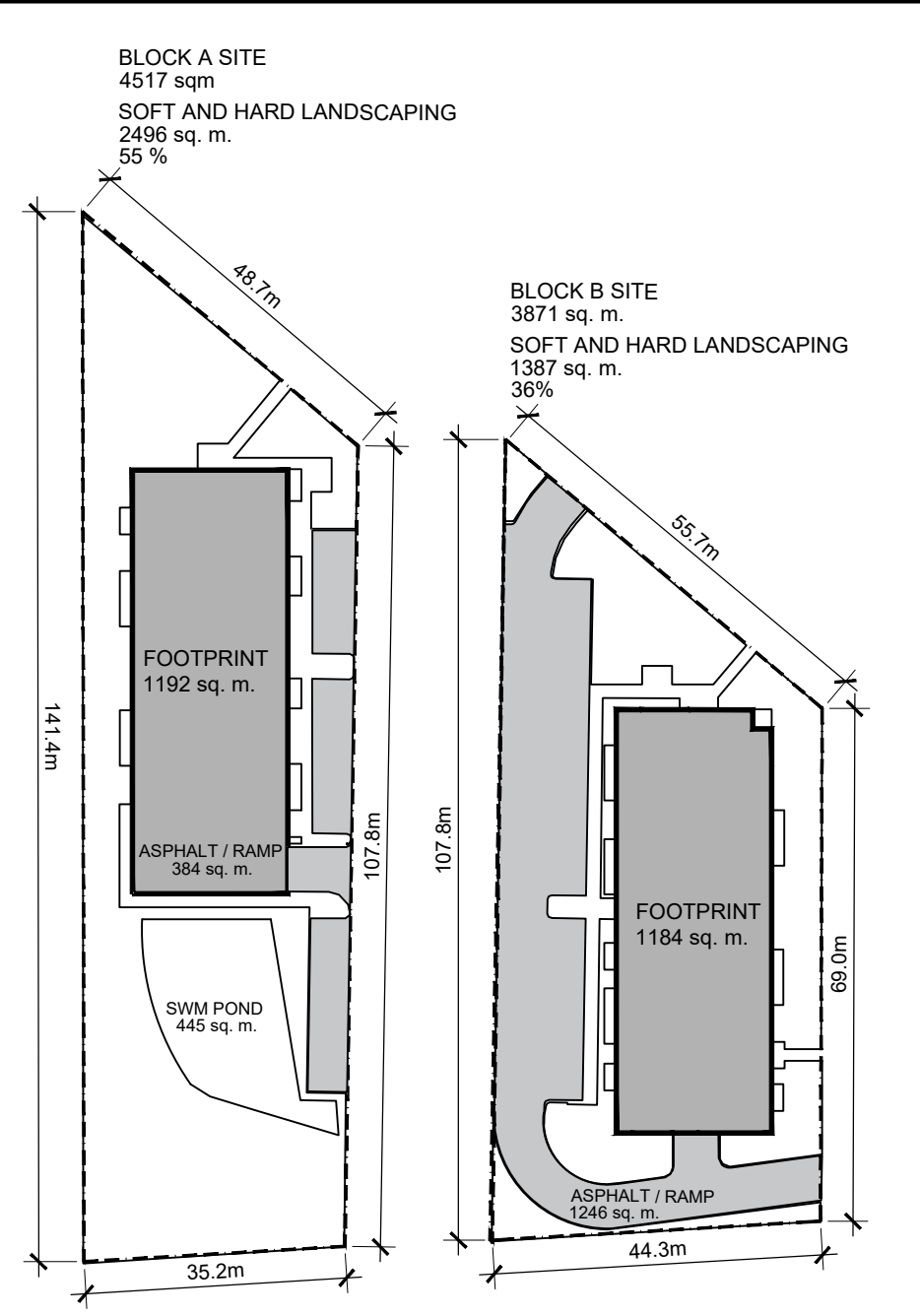


BLOCK A			BLOCK B		
UNIT TYPE	TOTAL	TOTAL	UNIT TYPE	TOTAL	TOTAL
1B	2B	40	1B	2B	41
23	17		23	18	



APPROVED
By Geraldine Wildman at 7:01 pm, Feb 21, 2024

G. Wildman

GERALDINE WILDMAN
ACTING MANAGER, DEVELOPMENT REVIEW, EAST
PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT
DEPARTMENT, CITY OF OTTAWA

BLOCK A
SITE STATISTICS
4517 sqm
2466 sq. m.
55%

BLOCK B
SITE STATISTICS
3871 sq. m.
1387 sq. m.
36%

ZONING R5A H(22)

MIN. LOT WIDTH REQUIRED: 18 M
PROVIDED: 27.9 M

MIN. LOT AREA REQUIRED: 540 SQ.M
PROVIDED: 4517 SQ.M

SETBACK REQUIREMENTS

FRONT YARD SETBACK REQUIRED: 6.0 M
PROVIDED: 8.5 M

INTERIOR SIDE SETBACK (ABUTTING R3Y ZONE) REQUIRED: 3.0 M
PROVIDED: 6.7 M

REAR YARD SETBACK: REQUIRED: 6.0 M
PROVIDED: 48.6 M

HEIGHT LIMITATIONS: REQUIRED: 22.0 M
PROVIDED: 11.92 M

BUILDING FOOTPRINT: 1192 sq. m.

BUILDING GFA 3576 sq. m.

LANDSCAPE 2469 sq. m. (55%)

RESIDENTIAL UNIT COUNT 40 UNITS

ASPHALT AREA AND RAMPS 384 sq. m.

AMENITY AREA
REQUIRED: 6 sq.m x 40 units = 240 sq.m
PROVIDED: 1459.2 sq.m

COMMUNAL AMENITY AREA
REQUIRED: 50% total amenity = 120 sq.m
PROVIDED: 1146.9 sq.m

TOTAL BUILDING AMENITY 312.3 sq. m.
TOTAL COMMUNAL AMENITY 1146.9 sq. m.
TOTAL AMENITY 1459.2 sq. m.

PARKING STATISTICS
REQUIRED RESIDENT: 1.2 PER UNIT (48 TOTAL)
REQUIRED VISITOR: 0.2 PER UNIT (8 TOTAL)
40 UNITS X 1.4 = 56 PARKING SPACES

PROVIDED RESIDENT: 1.1 PER UNIT (44 SPACES)
PROVIDED VISITOR: 0.2 PER UNIT (8 SPACES)
40 UNITS X 1.3 = 52 PARKING SPACES
(2 HANDICAP PARKING SPACES INCLUDED)

UNDERGROUND 30 SPACES
SURFACE 22 SPACES
TOTAL 52 SPACES

BICYCLE PARKING
REQUIRED: 0.5 SPACES PER UNIT;
0.5 x 40 UNITS = 20 SPACES

PROVIDED: INTERIOR : 14 SPACES
EXTERIOR: 6 SPACES
TOTAL: 20 SPACES

BLOCK B
SITE STATISTICS
3871 sq. m.
1387 sq. m.
36%

ZONING R5A H(22)

MIN. LOT WIDTH REQUIRED: 18 M
PROVIDED: 31.1 M

MIN. LOT AREA REQUIRED: 540 SQ.M
PROVIDED: 3871 SQ.M

SETBACK REQUIREMENTS

FRONT YARD SETBACK REQUIRED: 6.0 M
PROVIDED: 6.2 M

INTERIOR SIDE SETBACK (ABUTTING R5A ZONE) REQUIRED: 3.0 M
PROVIDED: 15.6 M

CORNER SIDE YARD SETBACK: REQUIRED: 4.5 M
PROVIDED: 6.8 M

REAR YARD SETBACK: REQUIRED: 6.0 M
PROVIDED: 12.3 M

HEIGHT LIMITATIONS: REQUIRED: 22.0 M
PROVIDED: 11.84 M

BUILDING FOOTPRINT: 1184 sq. m.

BUILDING GFA 3552 sq. m.

LANDSCAPE 1387 sq. m. (36%)

RESIDENTIAL UNIT COUNT 41 UNITS

ASPHALT AREA AND RAMPS 1246 sq. m.

AMENITY AREA
REQUIRED: 6 sq.m x 41 units = 246 sq.m
PROVIDED: 432.2 sq.m

COMMUNAL AMENITY AREA
REQUIRED: 50% total amenity = 123 sq.m
PROVIDED: 169.5 sq.m

TOTAL BUILDING AMENITY 248.1 sq. m.
TOTAL COMMUNAL AMENITY 169.5 sq. m.
TOTAL AMENITY 417.6 sq. m.

PARKING STATISTICS
REQUIRED: 1.2 PER UNIT (49 TOTAL) + 0.2 VISITOR PER UNIT (8 TOTAL)
41 UNITS X 1.4 = 57 PARKING SPACES

PROVIDED RESIDENT: 1.1 PER UNIT (45 SPACES)
PROVIDED VISITOR: 0.2 PER UNIT (8 SPACES)
41 UNITS X 1.3 = 53 PARKING SPACES
(2 HANDICAP PARKING SPACES INCLUDED)

UNDERGROUND 28 SPACES
SURFACE 25 SPACES
TOTAL 53 SPACES

BICYCLE PARKING
REQUIRED: 0.5 SPACES PER UNIT;
0.5 x 40 UNITS = 20 SPACES

PROVIDED: INTERIOR : 17 SPACES
EXTERIOR: 6 SPACES
TOTAL: 23 SPACES

CLIENT:
BRIDOR DEVELOPMENTS

PLAN OF SURVEY
INFORMATION SHOWN HAS BEEN TAKEN FROM:
Stantec Geomatics Ltd.
460 - 1317 Oryx Avenue
Ottawa, ON
Tel: 613.722.4420
www.stantec.com

TOPOGRAPHIC PLAN OF SURVEY
PART OF LOT 11
CONCESSION 3 (OTTAWA FRONT)
(GEOGRAPHIC TOWNSHIP OF GLOUCESTER)
CITY OF OTTAWA

ELEVATION NOTE
1. ELEVATIONS ARE GEODETIC.
2. IT IS THE RESPONSIBILITY OF THE USER OF THIS INFORMATION TO VERIFY THAT THE JOB BENCHMARK HAS NOT BEEN ALTERED OR DISTURBED AND THAT ITS RELATIVE ELEVATION AND DESCRIPTION AGREES WITH THE INFORMATION SHOWN IN THE ABOVE REFERENCED SURVEY.

LEGEND:

- — — — — PROPERTY LINE
- - - - - PROPERTY SETBACK
- OHW — OVERHEAD WIRES
- — — — — EXISTING BUILDING
- ▽ BUILDING ENTRANCE
- H.P. HYDRO POLE
- ⊕ F.H. FIRE HYDRANT
- M.H. MANHOLE
- C.B. CATCH BASIN
- — — — — RETAINING WALL
- PROPOSED VEGETATION, REFER TO LANDSCAPING FOR DETAILS
- D.C. DEPRESSED CURB
- x 100.00 EXISTING GRADE
- x 100.00 PROPOSED GRADE
- ▨ PROPOSED CONCRETE
- ▨ DESIGNATED FIRE ROUTE
- ⊞ AIR WELL

REVISIONS

No.	REVISIONS	BY	DATE
28	FOR DAR APPROVAL	JP	JAN. 16 2024
27	FOR DAR APPROVAL	JP	JAN. 09 2024
26	FOR SPC SUBMISSION	JP	DEC. 14 2023
25	FOR COORDINATION	RK	NOV. 28 2023
24	FOR CLIENT REVIEW	RK	NOV. 22 2023
24	FOR REVIEW	AK	NOV. 20 2023
24	FOR COORDINATION	JP	NOV. 17 2023
23	FOR COORDINATION	RK	NOV. 14 2023
22	FOR CLIENT REVIEW	JP	OCT. 17 2023

D2 concepts
CONSULTING ENGINEERS

STRUCTURAL
MECHANICAL
ELECTRICAL

TATHAM ENGINEERING
5335 Canotek Road, Unit 103,
Ottawa, Ontario K1J 9L4
613-747-3636
info@tathameng.com

DESIGNED BY: P.E. DRAWN BY: R.K. APPROVED BY: P.R.

PROJECT
2380 and 2396
CLEROUX CRESCENT
OTTAWA

DRAWING TITLE
SITE PLAN

PROJECT NO. 0403
DATE NOV 28, 2023

SP-01

1 SITE PLAN
SCALE = 1:250

2 CONTEXT PLAN
SCALE = N.T.S.

D07-12-21-0081