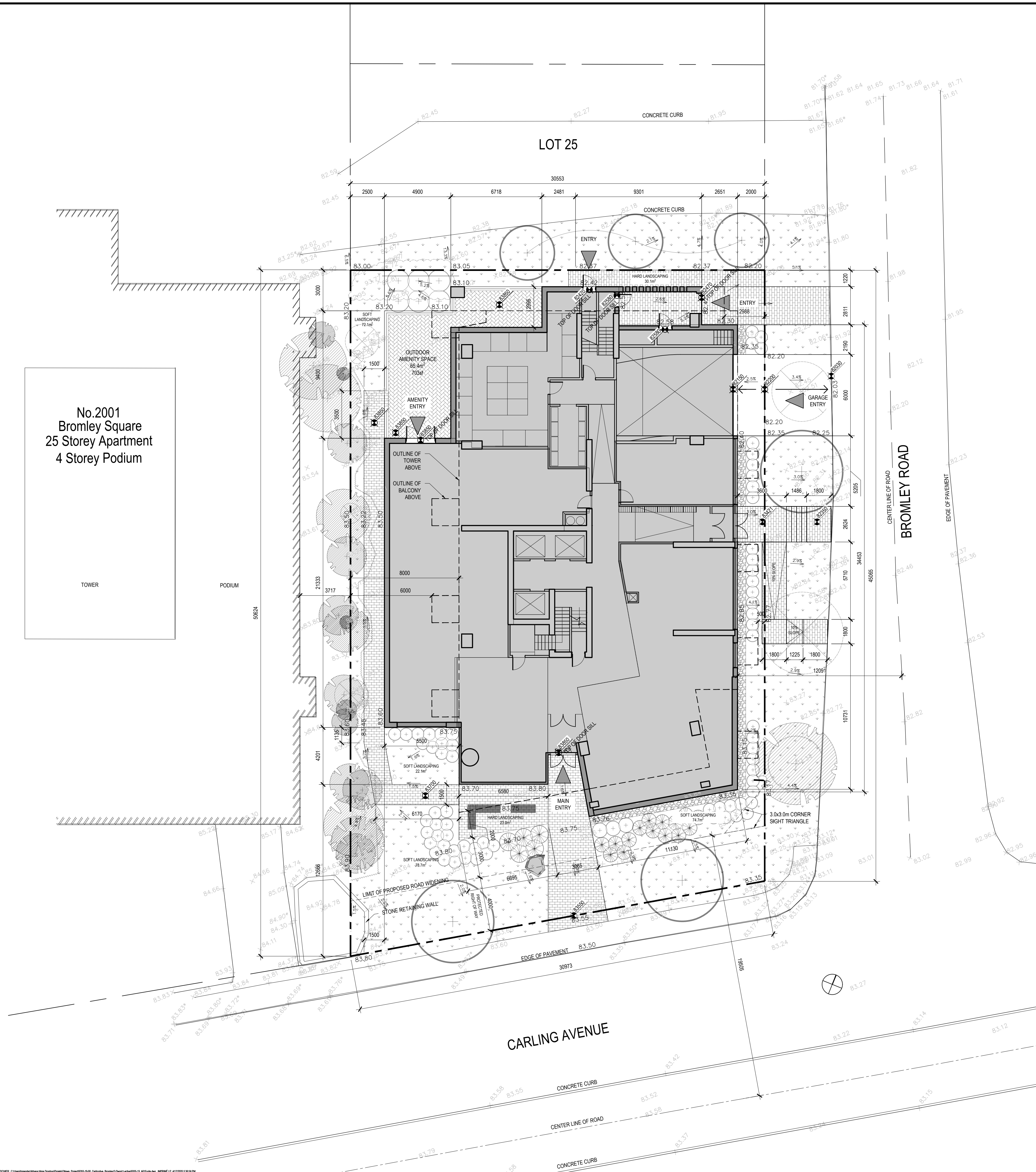




No.2001  
Bromley Square  
25 Storey Apartment  
4 Storey Podium



PROPERTY DESCRIPTION	
Municipal Address:	1995 Carling
Legal Description:	Part of Block A, Registered Plan 4M-98
Surveyor:	Arma, O'Sullivan, Vollebakk Ltd.
	14 Concourse Gate, Suite 500
	Nepean, ON, K2E 7S6
	613-727-0850
	Plan of Survey updated January 23, 2020
Zoning:	AM10
Lot Area:	1,461 square metres
Lot Frontage:	30.97 m (Carling)
Lot Depth:	47.83 m

BUILDING INFORMATION			
Building Footprint:	843 square metres		
Tower Footprint:	705 square metres		
Building Construction Area:	1,461 square metres		
Building GFA:	20,078 square metres		
Percentage of Site Landscaping	35%		
Proposed Use:	High-Rise Apartment		
Unit Breakdown			
2nd to 4th Floor	9 UNITS	4-1BED	5-2BED
5th to 25th floor	8 UNITS	3-1BED	5-2BED
27th floor	7 UNITS	2-1BED	5-2BED
Total:	210	80	130

ZONING TABLE - CITY OF OTTAWA ZONING BY-LAW 2008-250		
Provision	Required	Provided
Front Yard Setback	Minimum 0 m	3 m (Front)
Corner Side Yard Setback	0 m	2 m (corner side)
Minimum Frontage	At least 50% of front and corner side lot lines to be occupied by building within 4.5 m	Front (from Projected Right of Way Line): 35% Corner: 76%
Minimum Transparent Glazing	At least 50% of ground floor facade (up to 4.5 m)	Front: 75% Corner: 56%
Minimum Interior Side Yard	0 m	2.5 m
Minimum Rear Yard	3 m within 20 m of street, 7.5 m otherwise	1.2 m
Minimum Building Height	Ground Floor: 4.5 m (total 7.5 m and 2 storeys)	88.25 m
Maximum Height	30 m	88.25 m
Active Entrances	One facing each of front and corner side lot lines	1 (Front) 1 (corner side)
Amenity Area	Total: 6 m <sup>2</sup> per unit (210 x 6 = 1,260) Communal: min. 50% required area: 630	Total: 1908 m <sup>2</sup> Communal: 880 m <sup>2</sup>
Minimum Parking (Area Y)	Residential 0.5 per unit after first 12 units (210-12 x 0.5 = 99) Visitor: 0.11 unit after the first 12 units = (210-12 x 0.1 = 20) *Reduction for 100% below-grade parking: -10 spaces Total minimum required spaces: 109	Residential: 148 Visitor: 20 Total: 168
Minimum Bicycle Parking	Residential 0.5/unit (210 x 0.5 = 105)	155
Side and Driveway Width	6.0 m (double traffic lane)	MINIMUM 6.0 m MAXIMUM 6.1 m

1995 Carling Ave.						
Building Area Summary						
Floors	Gross Building Area (sqm)	Zoning Deduction (sqm)	Gross Floor Area (sqm)	Unit Mix	1BR	2BR
Mechanical Penthouse	640.91	6888.69	510.47	5484.65	2	5
27	640.91	6888.69	510.47	5484.65	2	5
26	705.76	7596.73	567.43	6107.76	3	5
25	705.76	7596.73	567.43	6107.76	3	5
24	705.76	7596.73	567.43	6107.76	3	5
23	705.76	7596.73	567.43	6107.76	3	5
22	705.76	7596.73	567.43	6107.76	3	5
21	705.76	7596.73	567.43	6107.76	3	5
20	705.76	7596.73	567.43	6107.76	3	5
19	705.76	7596.73	567.43	6107.76	3	5
18	705.76	7596.73	567.43	6107.76	3	5
17	705.76	7596.73	567.43	6107.76	3	5
16	705.76	7596.73	567.43	6107.76	3	5
15	705.76	7596.73	567.43	6107.76	3	5
14	705.76	7596.73	567.43	6107.76	3	5
13	705.76	7596.73	567.43	6107.76	3	5
12	705.76	7596.73	567.43	6107.76	3	5
11	705.76	7596.73	567.43	6107.76	3	5
10	705.76	7596.73	567.43	6107.76	3	5
9	705.76	7596.73	567.43	6107.76	3	5
8	705.76	7596.73	567.43	6107.76	3	5
7	705.76	7596.73	567.43	6107.76	3	5
6	705.76	7596.73	567.43	6107.76	3	5
5	686.86	7383.20	541.55	5829.19	3	5
4	619.66	8822.74	618.63	6658.87	4	5
3	612.76	6748.47	611.56	6657.00	4	5
2	612.76	6748.47	611.56	6657.00	4	5
Ground Floor	843.94	9084.50	-	0	0	0
TOTAL	20078.76	216125.745	0	15321.67	164914.463	80

Underground						
Building Area and Parking Space Summary						
P#	Gross Building Area (sqm)	Parking Spaces Proposed	Bike Parking		Bike Parking Provided	Bike Parking By-Law
			Standard	Barrier Free		
P1	1232.15	13282.74	10	3	13	0
P2	1261.01	13573.39	21	4	25	19
P3	1381.14	14866.45	33	0	33	50% of # of 34
P4	1381.14	14866.45	33	0	33	Dwelling Units 34
P5	1381.14	14866.45	33	0	33	34
P6	1381.14	14866.45	33	0	33	34
TOTAL	8017.72	86301.94	163	7	170	105

Amenity Space			
Amenity Space Summary			
Required by Zoning By-Law	Required	Proposed	Notes
210 Units x 6m <sup>2</sup> = 1260m <sup>2</sup>	Communal	1022m <sup>2</sup>	See-weather Terms
50% of the req. amenity area is communal	Communal	511m <sup>2</sup>	Indoor / Outdoor Amenity
		886m <sup>2</sup>	

ARCHITECTS:

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T. 613-518-2165  
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ENGINEERS:

CLIENT:

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Ottawa, Ontario K2P 0Y6  
Tel: (613) 233 6030 Fax: (613) 233 8290

KEY PLAN:

NO.	DESCRIPTION	BY	DATE
0	ISSUED FOR SITE PLAN APPLICATION	JG	2020-04-16

- THE GENERAL CONTRACTOR :
- SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS ON SITE TO ENSURE COMPLIANCE WITH THE DIMENSIONS GIVEN ON THE DRAWINGS.
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I warrant that the information contained in this document is true and correct to the best of my knowledge and belief, and that I am a duly qualified professional in the field of architecture.

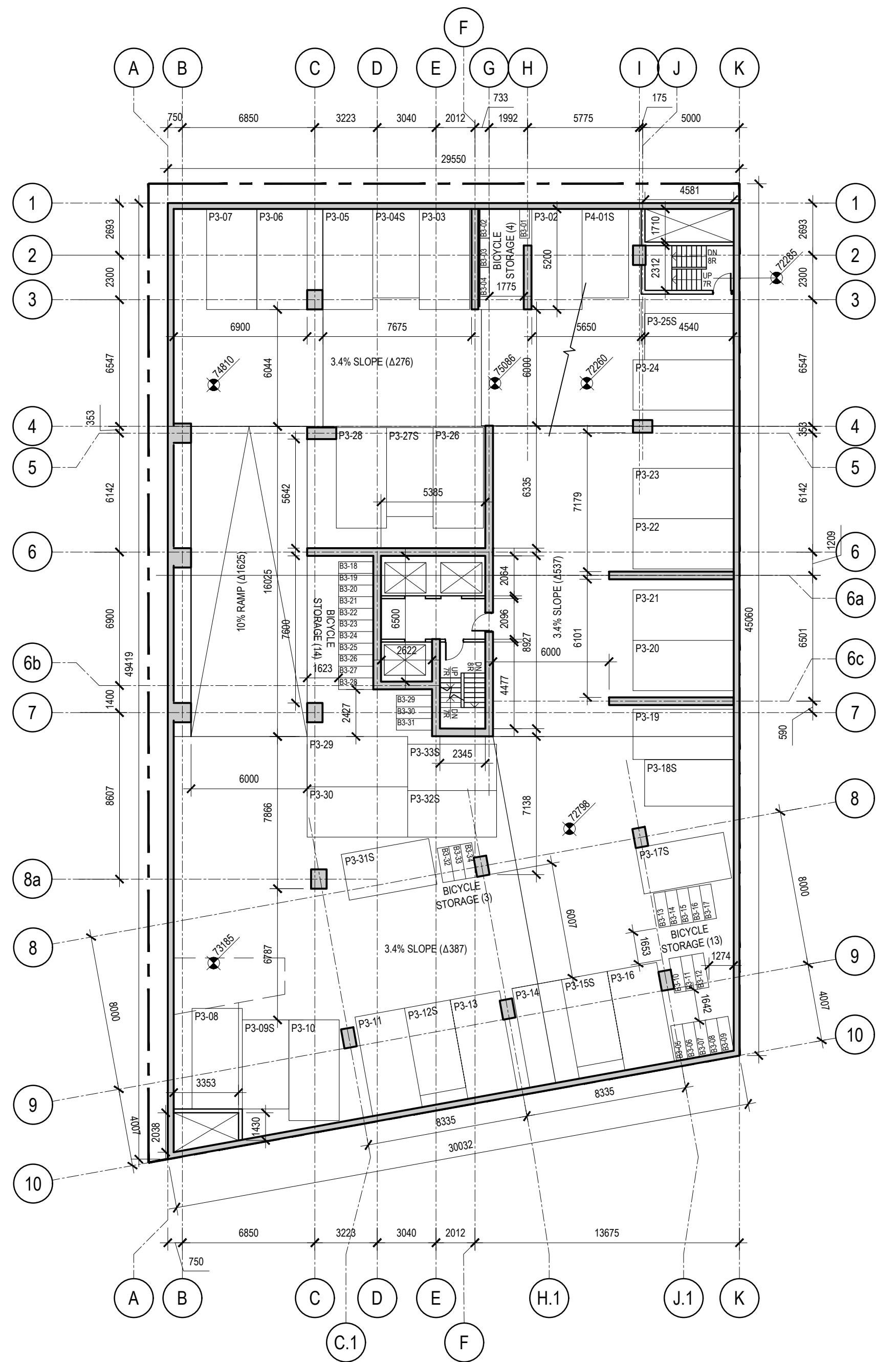
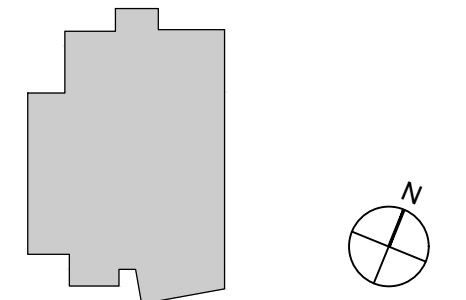
PROJECT:  
1995 CARLING AVE.

DRAWING TITLE:  
SITE PLAN

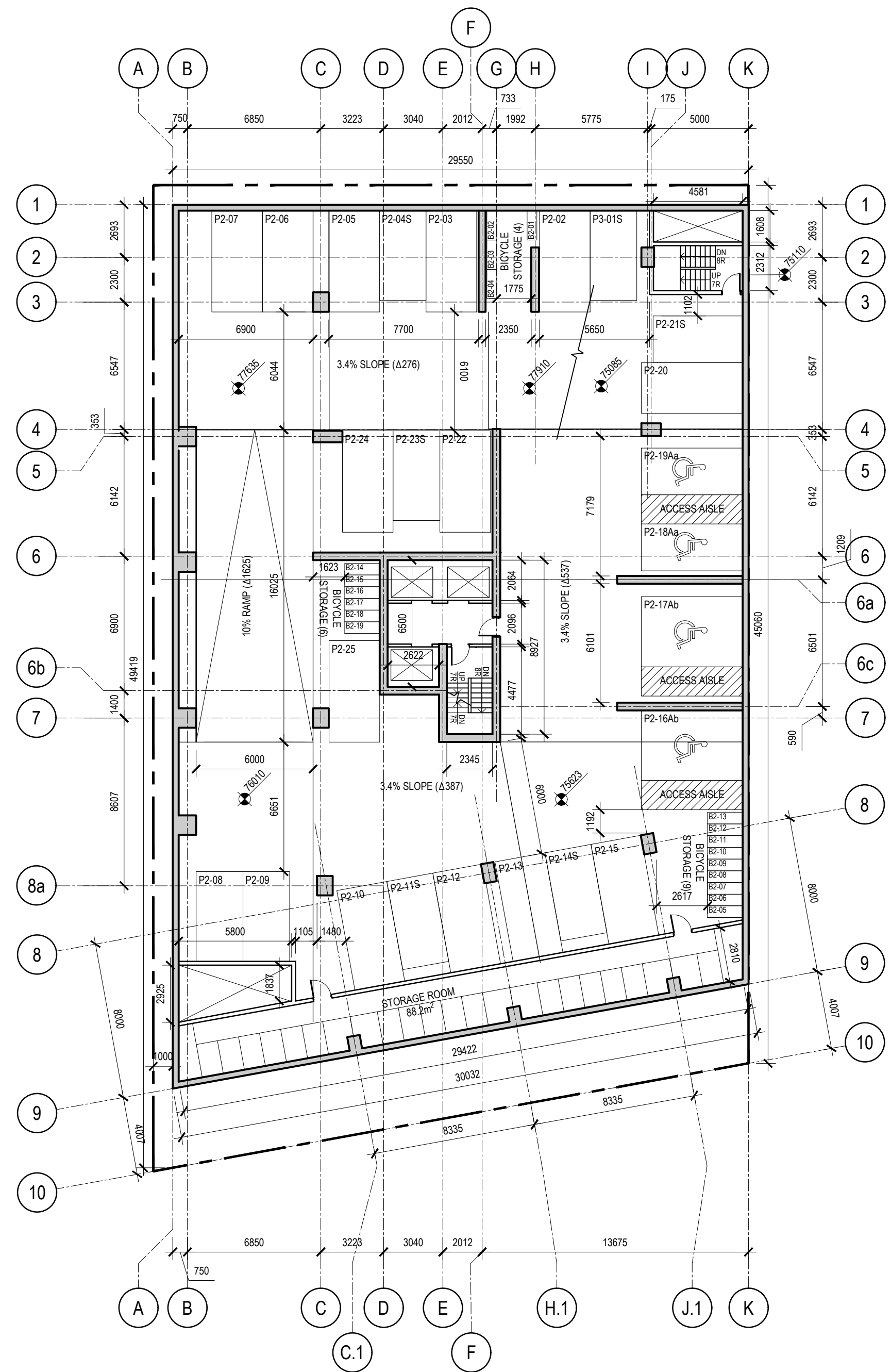
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DRAWN:	MSTP	DATE:	2020-03-02
VERIFIED:	XX	SCALE:	1:150

PROJECT NO: 9355-19-00  
DRAWING NO: A-010

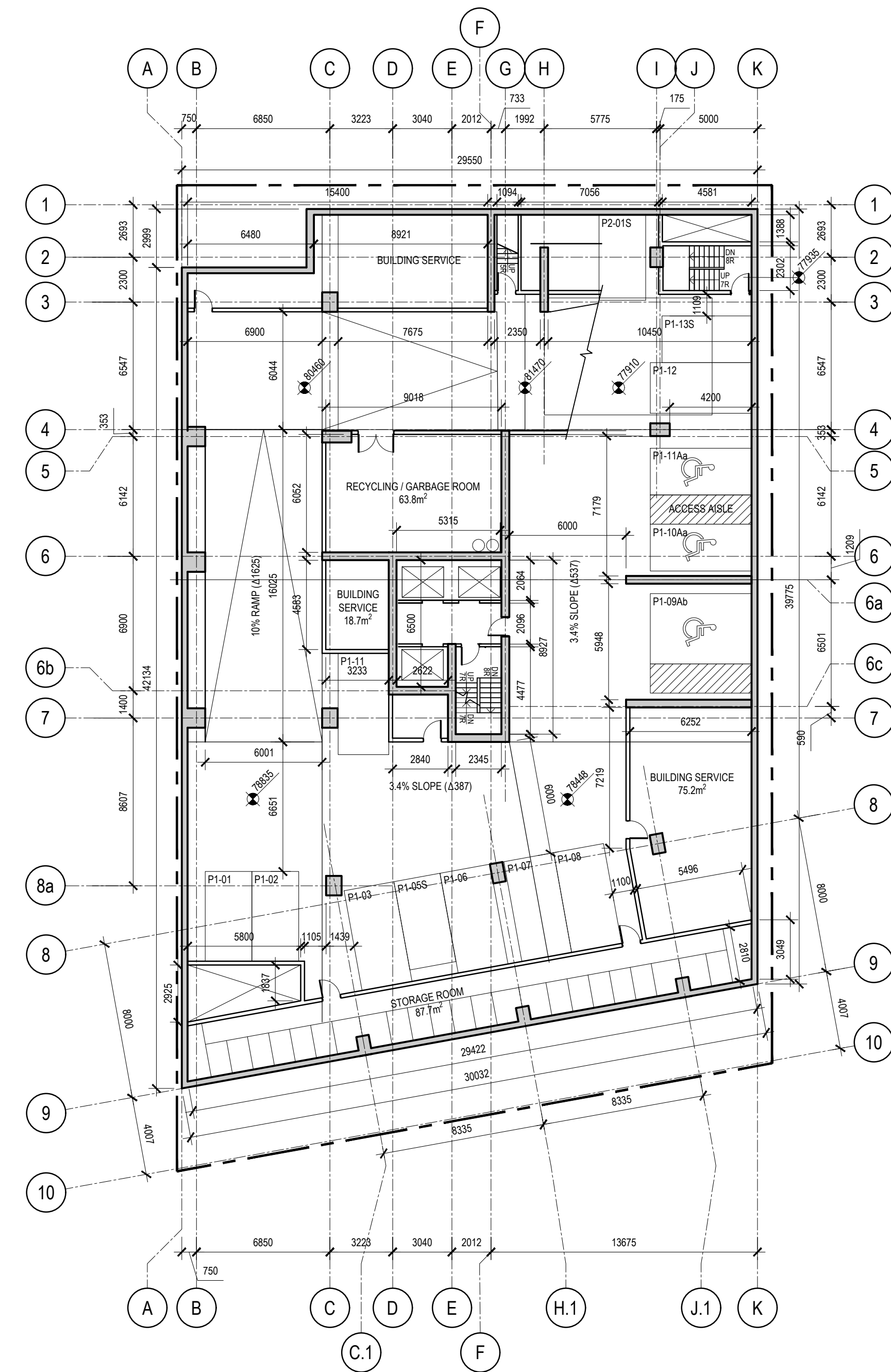
1 SITE PLAN  
A-010 1:150



**1** UNDERGROUND PARKING P3 - P6  
PLAN  
A100 1:200



**2** UNDERGROUND PARKING P2  
PLAN  
A100 1:200



**3** UNDERGROUND PARKING P1  
PLAN  
A100 1:200

Parking Space Sizes			
Description	Tag	Size	Comment
Small	PX-XXS	2400x4600mm	
Standard	PX-XX	2600x5200mm	
Barrier Free	PX-XXAa	Type A: 2400x5200mm	Barrier free access aisle required at barrier free parking space, minimum 1500mm width.
	PX-XXAb	Type B: 3600x5200mm	
Bicycle Parking	BX-XX	500x1500mm	

NO.	ISSUED FOR SITE PLAN APPLICATION	JG	2020-04-16
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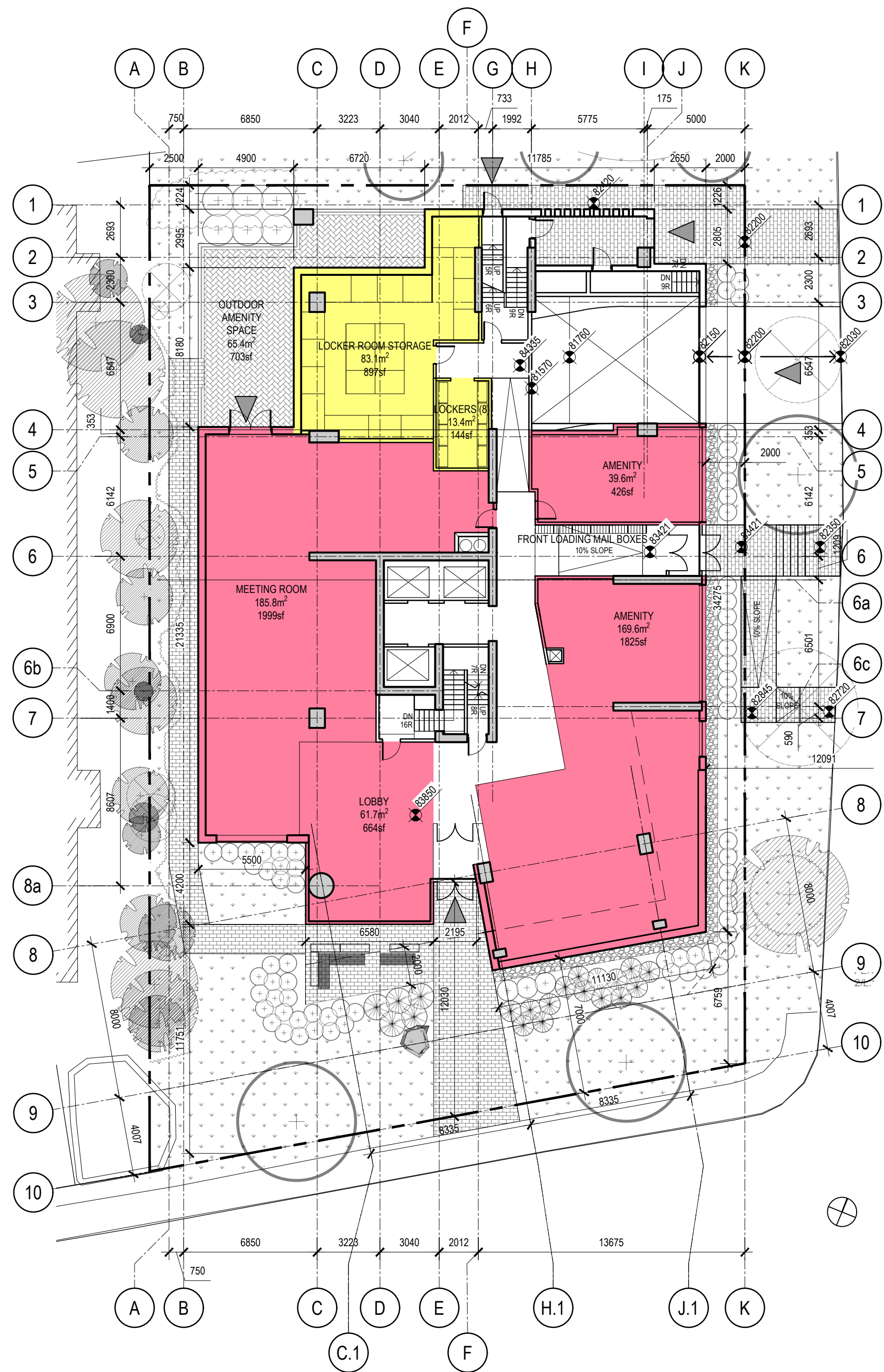
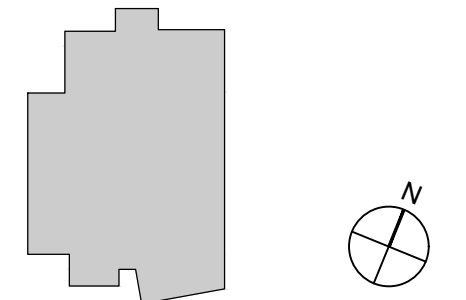
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PROJECT:  
**1995 CARLING AVE.**

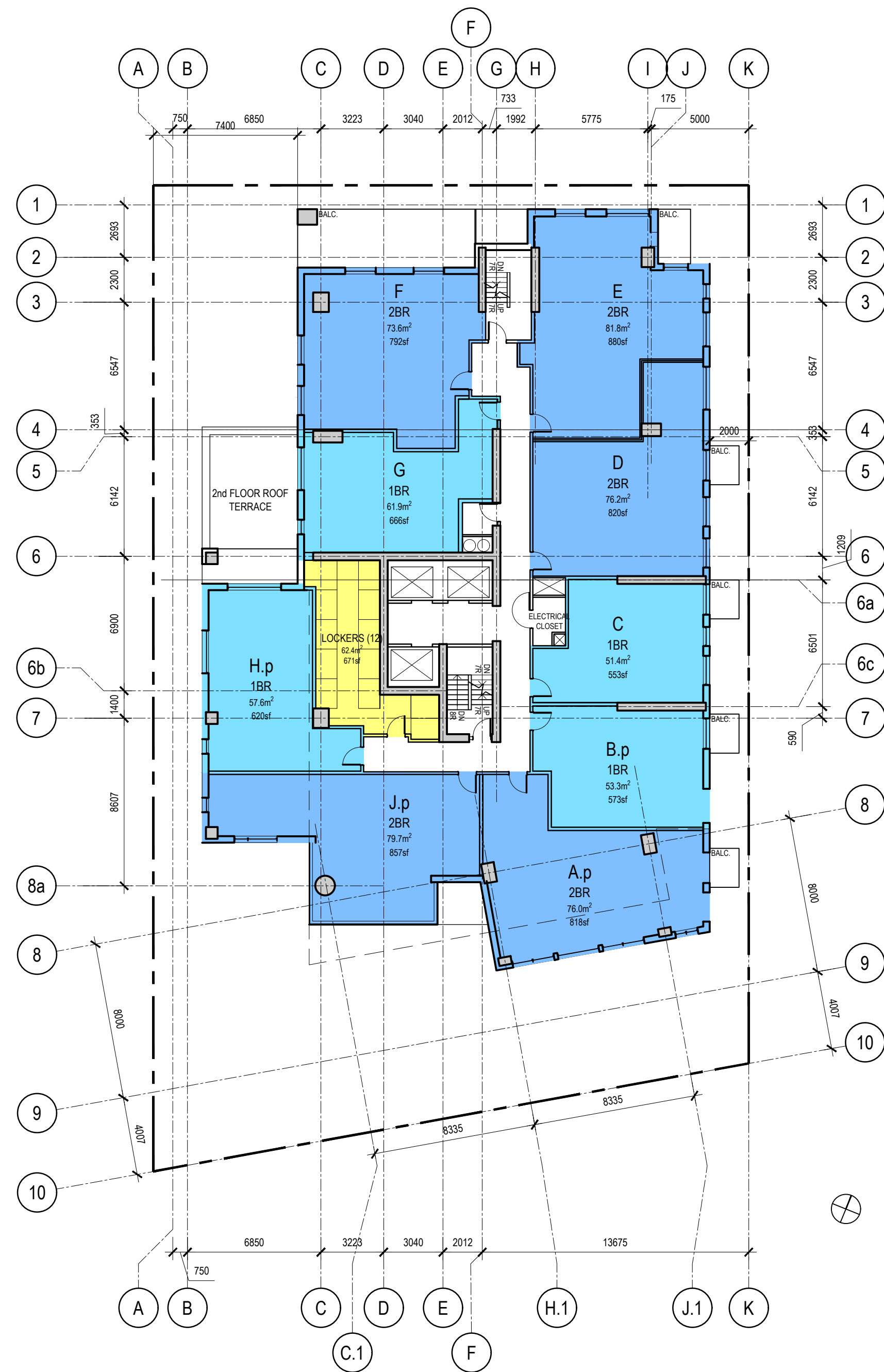
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VERIFIED:	XX	SCALE:	1:100

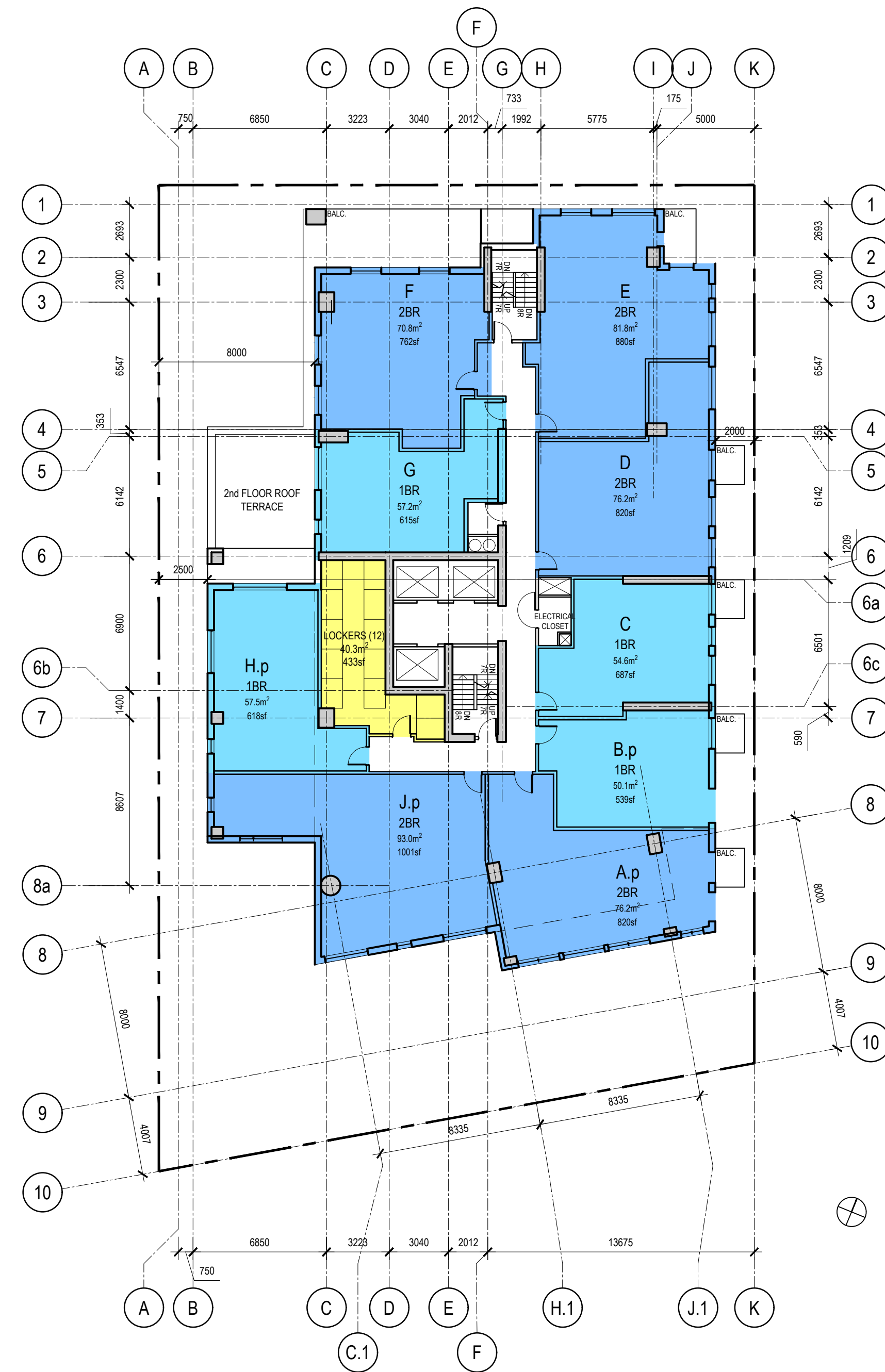
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**1** GROUND FLOOR PLAN  
A101 1:200



**2** 2ND & 3RD FLOOR PLAN  
A101 1:200



**3** 4TH FLOOR PLAN  
A101 1:200

NO.	DESCRIPTION:	BY	DATE
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REVISION:			

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PROJECT:  
**1995 CARLING AVE.**

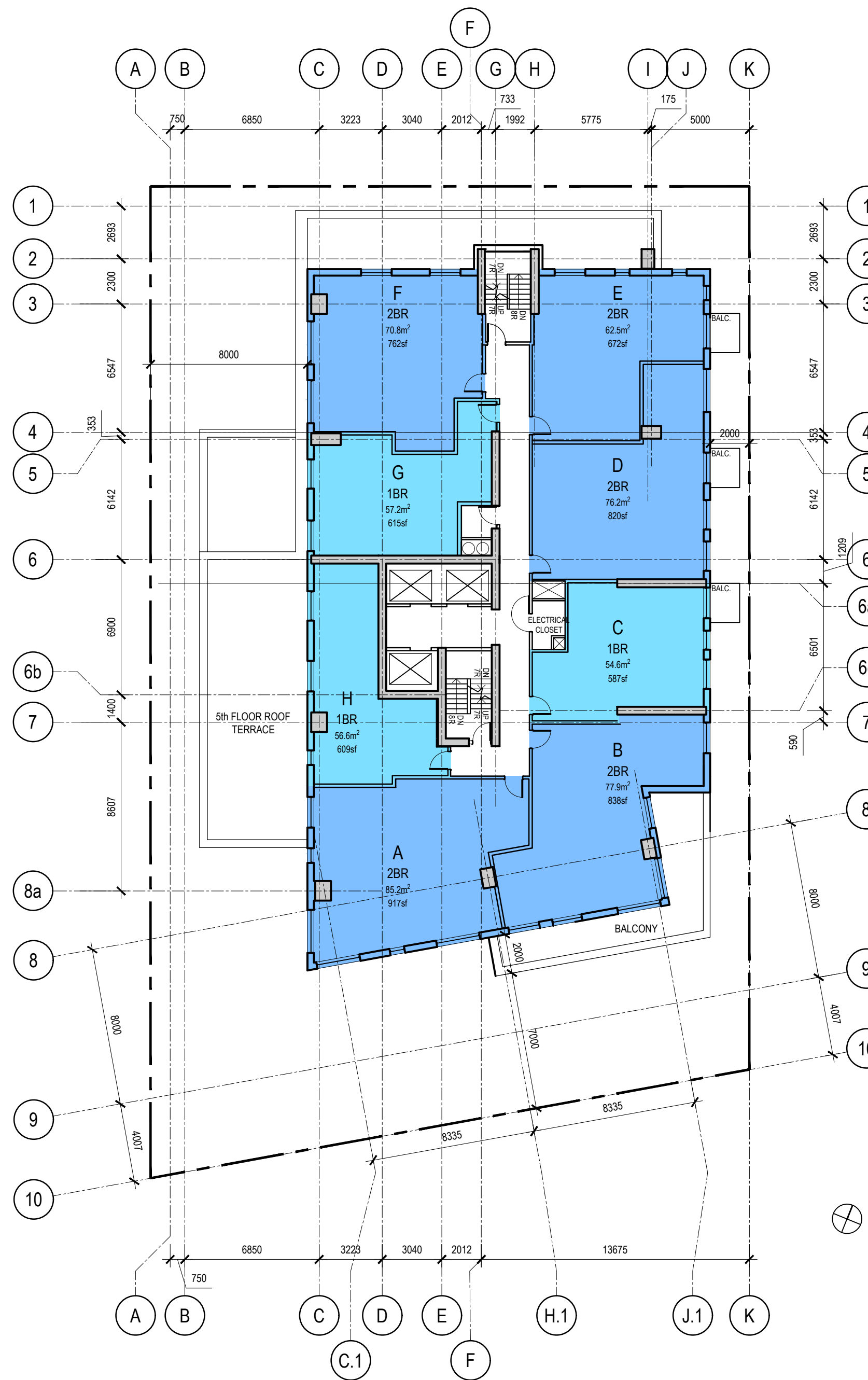
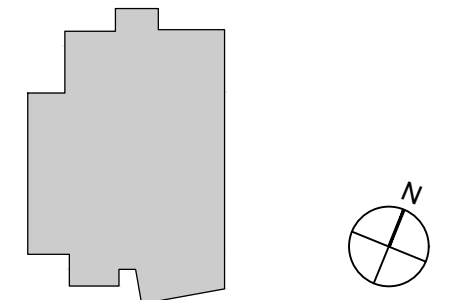
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DESIGN: NG APPROVED: XX

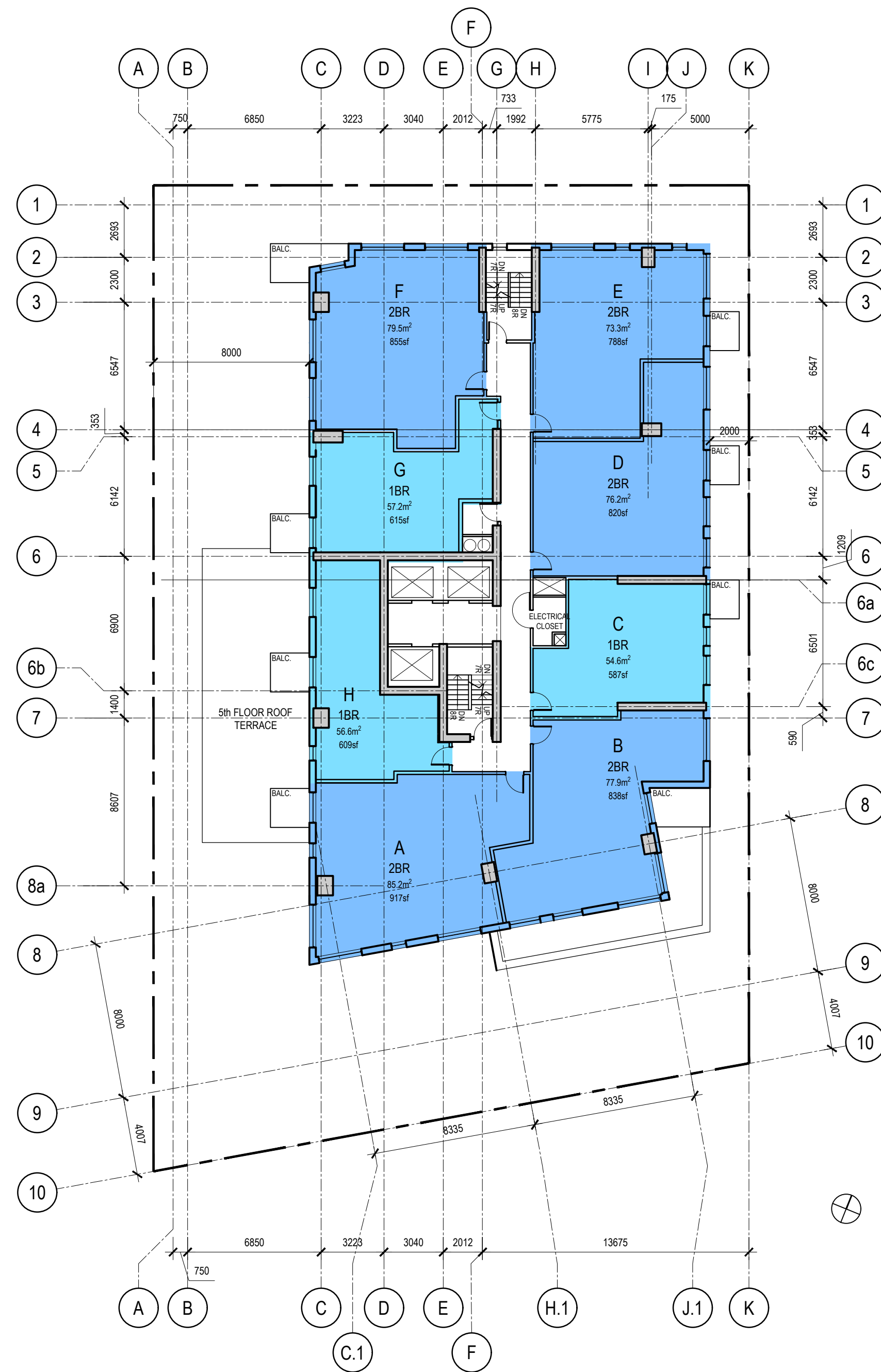
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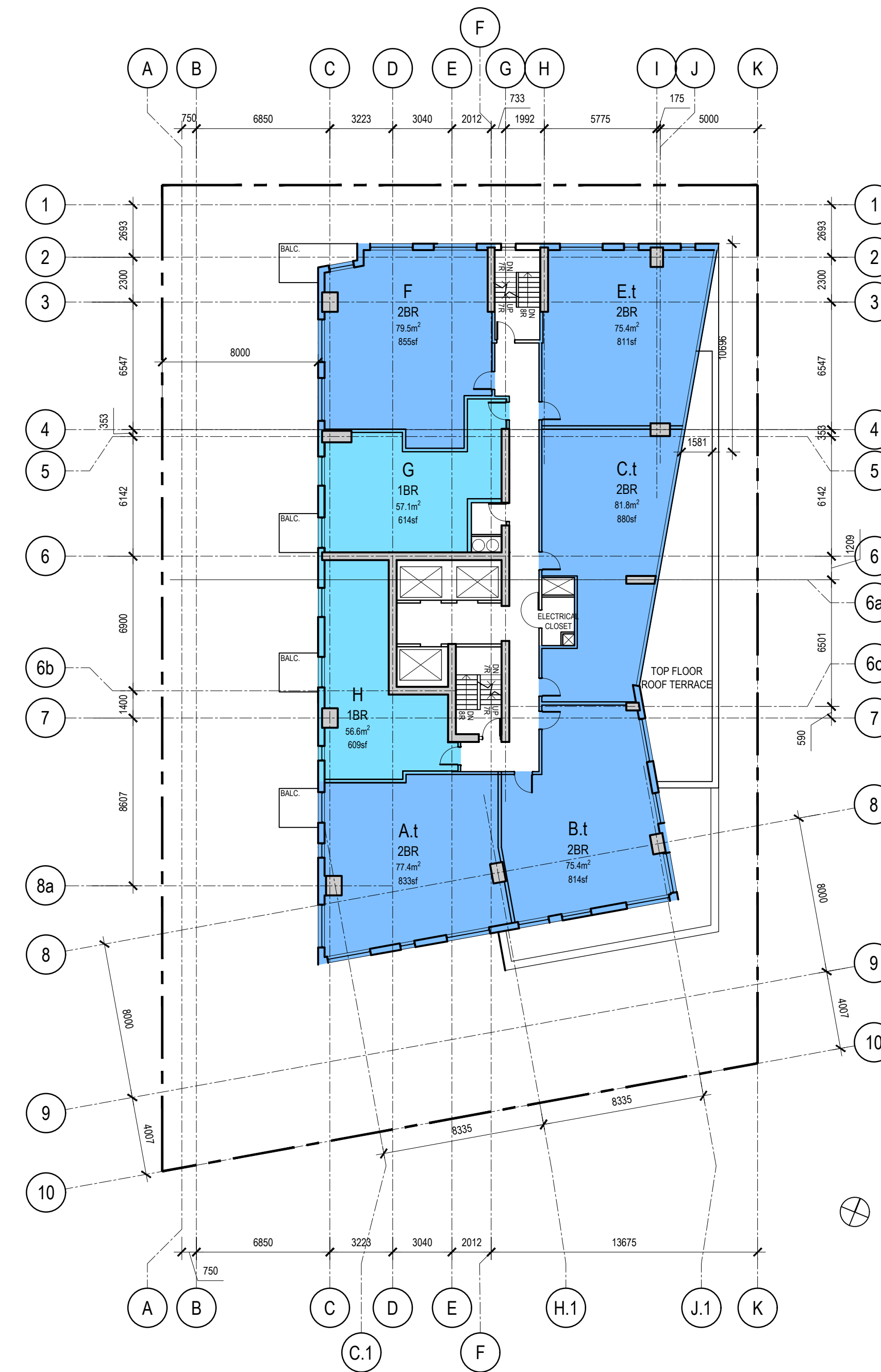
PROJECT NO: **9355-19-00** DRAWING NO: **A-101**



1 5TH FLOOR PLAN  
A102 1:200



2 TYPICAL FLOOR PLAN  
A102 1:200



3 27TH FLOOR PLAN  
A102 1:200

0	ISSUED FOR SITE PLAN APPLICATION	JG	2020-04-16
N°:	DESCRIPTION:	BY	DATE
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PROJECT:  
1995 CARLING AVE.

DRAWING TITLE:  
5TH FLOOR TO 27TH FLOOR PLANS

DESIGN:	NG	APPROVED:	XX
DRAWN:	NG	DATE:	2020-03-02
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PROJECT N°: 9355-19-00 DRAWING N°: A-102

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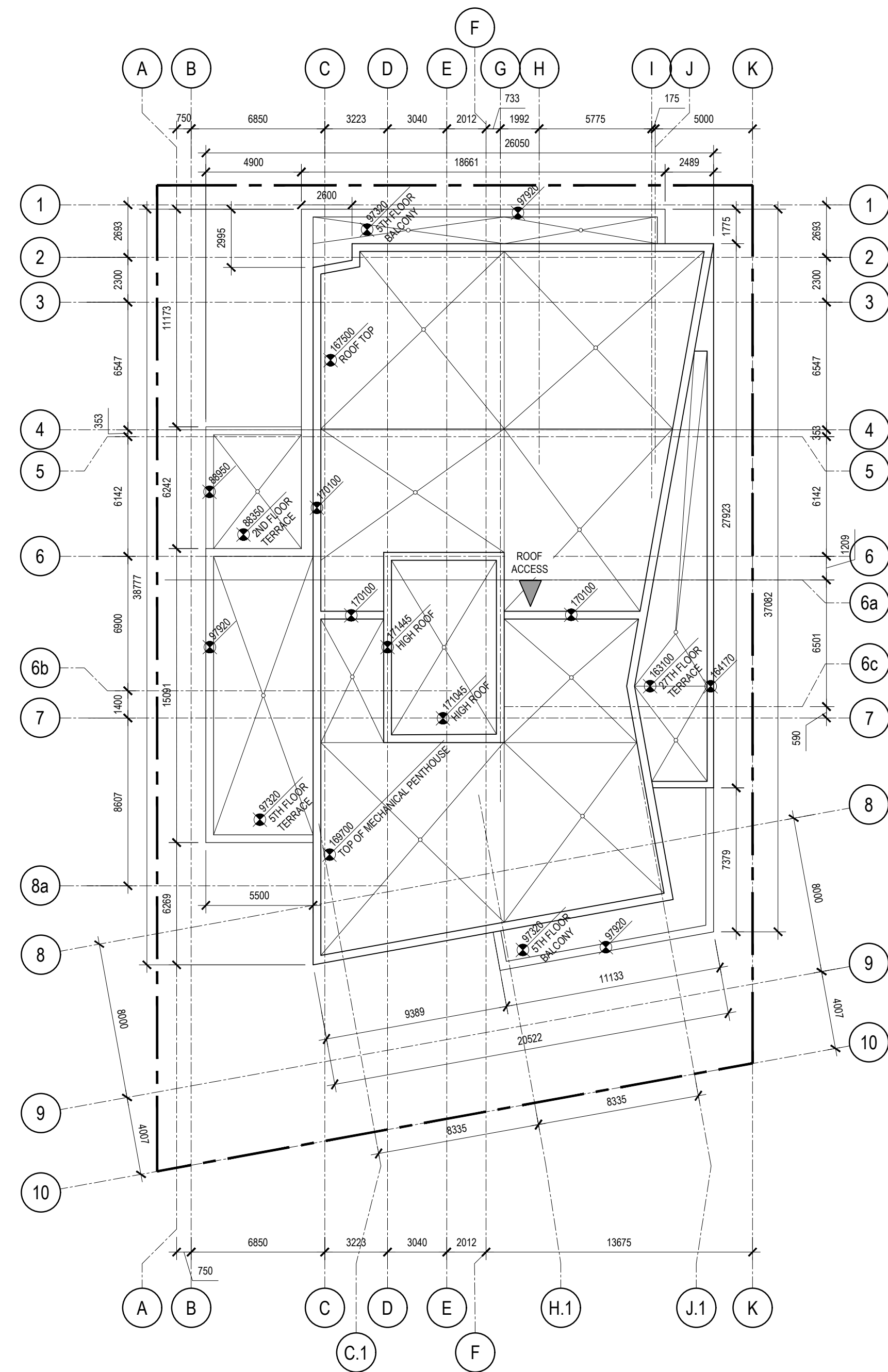
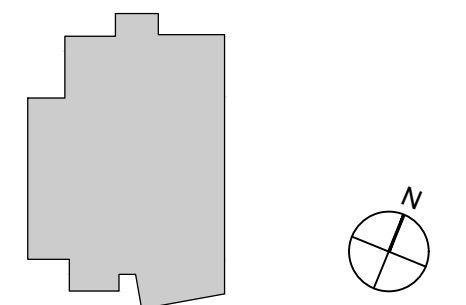
ENGINEERS:

CLIENT:



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Ottawa, Ontario K2P 0Y8  
Tel: (613) 233 6030 Fax: (613) 233 8290

KEY PLAN:



1 ROOF PLAN  
A-103 1:200

N°	DESCRIPTION:	BY	DATE
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PROJECT:  
**1995 CARLING AVE.**

DRAWING TITLE:  
**ROOF PLAN**

DESIGN: NG APPROVED: XX

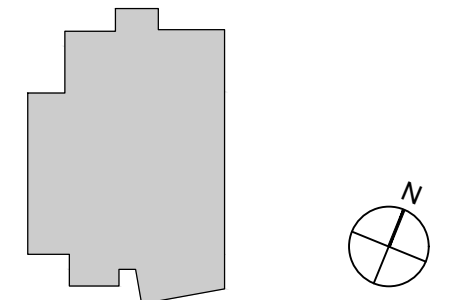
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PROJECT N°: 9355-19-00 DRAWING N°: A-103



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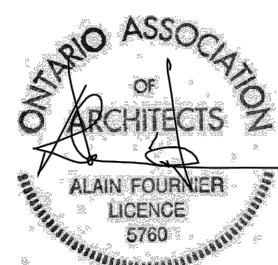
NO.	DESCRIPTION	BY	DATE
0	ISSUED FOR SITE PLAN APPLICATION	JG	2020-04-16
REVISION:			

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PROJECT:

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DRAWING TITLE:

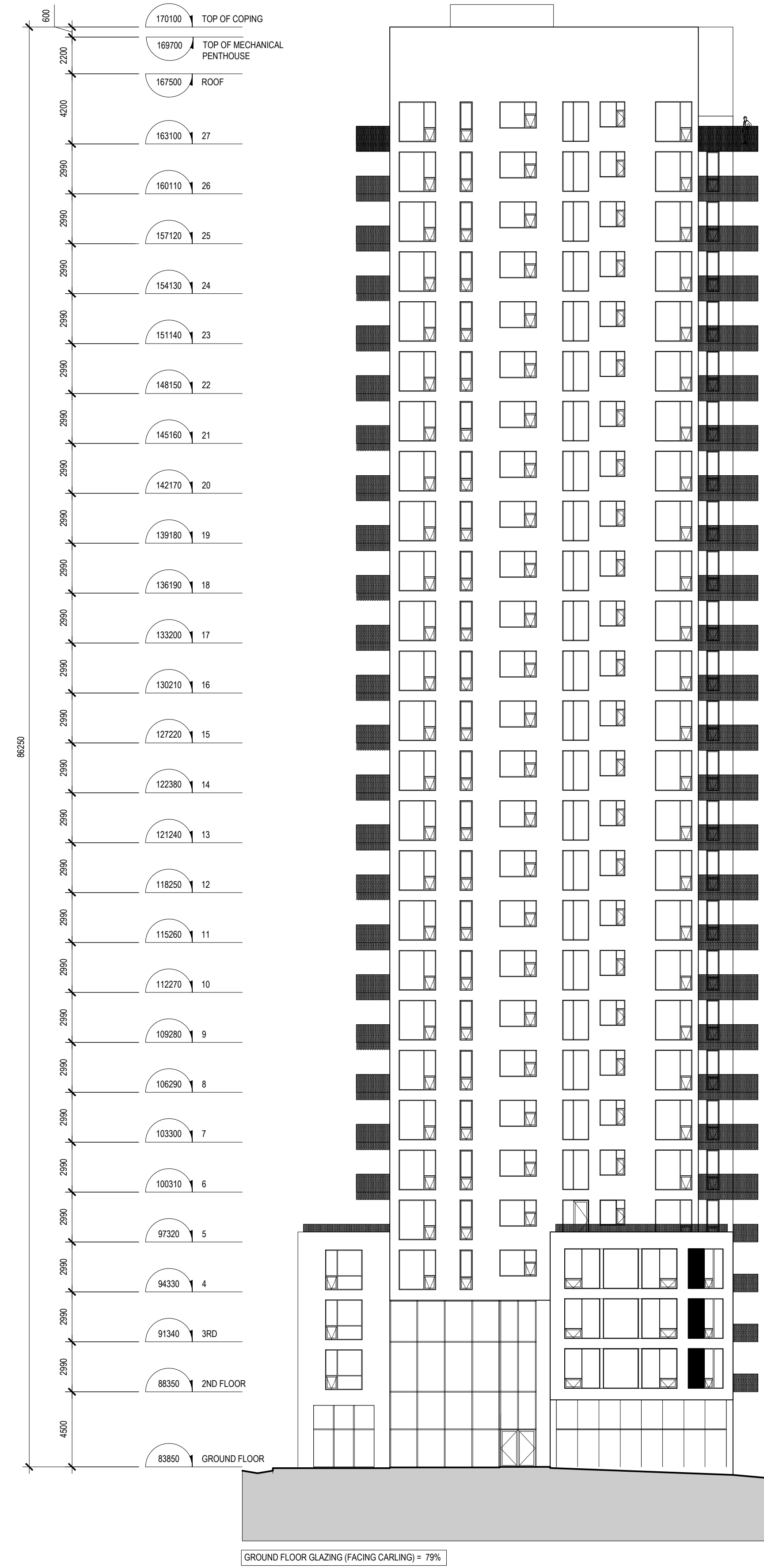
ELEVATIONS  
SOUTH & WEST ELEVATIONS

DESIGN: NG APPROVED: XX

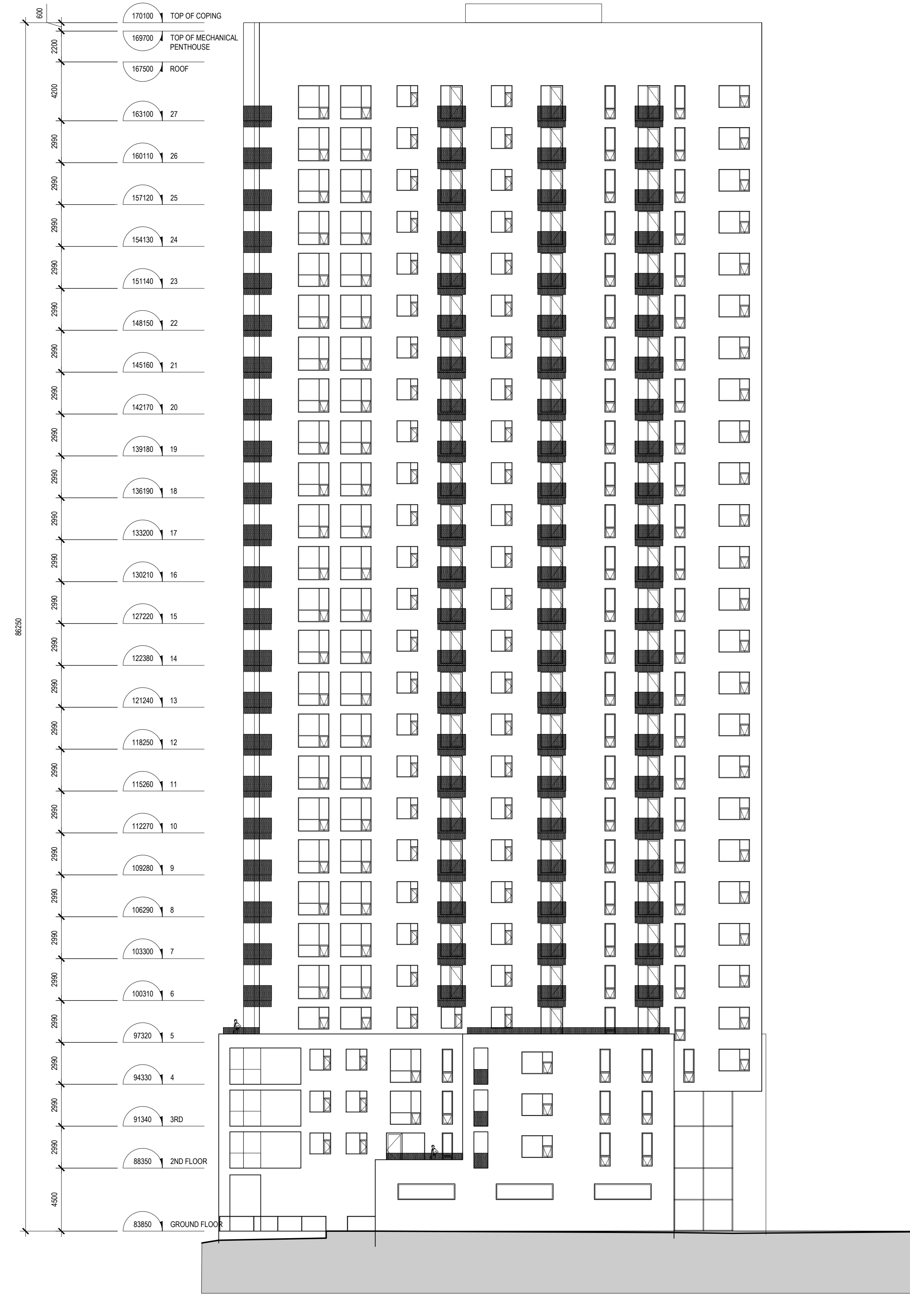
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VERIFIED: XX SCALE: 1:200

PROJECT N°: 9355-19-00 DRAWING N°: A-201



1 SOUTH ELEVATION  
A201 1:200



2 WEST ELEVATION  
A201 1:200

