

GROUPE HEAFEY

RICHMOND ROAD & FOREST STREET

GROUP HEAFEY

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa

D07-12-20-0041 1887-2303-19

REVISION 01	2020-12-18
REVISION 02	2022-08-29
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REVISION 07	2024-01-18



Dessiné par : Tanya Nadeau
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SITE PLAN

GROUP HEAFEY

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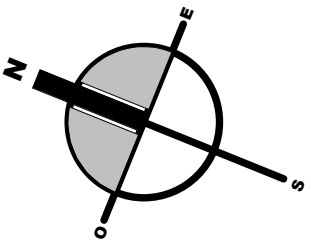
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Dessiné par : Author
Conçu par : Designer

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SITE PLAN

ÉCHELLE: 1 : 400

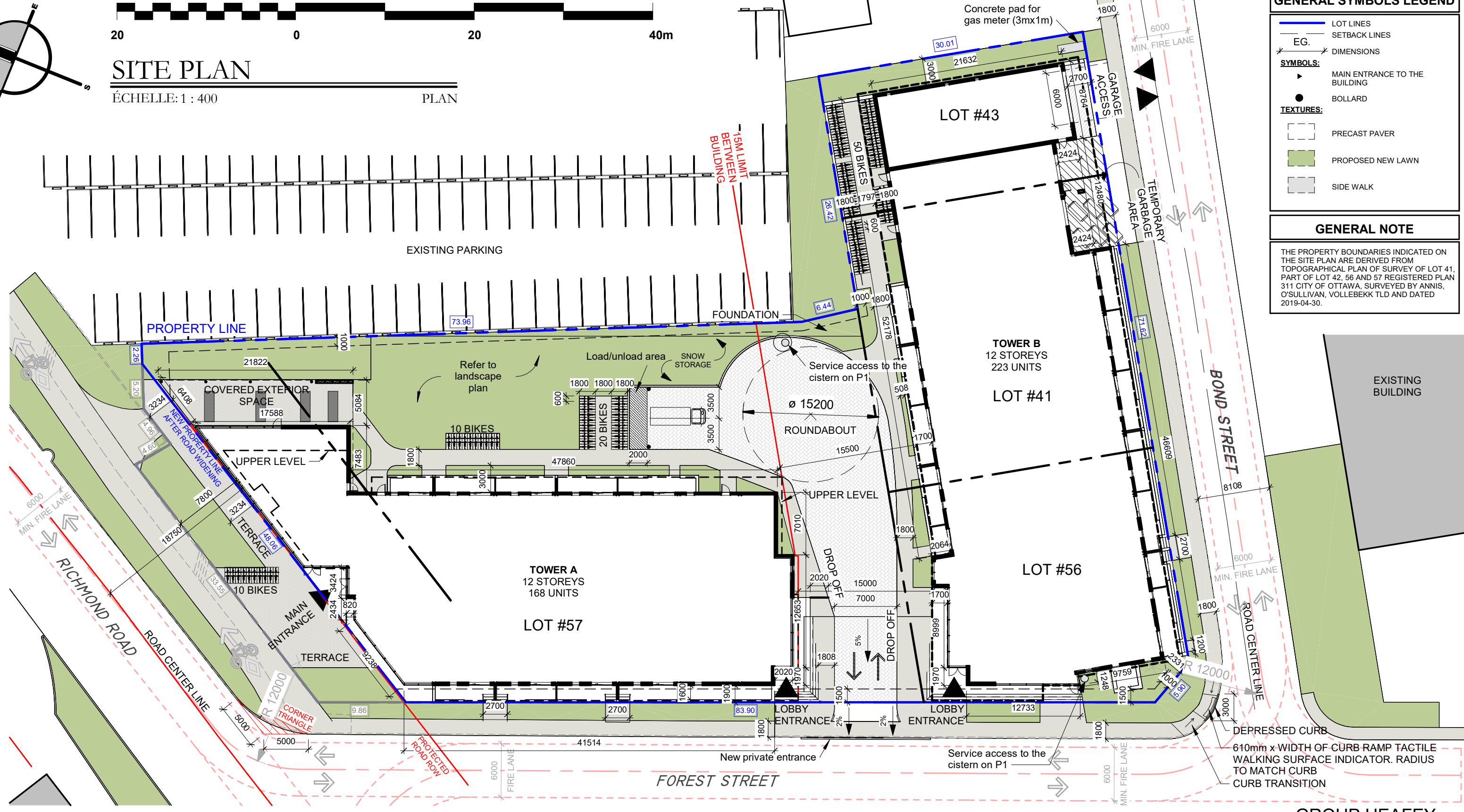
PLAN

GENERAL SYMBOLS LEGEND

- LOT LINES
- SETBACK LINES
- EG. DIMENSIONS
- SYMBOLS:
 - ▲ MAIN ENTRANCE TO THE BUILDING
 - BOLLARD
- TEXTURES:
 - ▭ PRECAST PAVER
 - PROPOSED NEW LAWN
 - ▨ SIDE WALK

GENERAL NOTE

THE PROPERTY BOUNDARIES INDICATED ON THE SITE PLAN ARE DERIVED FROM TOPOGRAPHICAL PLAN OF SURVEY OF LOT 41, PART OF LOT 42, 56 AND 57 REGISTERED PLAN 311 CITY OF OTTAWA, SURVEYED BY ANNIS, O'SULLIVAN, VOLLEBEKK TLD AND DATED 2019-04-30.



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SUMMARY STATISTICS FOR TOWER A & B

GREEN AREA : 798 m²

RESIDENTIAL TOTAL NET AREA

TOWER A (12 LEVELS) : (168 UNITS) 11 565 m²
TOWER B (12 LEVELS) : (223 UNITS) 15 585 m²
TOTAL : (391 UNITS) 27 150 m²

COMMERCIAL TOTAL NET AREA

TOWER A : 224 m²
TOWER B : 0 m²

UNDERGROUND PARKING TOTAL GROSS AREA

PER LEVEL AREA : 4833 m²

NUMBER OF INTERIOR PARKING (4 LEVELS)

REQUIRED MINIMUM 1.1 PER UNITS : 431 PARKINGS (MINIMUM)
NUMBER OF PARKING PROPOSED : 420 PARKINGS

NUMBER OF BIKES (50% OF NUMBER UNITS)

TOWER A & B P1 LEVEL (EXTRA)
INTERIOR : 52

TOWER A (84 MINIMUM REQUIRED)

INTERIOR (42 MIN.) : 52
EXTERIOR (42 MIN.) : 40

TOWER B (112 MINIMUM REQUIRED)

INTERIOR (56 MIN.) : 56
EXTERIOR (56 MIN.) : 50

NOTE ON THE SITE PLAN

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TOWER A - GROSS AREA PER LEVEL

GROSS AREA LEVEL 1 :	1217.94 m ²
GROSS AREA LEVEL 2 :	1217.94 m ²
GROSS AREA LEVEL 3 TO 6 :	1246.10 m ² x 4
GROSS AREA LEVEL 7 :	1146.39 m ²
GROSS AREA LEVEL 8 TO 11 :	1188.44 m ² x 4
GROSS AREA LEVEL 12 :	1044.76 m ²
TOTAL GROSS AREA :	14365.19 m²

TOWER B - GROSS AREA PER LEVEL

GROSS AREA LEVEL 1 :	1466.78 m ²
GROSS AREA LEVEL 2 :	1497.04 m ²
GROSS AREA LEVEL 3 TO 6 :	1629.32 m ² x 4
GROSS AREA LEVEL 7 :	1465.16 m ²
GROSS AREA LEVEL 8 TO 11 :	1513.39 m ² x 4
GROSS AREA LEVEL 12 :	1390.80 m ²
TOTAL GROSS AREA :	18390.62 m²

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AM10[2865] S473	Requirements	Provided	Meets Standard
Minimum lot area Table 185(a)	No minimum	5134 m ²	Yes
Minimum lot width Table 185(b)	No minimum	41.49 m	Yes
Minimum front yard setback Richmond Rd S473	0 m	0 m	Yes
Minimum corner side yard setback (Forest St) S473	0 m	0 m	Yes
Building frontage for front and corner side yard s. 185(10)(b)(i)	At least 50% of the frontage along the front lot line and corner side lot line must be occupied by building walls located within: / Residential building: 4.5 m of the frontage / Mixed-use building: 3.0 m of the frontage	Tower A (mixed-use): 50% of frontage is occupied within 3.0 m of front and corner side lot line Tower B (residential): at least 50% of frontage is occupied within 4.5 m of corner side lot line	Yes
Minimum interior side yard S473	No minimum	2.7 m	Yes
Minimum rear yard setback for a residential use building (Bond St) S473	0.6 m	0.6 m	Yes
Minimum building height [2865] / S473	Minimum building height: 7.5 m and 2 storeys	41 m 12 storeys	Yes
Maximum building height S473	41 m / 12 storeys	41 m / 12 storeys	Yes
Ground floor façade s. 185(10)(g)	The ground floor façade facing a public street of a building located within 4.5m of the front lot line or corner lot line must include: / A minimum of one active entrance from each individual occupancy located immediately adjacent to the front lot line or corner side lot line in the case of non-residential uses; and	Active entrances face both the front and corner lot lines, within 4.5 m of the lot line. Entrances provided for retail and residential uses.	Yes

AM10[2865] S473	Requirements	Provided	Meets Standard
	/ A minimum of one active entrance in the case of a residential use building; Where an active entrance is angled on the corner of the building, such that it faces the intersection of the arterial mainstreet and a side street intersecting the arterial mainstreet, it is deemed to face both streets		
Transparent glazing s. 185(10)(h)	A minimum of 50% of the surface area of the ground floor façade, measured from the average grade up to a height of 4.5 metres, facing a public street must be comprised of transparent glazing	Ground floor façade is comprised of at least 50% glazing	Yes
Amenity Area s. 135	6 m ² per dwelling unit: (391 units)*(6m ²) = 2,346 m ²	Private: 1,436 m ² Communal: 2,075 m ² Total: 3,511 m ²	Yes
	50% of which must be communal: 2,346 m ² x 50% = 1,173 m ²	2,075 m ²	Yes
	At least one amenity area must be aggregated into an area with a minimum of 54m ²	Towers A & B common areas, level 1: 903 m ² Tower A common area, level 12: 152 m ²	Yes
Parking Provisions			
Minimum Parking Rate Area Z of Schedule 1A	No off-street motor vehicle parking is required to be provided under this section.	383 resident parking spaces provided	Yes
Minimum Visitor Parking Space Rate	0.1 spaces/ dwelling unit, less the first 12 units, and no more than 30 required Tower A: (168 units-12) * (0.1) = 16 visitor parking spaces Tower B: (223 units-12) * (0.1) = 21 visitor parking spaces Total: 37 parking spaces	37 parking spaces	Yes
Maximum Parking Spaces s. 103(1), Table 103 Area B of Schedule 1 Site is within 600 m of Lincoln Fields Station	1.75 per dwelling unit (combined total of resident and visitor parking) Tower A: 294 parking spaces Tower B: 390 parking spaces Combined: 684 parking spaces	420 parking spaces	Yes
	Min.	Max.	Yes

ZONING TABLE

GROUP HEAFEY

AM10[2865] S473	Requirements			Provided	Meets Standard
Parking Space Dimensions s. 106(1)	Width	2.6 m	3.1 m	Parking spaces are 2.6 x 5.2 m	
	Length	5.2 m	--		
Parking Space Dimensions, Small Car/ Reduced Size s. 106(3) and (4)	Up to 50% of the parking spaces in a parking lot or parking garage may be reduced to a minimum of 4.6m long and 2.4m wide, provided that any such space: / Is visibly identified as being for a compact car / Is not a visitor parking space required under Section 102 / Is not abutting or near a wall, column or similar surface that obstructs the opening of the doors of a parked vehicle or limits access to a parking space, in which case the minimum width is 2.6 metres.			No reduced size parking spaces	Yes
	Up to 5% of the parking spaces in a parking lot or parking garage may have a minimum width of 1.3m and a minimum length of 3m, provided any such space / Is not a required parking space under Section 101 / Is not a required visitor parking space under Section 102 / Is visibly identified as being for a motorcycle, cargo bicycle or similar vehicle.			No reduced size parking spaces	Yes
Minimum Driveway Width s. 107(1)(a)(iii)	A driveway providing access to a parking garage must have a minimum width of 6.0 m for a double traffic lane			6.0 m	Yes
Minimum Aisle Width, Mixed-Use Building Table 107	Minimum width for an aisle providing access to a parking space between 71° and 90°: 6.7 m			6.7 m	Yes
Minimum Bicycle Parking s. 111	0.50 per dwelling unit (391 dwelling units)*(0.5) = 196 bicycle parking spaces			250 bicycle parking spaces	Yes
Minimum Bicycle Parking Space Dimensions Table 111B		Width	Length	Bicycle parking spaces comply	Yes
	Horizontal	0.6 m	1.8 m		
	Vertical	0.5 m	1.5 m		
	Stacked	0.37 m	--		

AM10[2865] S473	Requirements	Provided	Meets Standard
Location of Bicycle Parking s. 111(7)	A maximum of 50% (98) of the required bicycle parking spaces or 15 spaces, whichever is greater, may be located in a landscaped area: A maximum of 98 bicycle parking spaces may be located in landscaped area	80 located in landscaped area	Yes
	Minimum Aisle Width, Bicycle Parking s. 111(9)	A bicycle parking space must have access from an aisle having a minimum width of 1.5 metres.	1.5 m
Parking Space Orientation s. 111(10)	A minimum of 50% (98 bicycle parking spaces) of the bicycle parking spaces required by this by-law must be horizontal spaces at ground level.	98 horizontal bicycle parking spaces: 8 indoors + 90 outdoors	Yes
Location of Bicycle Parking s. 111(12)	Where the number of bicycle parking spaces required for a single office or residential building exceeds fifty 50 spaces, a minimum of 25% (49) of that required total must be located within: / a building or structure; / a secure area such as a supervised parking lot or enclosure with secure entrance; or / bicycle lockers.	Over 25% of the required bicycle parking spaces are located indoors – 160 bicycle parking spaces are provided indoors	Yes

Bicycle parking details



Outdoor horizontal bike rack design



Indoor horizontal bike rack design



Indoor vertical bike rack design

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UNDERGROUND PARKINGS

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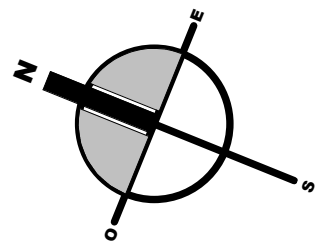
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P1 PARKING
NUMBER OF PARKING : 87 SPACES

P2 PARKING
NUMBER OF PARKING : 111 SPACES

P3 PARKING
NUMBER OF PARKING : 111 SPACES

P4 PARKING
NUMBER OF PARKING : 111 SPACES

P1 BICYCLE PARKING
HORIZONTAL PARKING : 8 SPACES
VERTICAL PARKING: 44 SPACES

GROUND LEVEL BICYCLE PARKING
INDOOR VERTICAL PARKING: 108 SPACES
OUTDOOR HORIZONTAL PARKING: 90 SPACES

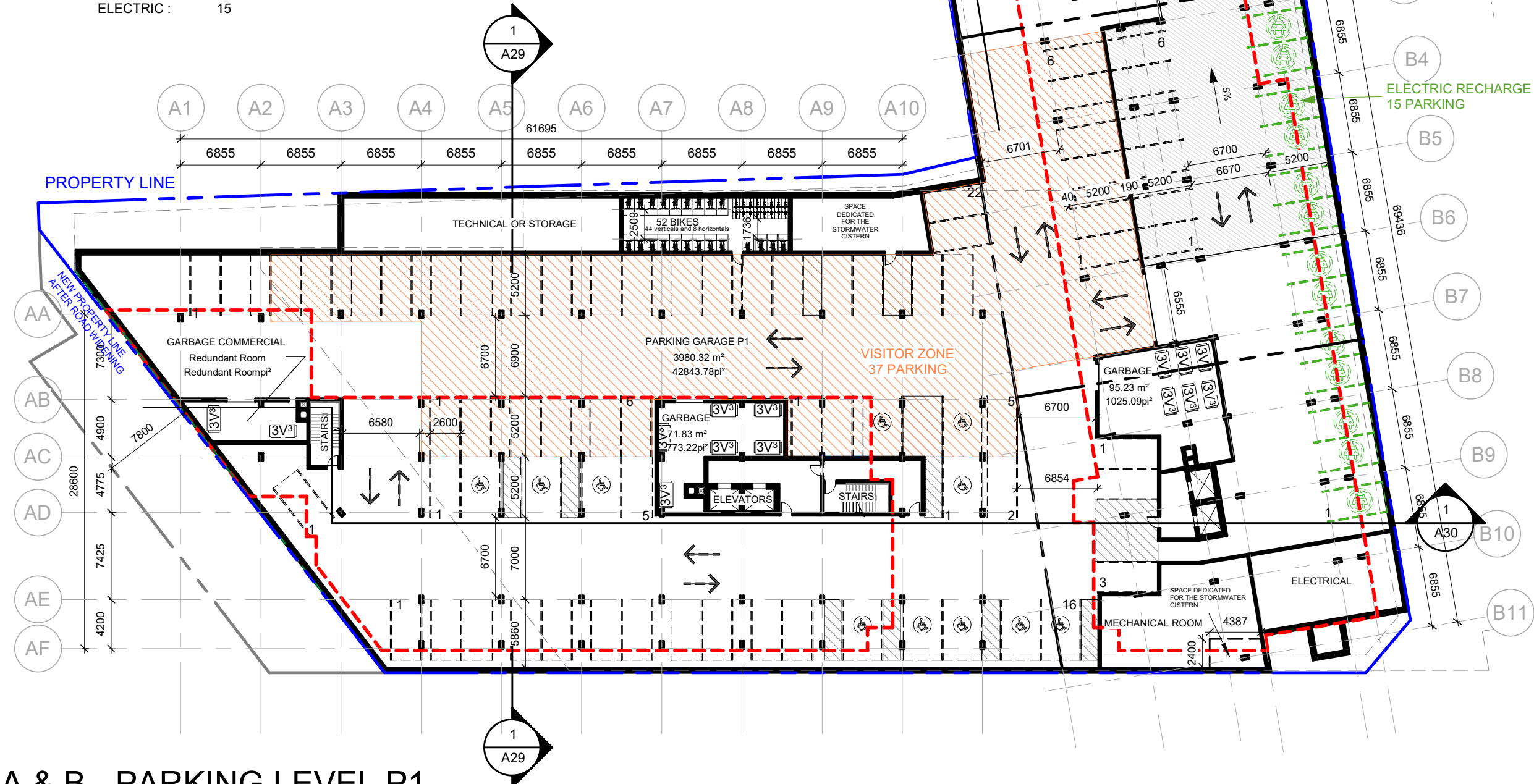
TOTAL : 250 SPACES
(REQUIRED MINIMUM 196 SPACES)

TOTAL : 420 SPACES
(REQUIRED MINIMUM 431 SPACES)

SPECIFIC TYPE OF PARKING :

STANDARD :	357
VISITOR :	37
UNIVERSAL :	11
ELECTRIC :	15

OUTDOOR BIKE RACK DESIGN



TOWER A & B - PARKING LEVEL P1

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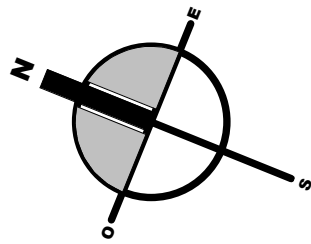


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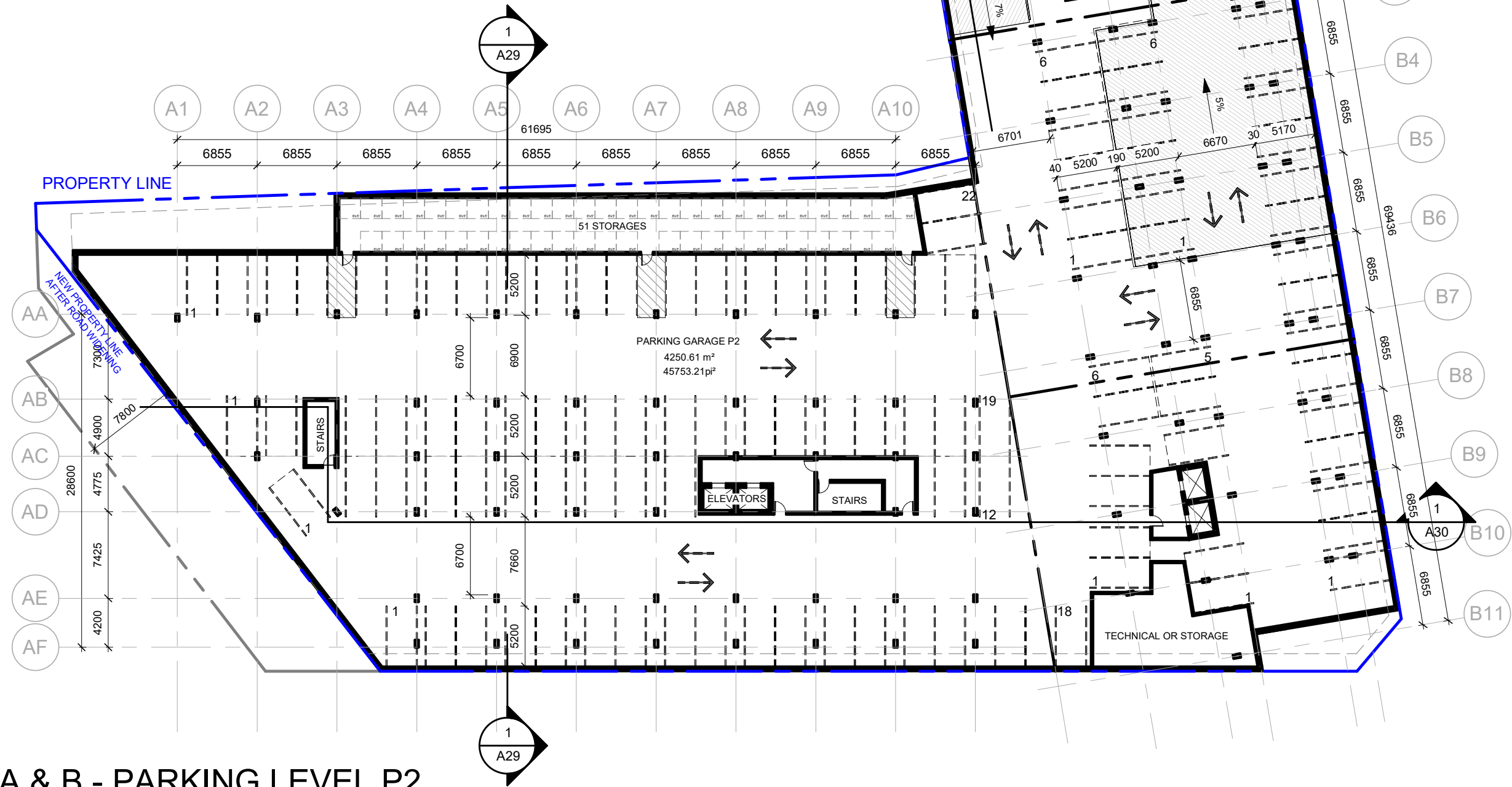
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P2 PARKING
NUMBER OF PARKING : 111 SPACES



TOWER A & B - PARKING LEVEL P2

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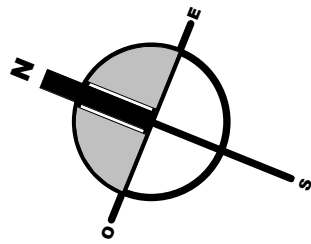


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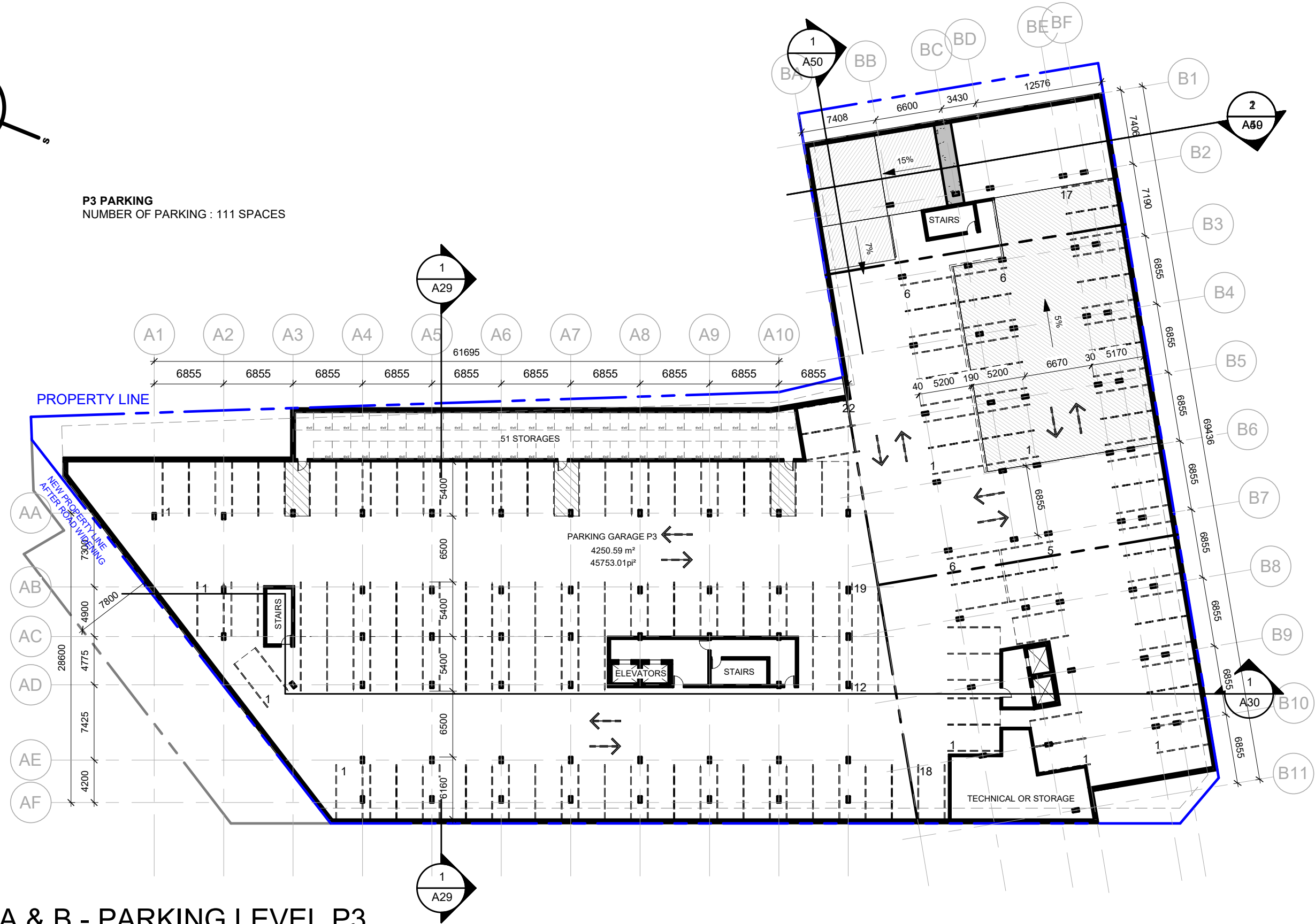
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P3 PARKING
NUMBER OF PARKING : 111 SPACES



TOWER A & B - PARKING LEVEL P3

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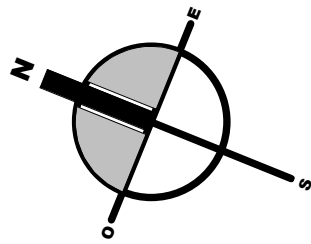


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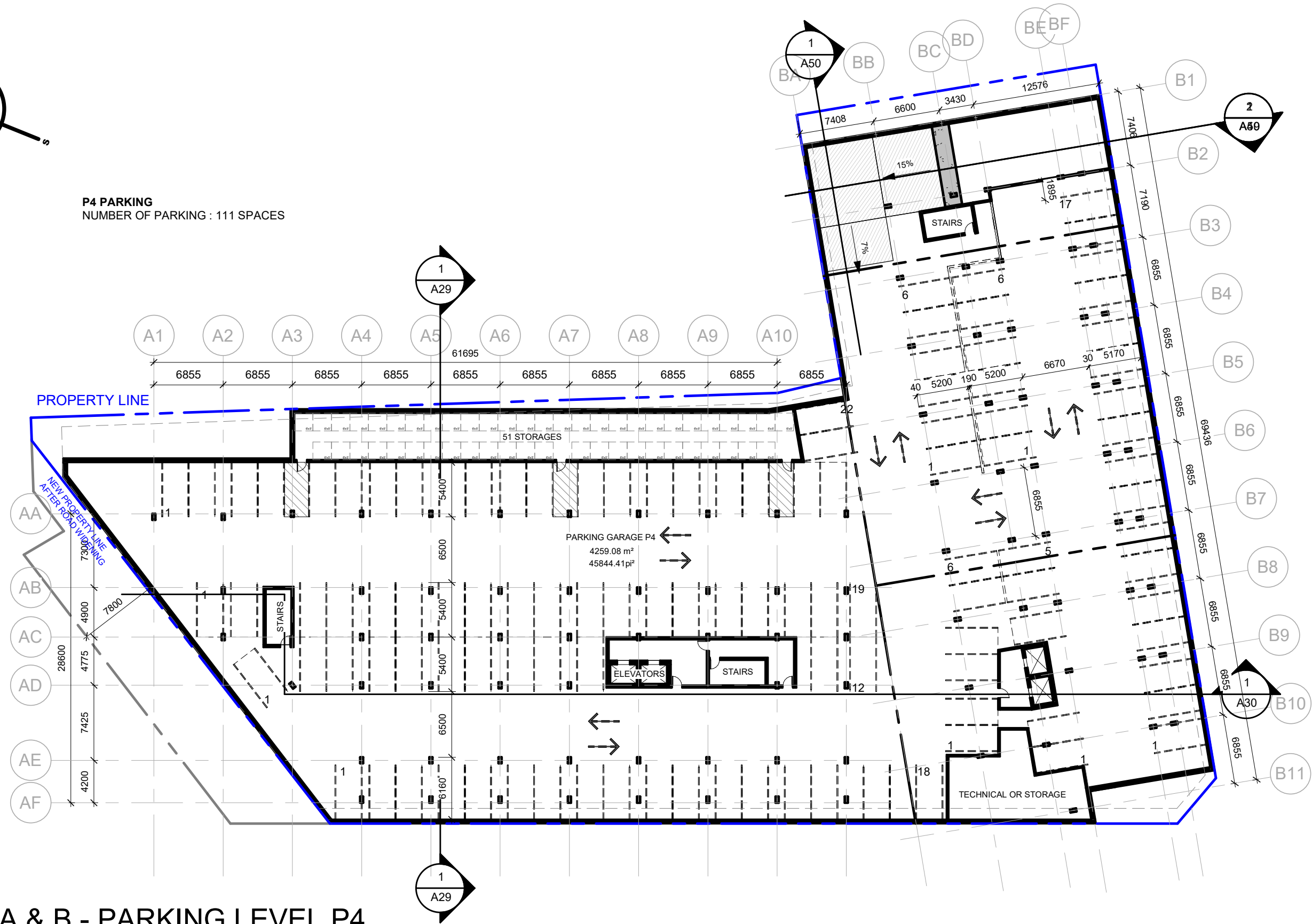
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P4 PARKING
NUMBER OF PARKING : 111 SPACES



TOWER A & B - PARKING LEVEL P4

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TOWER A



GROUP HEAFEY

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GROSS AREA LEGEND



TOWER A - LEVEL 1

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GROSS AREA LEGEND



TOWER A - LEVEL 2

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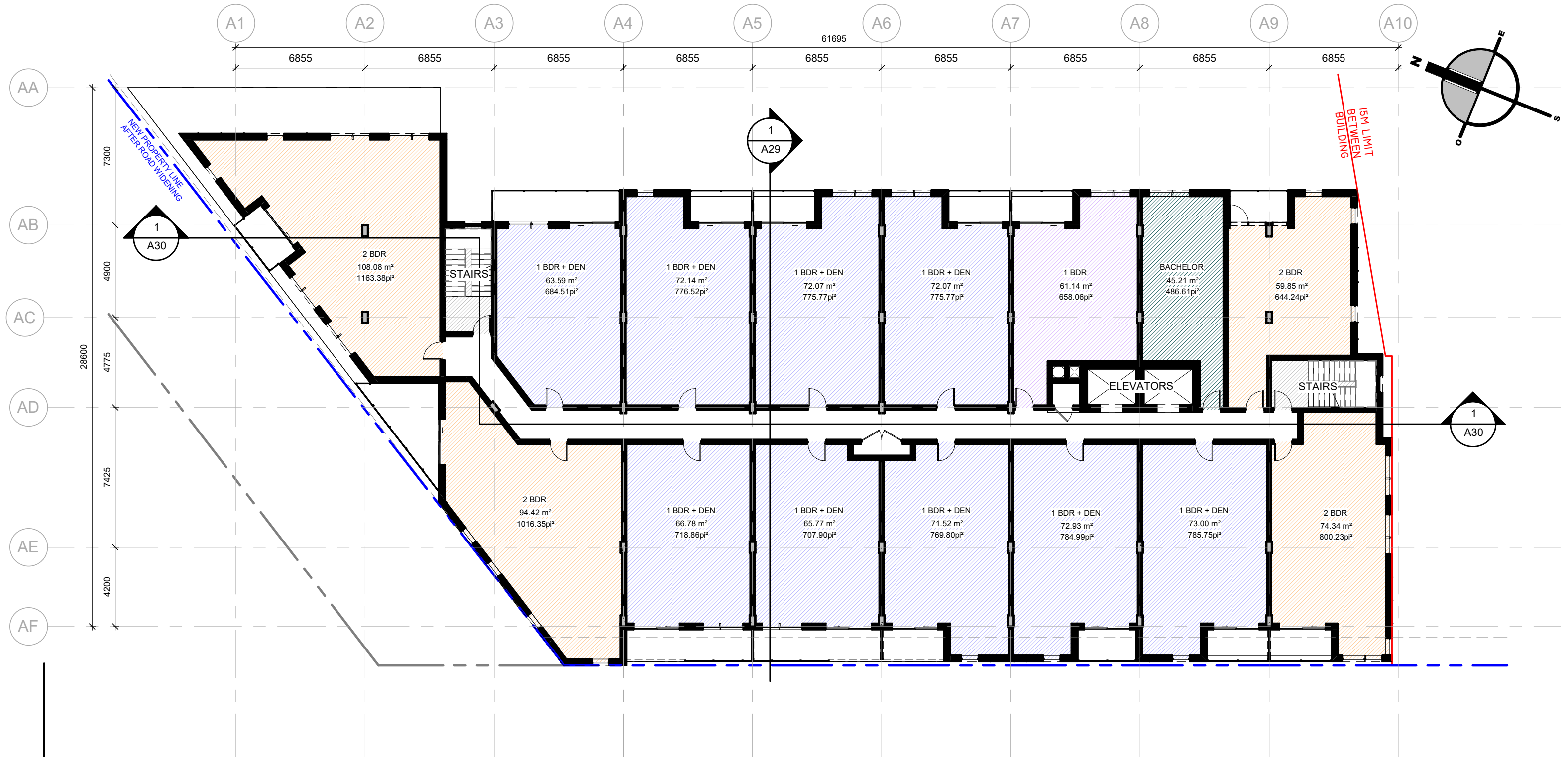


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GROSS AREA LEGEND



TOWER A - LEVEL 3 TO 6

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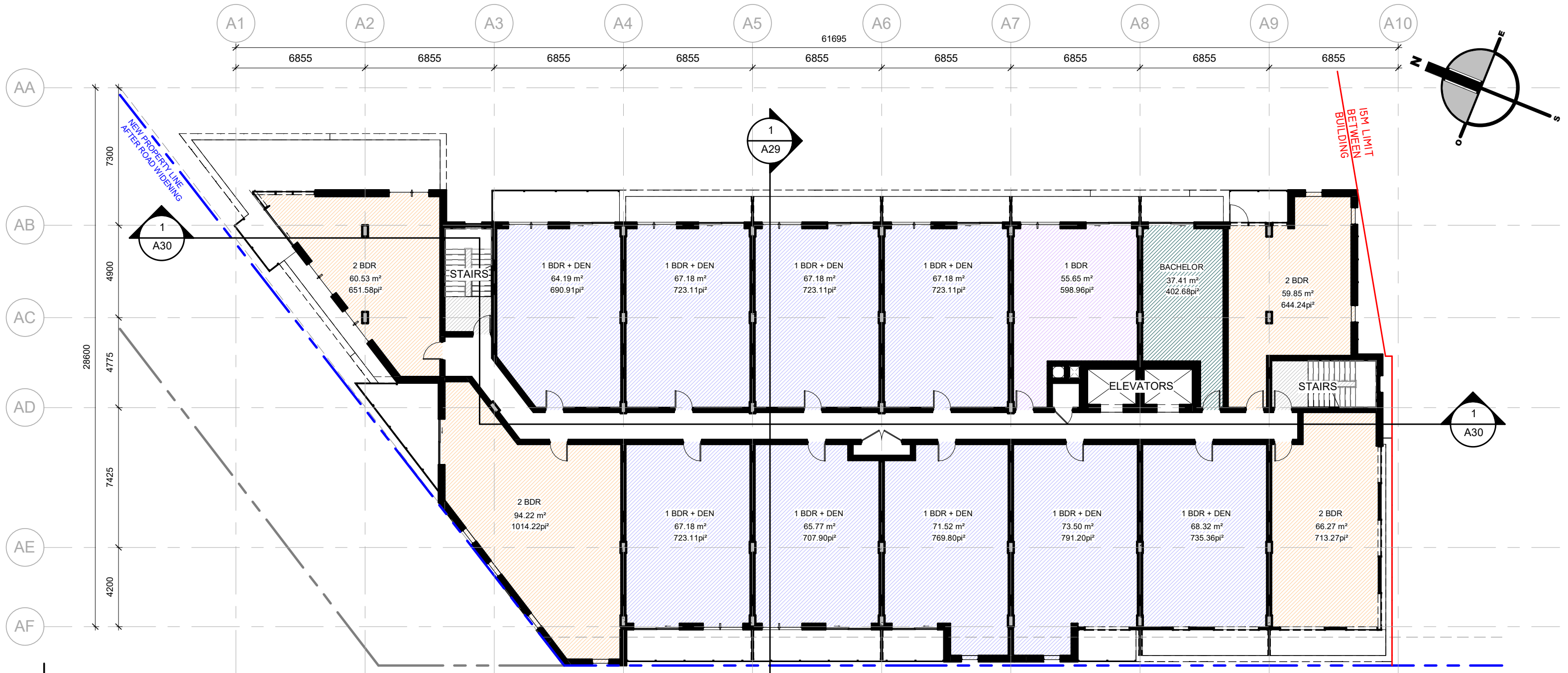


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GROSS AREA LEGEND



TOWER A - LEVEL 7

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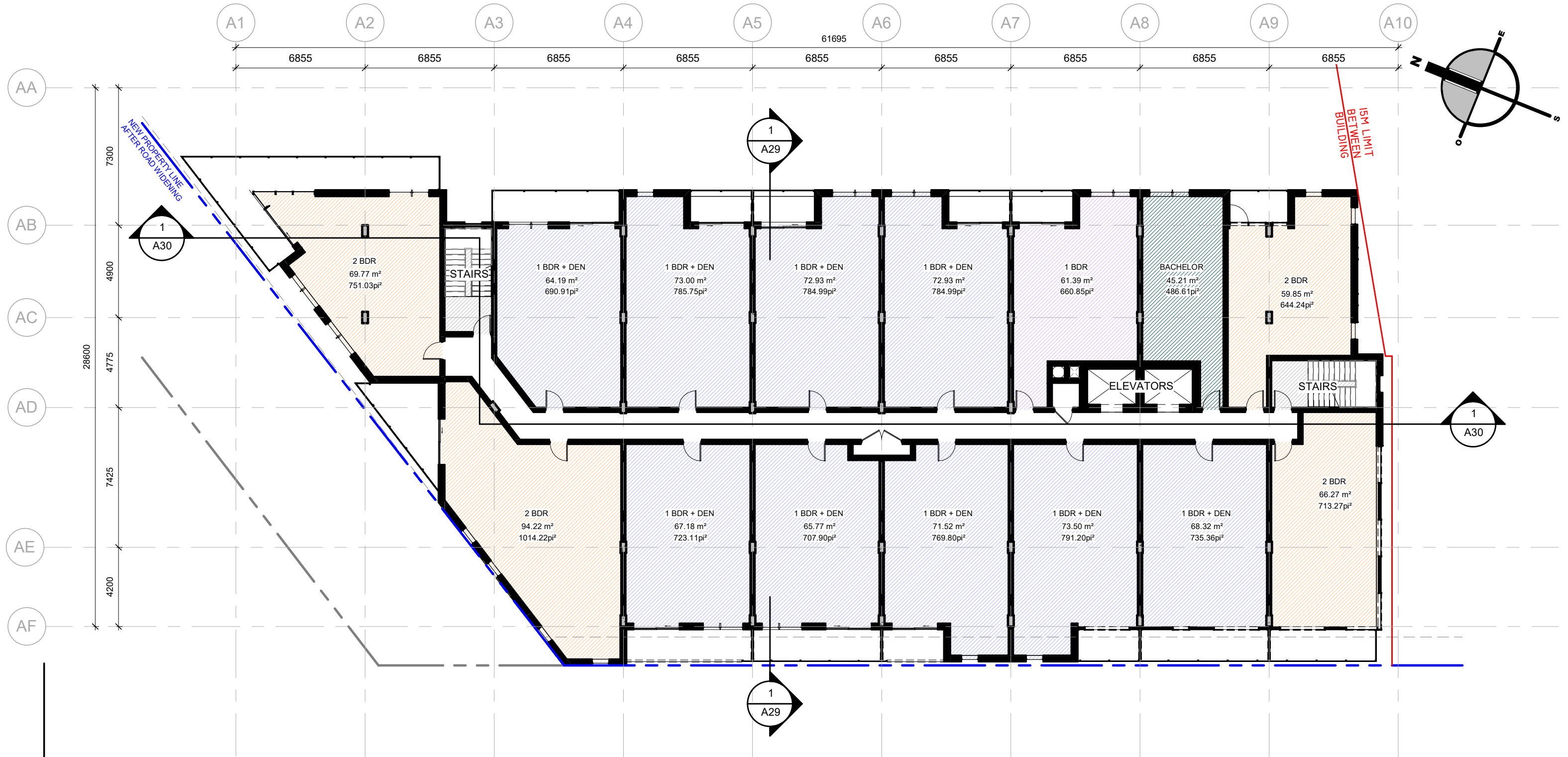


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GROSS AREA LEGEND



TOWER A - LEVEL 8 TO 11

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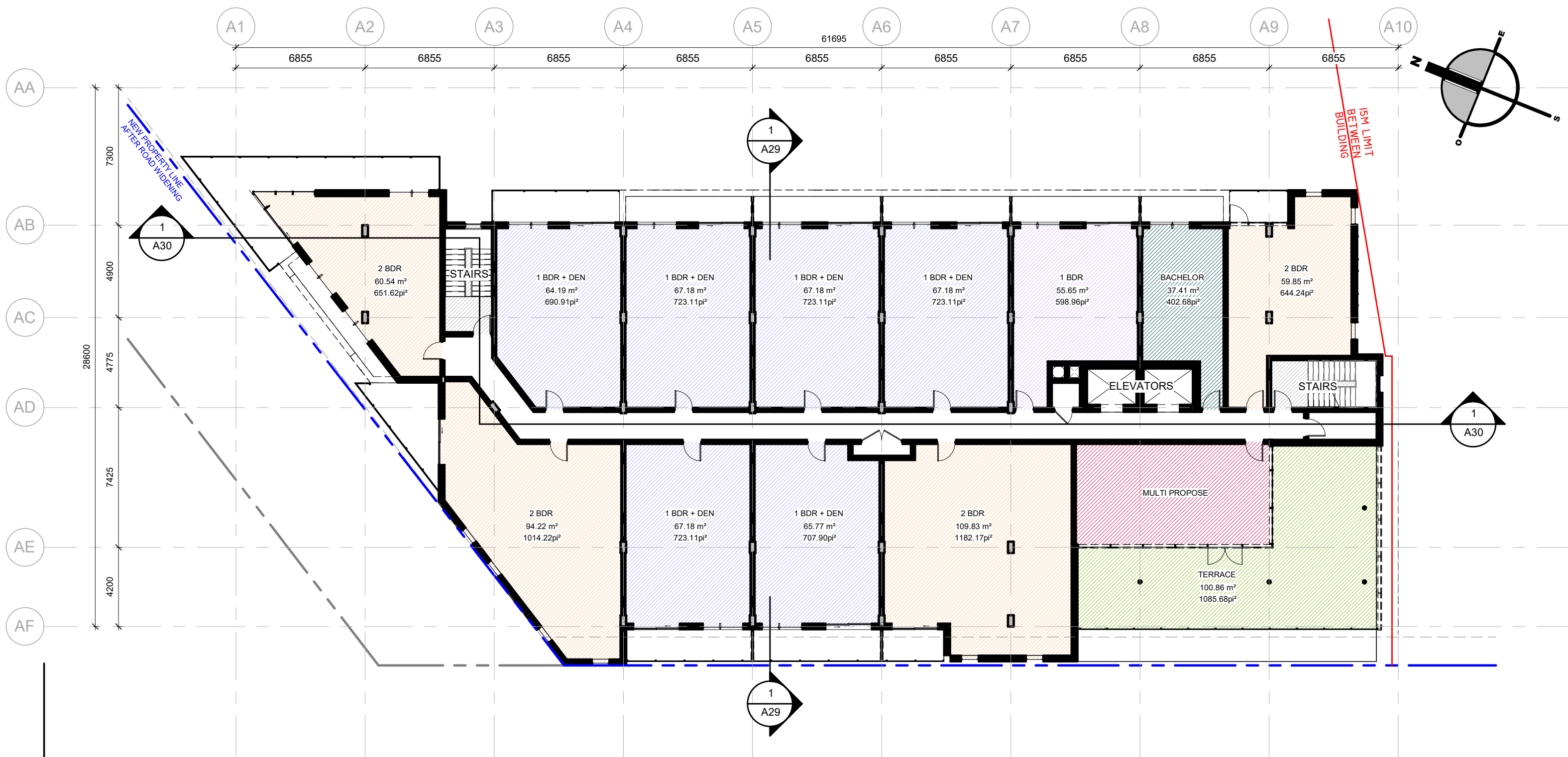


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GROSS AREA LEGEND



TOWER A - LEVEL 12

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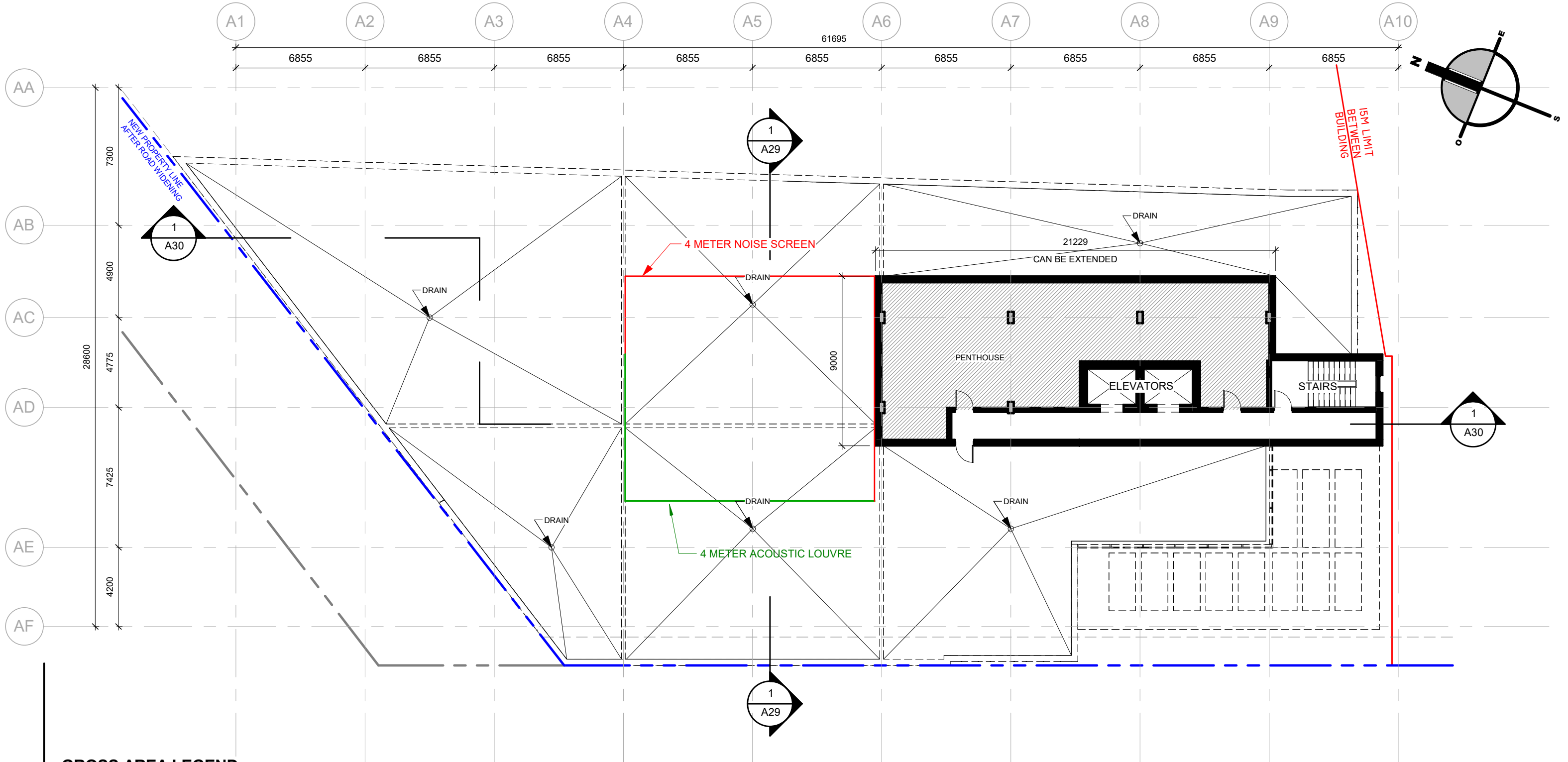


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GROSS AREA LEGEND



TOWER A - LEVEL PENTHOUSE

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ROOM TYPOLOGY - TOWER A		
LEVEL	NAME	QTY
LEVEL 1	1 BDR	1
LEVEL 1	1 BDR + DEN	6
LEVEL 1	2 BDR	2
LEVEL 2	1 BDR	2
LEVEL 2	1 BDR + DEN	9
LEVEL 2	BACHELOR	1
LEVEL 3	1 BDR	1
LEVEL 3	1 BDR + DEN	9
LEVEL 3	2 BDR	4
LEVEL 3	BACHELOR	1
LEVEL 4	1 BDR	1
LEVEL 4	1 BDR + DEN	9
LEVEL 4	2 BDR	4
LEVEL 4	BACHELOR	1
LEVEL 5	1 BDR	1
LEVEL 5	1 BDR + DEN	9
LEVEL 5	2 BDR	4
LEVEL 5	BACHELOR	1
LEVEL 6	1 BDR	1
LEVEL 6	1 BDR + DEN	9
LEVEL 6	2 BDR	4
LEVEL 6	BACHELOR	1
LEVEL 7	1 BDR	1
LEVEL 7	1 BDR + DEN	9
LEVEL 7	2 BDR	4
LEVEL 7	BACHELOR	1
LEVEL 8	1 BDR	1
LEVEL 8	1 BDR + DEN	9
LEVEL 8	2 BDR	4
LEVEL 8	BACHELOR	1
LEVEL 9	1 BDR	1
LEVEL 9	1 BDR + DEN	9
LEVEL 9	2 BDR	4
LEVEL 9	BACHELOR	1
LEVEL 10	1 BDR	1
LEVEL 10	1 BDR + DEN	9
LEVEL 10	2 BDR	4
LEVEL 10	BACHELOR	1
LEVEL 11	1 BDR	1
LEVEL 11	1 BDR + DEN	9
LEVEL 11	2 BDR	4
LEVEL 11	BACHELOR	1
LEVEL 12	1 BDR	1
LEVEL 12	1 BDR + DEN	6
LEVEL 12	2 BDR	4
LEVEL 12	BACHELOR	1
TOTAL UNITS: 168		

1 BDR - TOWER A		
NIVEAU	NOM	NOMBRE
LEVEL 1	1 BDR	1
LEVEL 2	1 BDR	2
LEVEL 3	1 BDR	1
LEVEL 4	1 BDR	1
LEVEL 5	1 BDR	1
LEVEL 6	1 BDR	1
LEVEL 7	1 BDR	1
LEVEL 8	1 BDR	1
LEVEL 9	1 BDR	1
LEVEL 10	1 BDR	1
LEVEL 11	1 BDR	1
LEVEL 12	1 BDR	1
TOTAL: 13		

2 BDR - TOWER A		
NIVEAU	NOM	NOMBRE
LEVEL 1	2 BDR	2
LEVEL 3	2 BDR	4
LEVEL 4	2 BDR	4
LEVEL 5	2 BDR	4
LEVEL 6	2 BDR	4
LEVEL 7	2 BDR	4
LEVEL 8	2 BDR	4
LEVEL 9	2 BDR	4
LEVEL 10	2 BDR	4
LEVEL 11	2 BDR	4
LEVEL 12	2 BDR	4
TOTAL: 42		

TYPOLOGY - TOWER A		
NOM	NOMBRE	%
1 BDR	13	7%
1 BDR + DEN	102	61%
2 BDR	42	28%
BACHELOR	11	4%
TOTAL DE LOGEMENTS: 168		100%

1 BDR + DEN - TOWER A		
NIVEAU	NOM	NOMBRE
LEVEL 1	1 BDR + DEN	6
LEVEL 2	1 BDR + DEN	9
LEVEL 3	1 BDR + DEN	9
LEVEL 4	1 BDR + DEN	9
LEVEL 5	1 BDR + DEN	9
LEVEL 6	1 BDR + DEN	9
LEVEL 7	1 BDR + DEN	9
LEVEL 8	1 BDR + DEN	9
LEVEL 9	1 BDR + DEN	9
LEVEL 10	1 BDR + DEN	9
LEVEL 11	1 BDR + DEN	9
LEVEL 12	1 BDR + DEN	6
TOTAL: 102		

2 BDR + DEN - TOWER A		
NIVEAU	NOM	NOMBRE

GROUP HEAFEY

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa



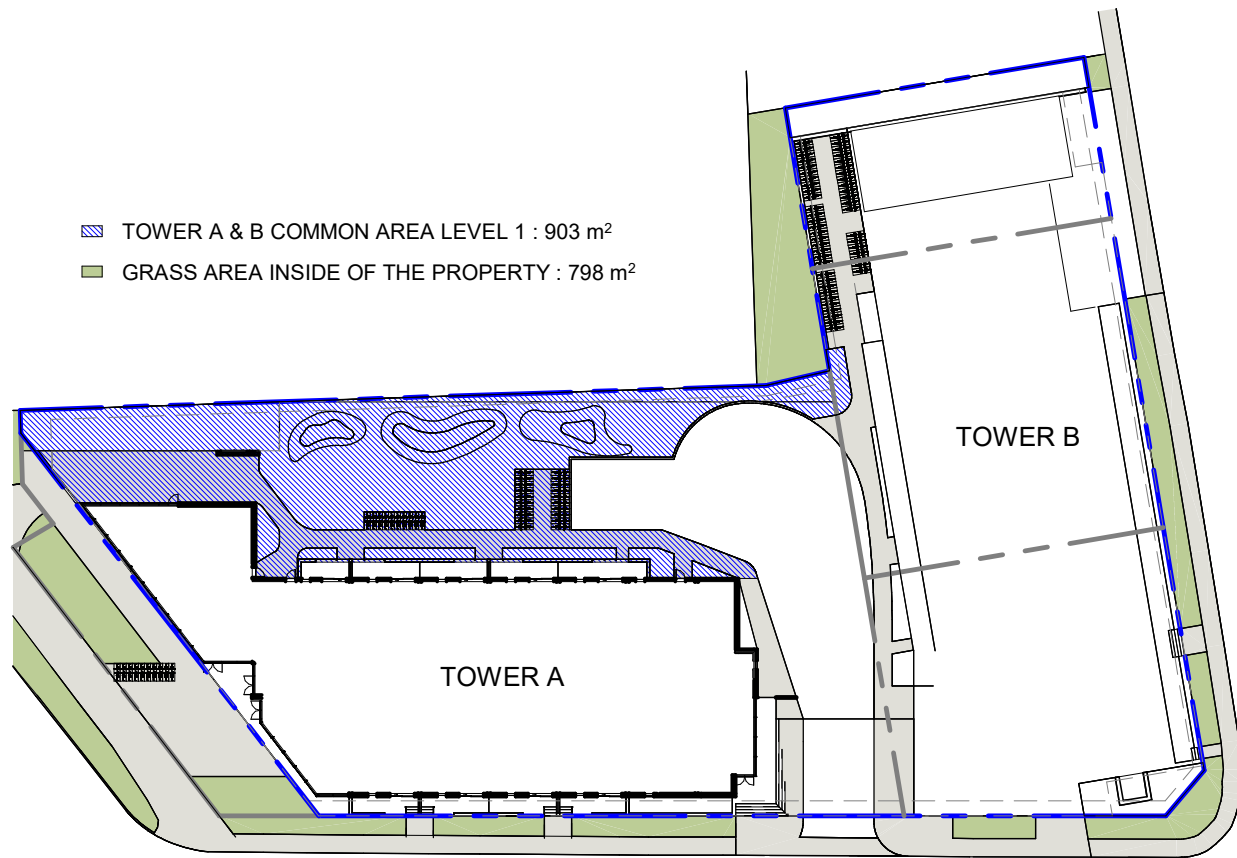
Dessiné par : Tanya Nadeau
 Conçu par : Christian Rheault

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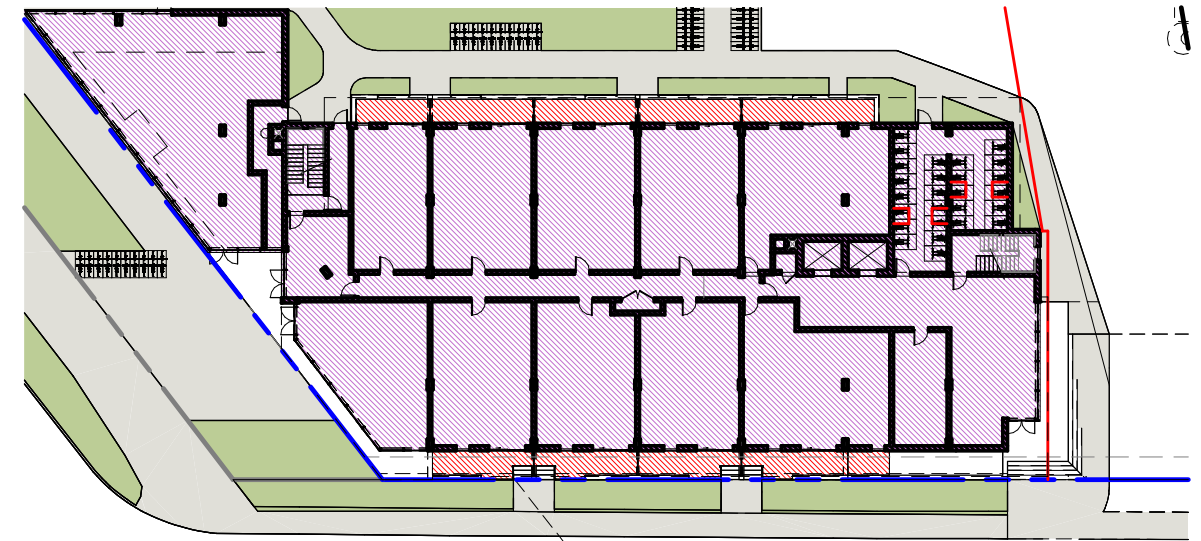


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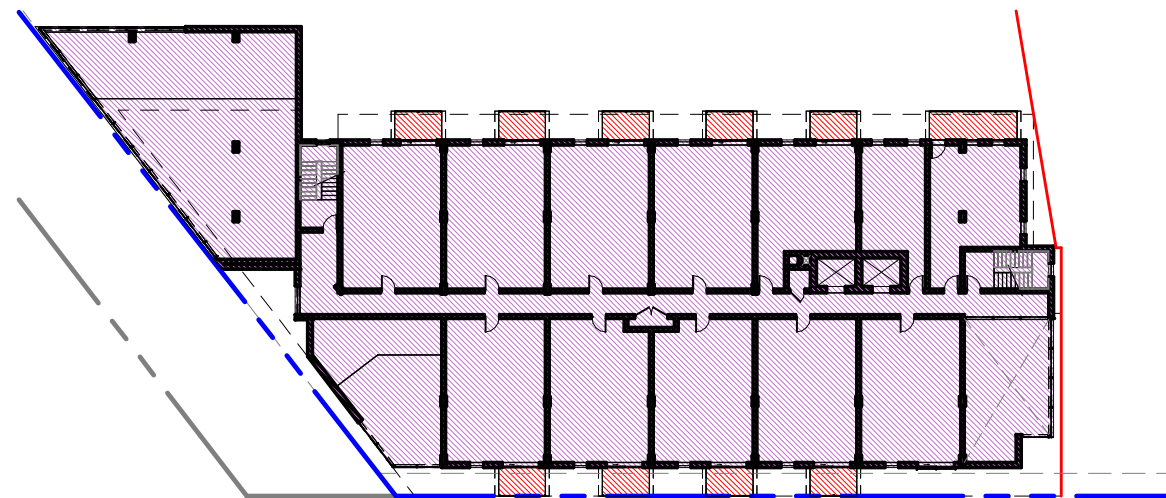
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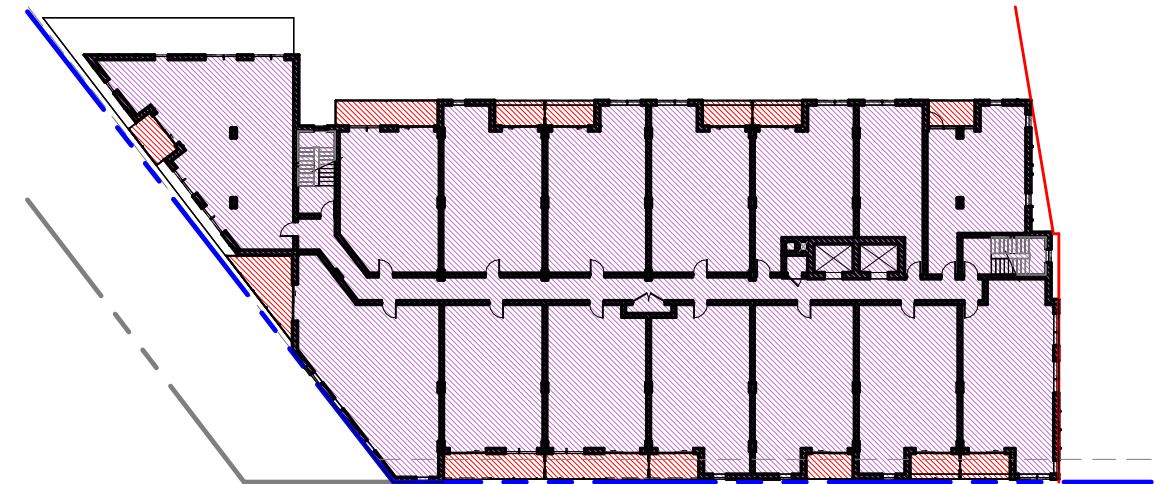
SITE PLAN - AMENITIES AREA
LEVEL 1



TOWER A - AMENITIES AREA
LEVEL 1



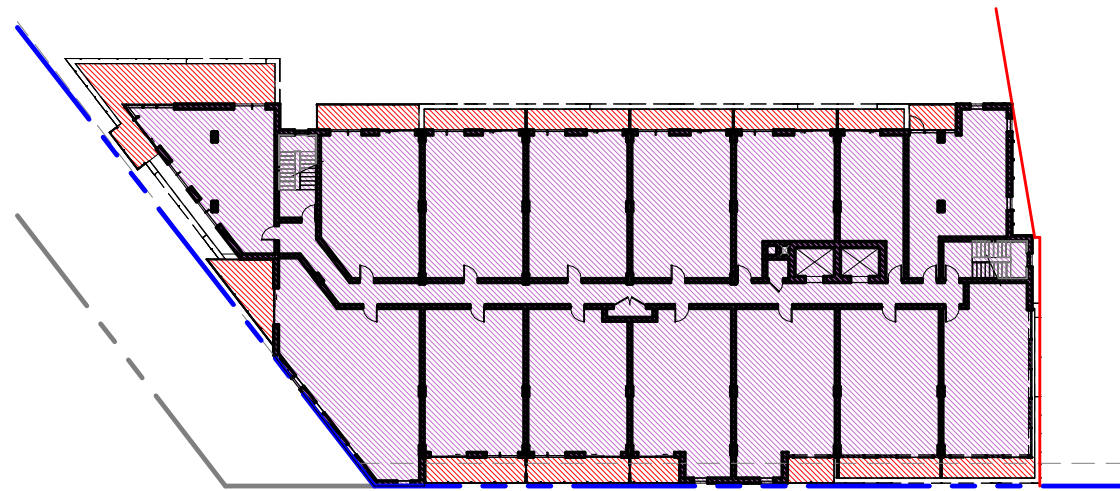
TOWER A - AMENITIES AREA
LEVEL 2



TOWER A - AMENITIES AREA
LEVEL 3 TO 6

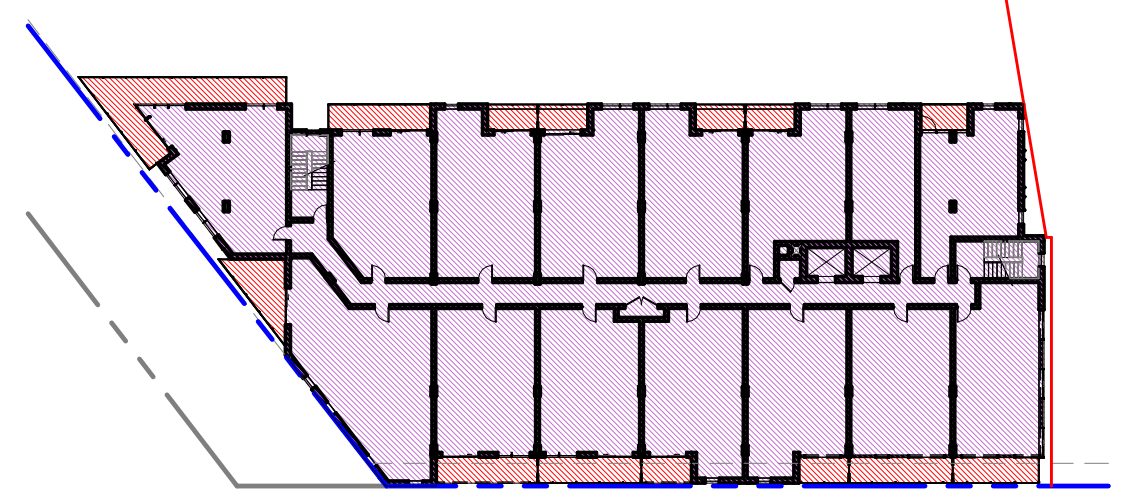
GROUP HEAFEY

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa



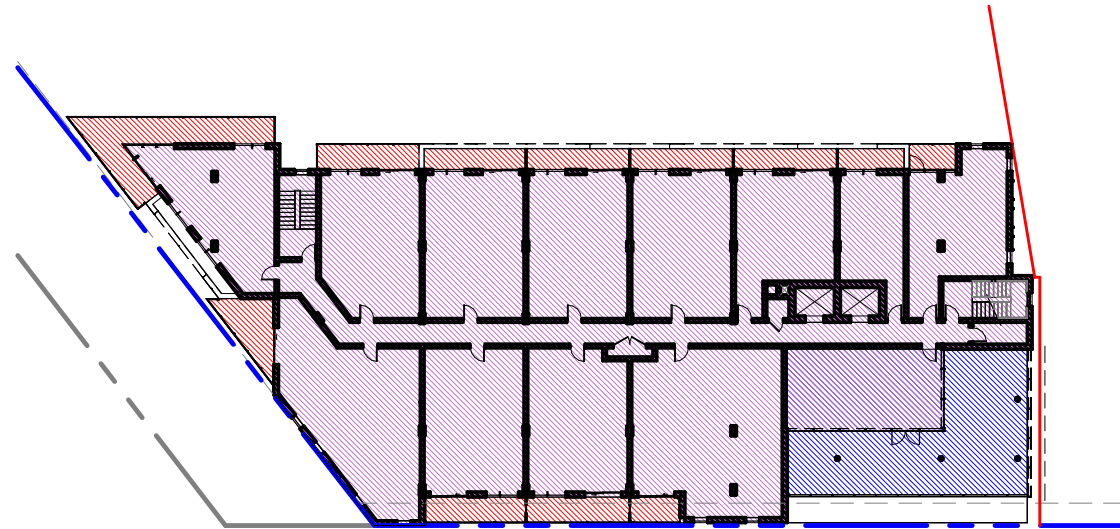
■ BALCONY AREA LEVEL 7 : 164 m² / 15 UNITS = 10.93 m²
■ GROSS AREA LEVEL 7 : 1146.39 m²

TOWER A - AMENITIES AREA LEVEL 7



■ BALCONY AREA LEVEL 8 : 140 m² / 15 UNITS = 9.33 m²
■ GROSS AREA LEVEL 8 TO 11 : 1188.44 m²

TOWER A - AMENITIES AREA LEVEL 8 TO 11



■ BALCONY AREA LEVEL 12 : 134 m² / 12 UNITS = 11.17 m²
■ GROSS AREA LEVEL 12 : 1044.76 m²
■ TOWER A COMMON AREA LEVEL 12 : 152 m²

TOWER A - AMENITIES AREA LEVEL 12

PRIVATE AMENITIES AREA

- BALCONY AREA LEVEL 1 : 102 m² / 9 UNITS = 11.33 m²
- BALCONY AREA LEVEL 2 : 64 m² / 12 UNITS = 5.33 m²
- BALCONY AREA LEVEL 3 : 103 m² / 15 UNITS = 6.87 m²
- BALCONY AREA LEVEL 4 : 103 m² / 15 UNITS = 6.87 m²
- BALCONY AREA LEVEL 5 : 103 m² / 15 UNITS = 6.87 m²
- BALCONY AREA LEVEL 6 : 103 m² / 15 UNITS = 6.87 m²
- BALCONY AREA LEVEL 7 : 164 m² / 15 UNITS = 10.93 m²
- BALCONY AREA LEVEL 8 : 140 m² / 15 UNITS = 9.33 m²
- BALCONY AREA LEVEL 9 : 140 m² / 15 UNITS = 9.33 m²
- BALCONY AREA LEVEL 10 : 140 m² / 15 UNITS = 9.33 m²
- BALCONY AREA LEVEL 11 : 140 m² / 15 UNITS = 9.33 m²
- BALCONY AREA LEVEL 12 : 134 m² / 12 UNITS = 11.17 m²

TOTAL PRIVATE AREA : 1436 m² / 168 UNITS = 8.55 m²
 REQUIRED 6 m²/ UNITS

COMMON AMENITIES AREA

- TOWER A & B COMMON AREA LEVEL 1 : 903 m²
- TOWER A COMMON AREA LEVEL 12 : 152 m²
- TOWER B COMMON AREA TOTAL : 222 m²
- GRASS AREA INSIDE OF THE PROPERTY : 798 m²

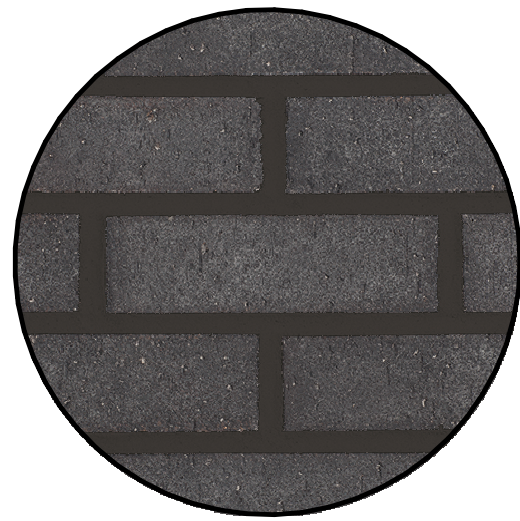
GROUP HEAFEY

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa

As indicated

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1

MASONRY
GLEN-GERY
COLOR VINTAGE
BLACK VELOUR



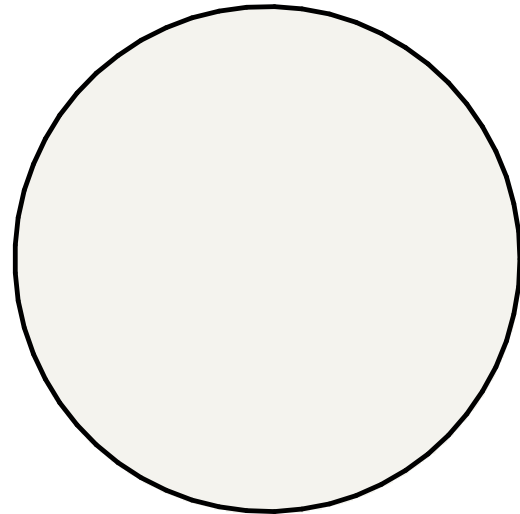
2

MASONRY
GLEN-GERY
COLOR REVERE
PEWTER VELOUR



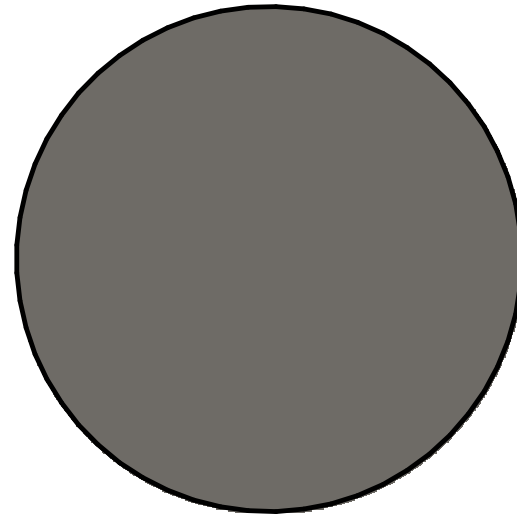
3

ALUMINIUM SIDING
ALUPLANK
COLOR ACADIA
AXOTIC HONEY



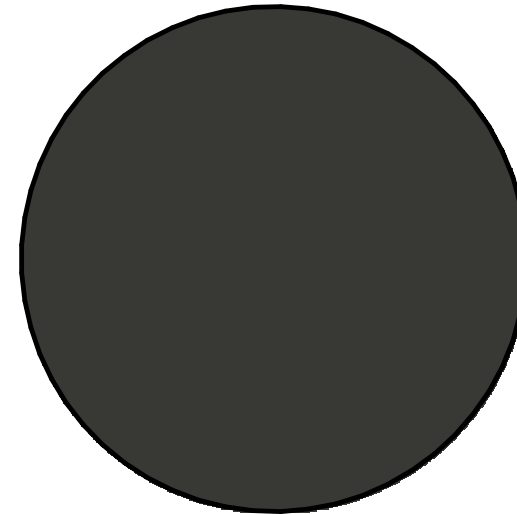
4

ALUMINIUM PANELS
ALUTECH
SICO COLOR NATURAL
WHITE 6000-11



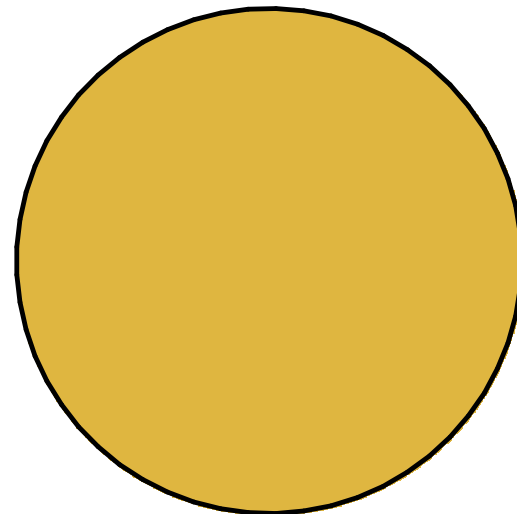
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ALUMINIUM PANELS
ALUTECH
SICO COLOR NIGHT
OWL 6183-63



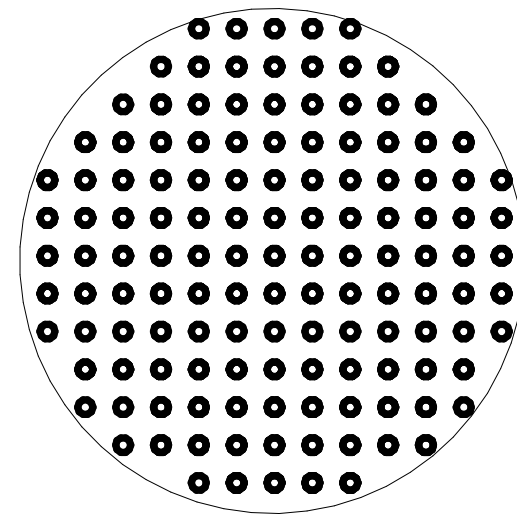
6

ALUMINIUM PANELS
ALUTECH
SICO COLOR BLACK
PEPPER 6182-83



7

ALUMINIUM PANELS
ALUTECH
SICO COLOR GREEN
TOMATO RELISH
6097-64



8

BIRD SAFETY WINDOW FILM
DOTS WITH MAXIMUM
SPACING OF 50 MM BY 50
MM, MINIMUM OF 4 MM
DIAMETER. TO BE APPLY ON
THE GLASS BALCONIES FOR
THE FIRST 4 FLOORS.

NOTE : COLORS SHOWN MAY VARY DUE TO SCREEN RESOLUTION. PLEASE SEE ACTUAL PRODUCTS SAMPLE FOR TRUE COLOR.

EXTERIOR MATERIALS

GROUP HEAFEY

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa

A1 A2 A3 A4 A5 A6 A7 A8 A9 A10

Balcony noise barrier.
Typical on each floor

STATISTICS OF THE % MATÉRIALS
 BUILDING AREA : 1741 m²
 OPENING AREA : 800 m² (45.95%)
 MASONRY : 413 m² (23.72%)
 ALUMINIUM : 510 m² (29.29%)
 OTHER : 18 m² (1.03%)



TOWER A - FRONT ELEVATION (FOREST STREET)

GROUP HEAFEY



Dessiné par : Tanya Nadeau
 Conçu par : Christian Rheault

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365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa

1 : 200
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TOWER A - BACK ELEVATION

GROUP HEAFEY



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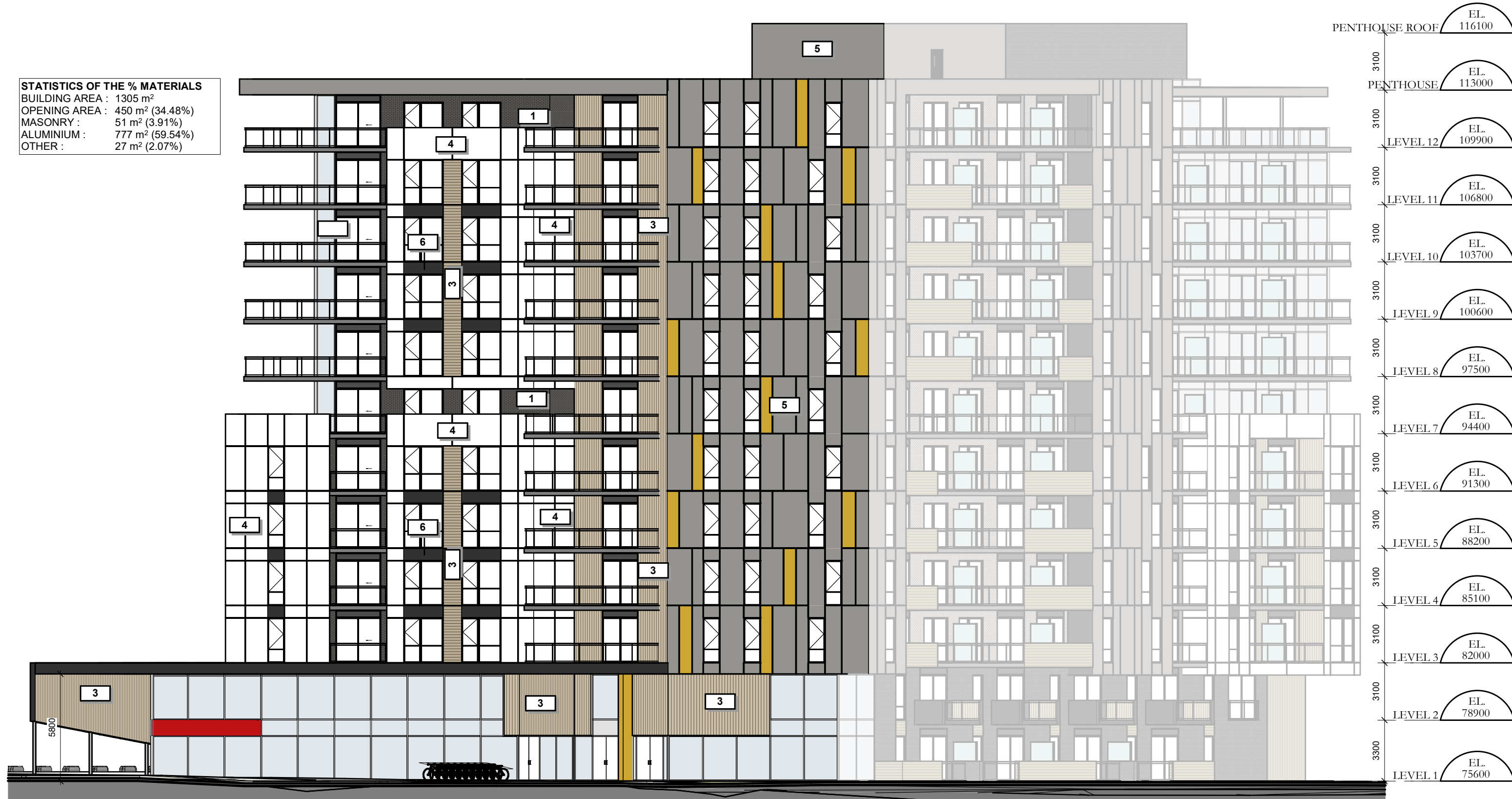


365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa

1 : 200

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STATISTICS OF THE % MATERIALS
 BUILDING AREA : 1305 m²
 OPENING AREA : 450 m² (34.48%)
 MASONRY : 51 m² (3.91%)
 ALUMINIUM : 777 m² (59.54%)
 OTHER : 27 m² (2.07%)



TOWER A - LEFT SIDE ELEVATION (RICHMOND ROAD)

GROUP HEAFEY

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa

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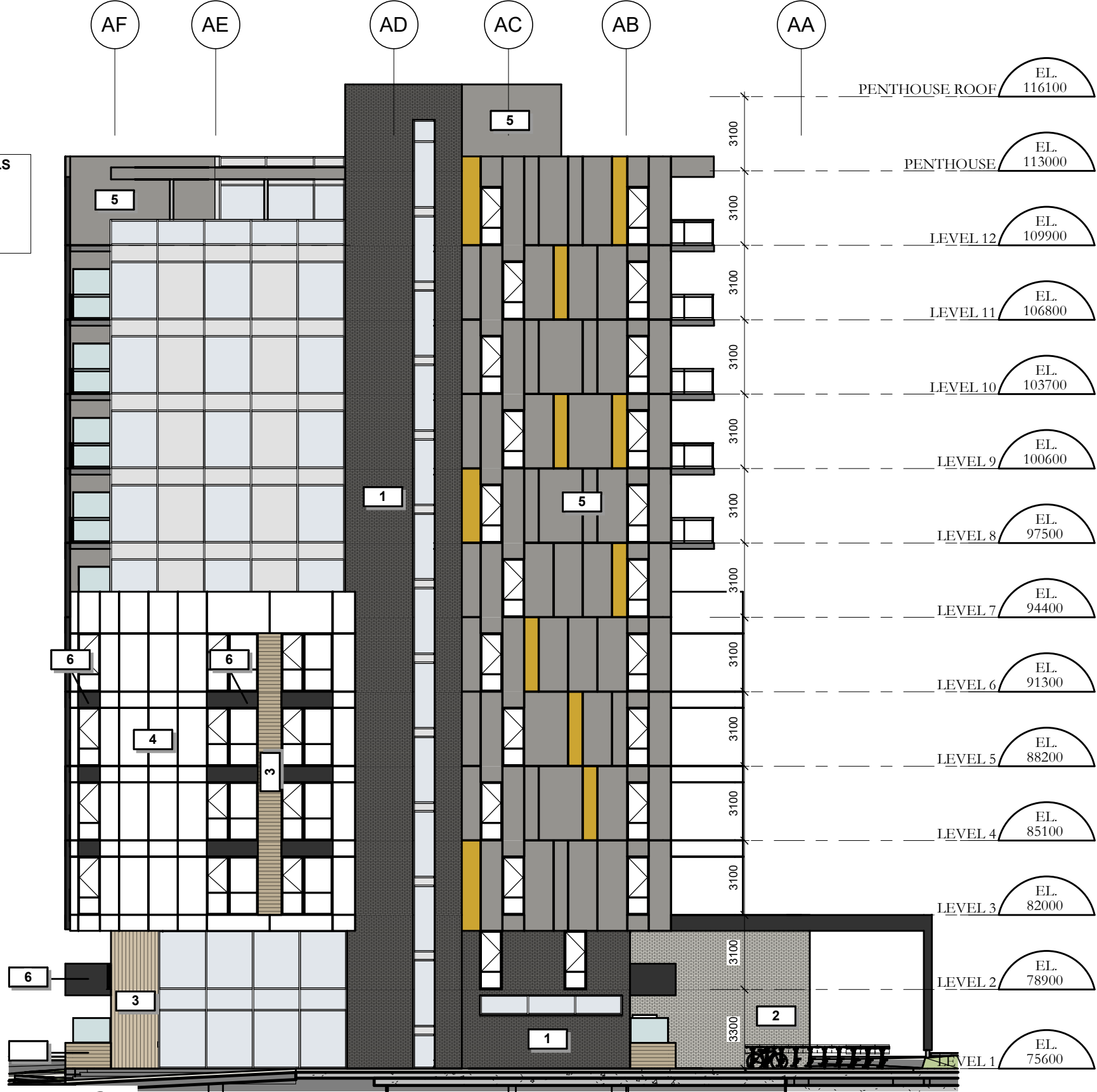


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 Conçu par : Christian Rheault

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STATISTICS OF THE % MATÉRIALS
 BUILDING AREA : 1059 m²
 OPENING AREA : 353 m² (33.33%)
 MASONRY : 231 m² (21.81%)
 ALUMINIUM : 473 m² (44.66%)
 OTHER : 2 m² (0.19%)



TOWER A - RIGHT SIDE ELEVATION

GROUP HEAFEY

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa

1 : 200

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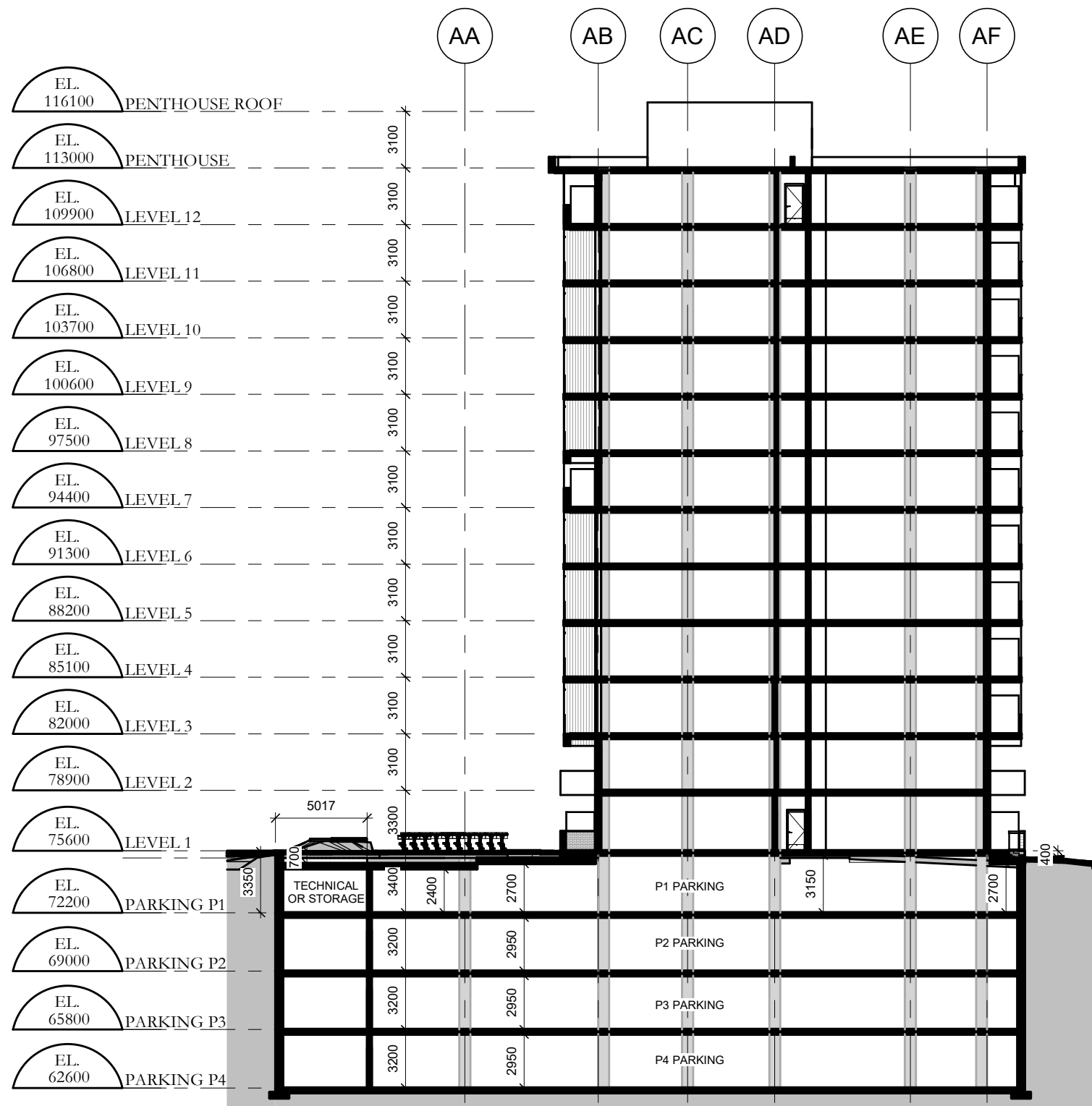


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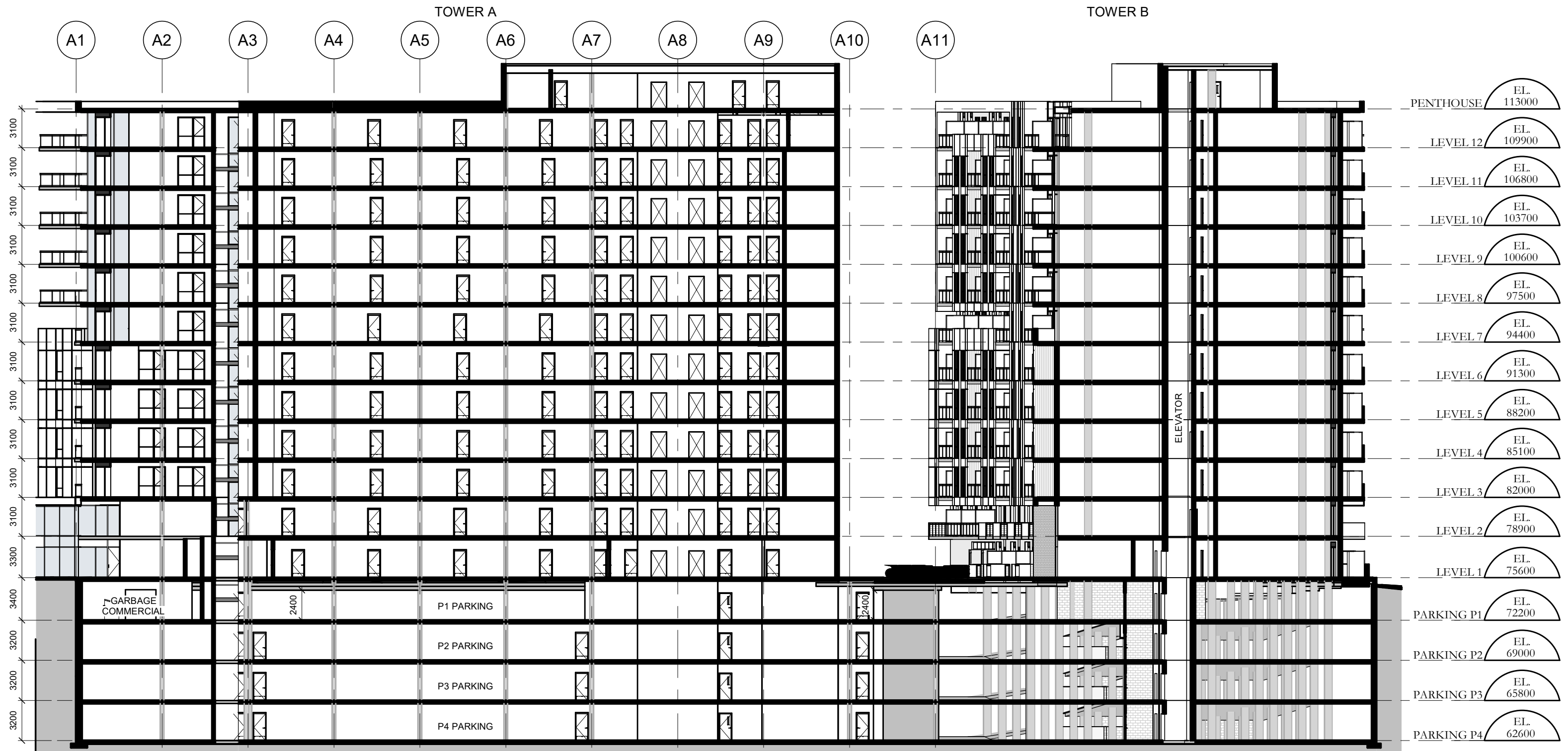


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TOWER A - SECTION

GROUP HEAFEY



TOWER A & B - SECTION

GROUP HEAFEY



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365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa

1 : 300

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TOWER B



GROUP HEAFEY

365 Forest Street, Ottawa, ON K2B 7Z7

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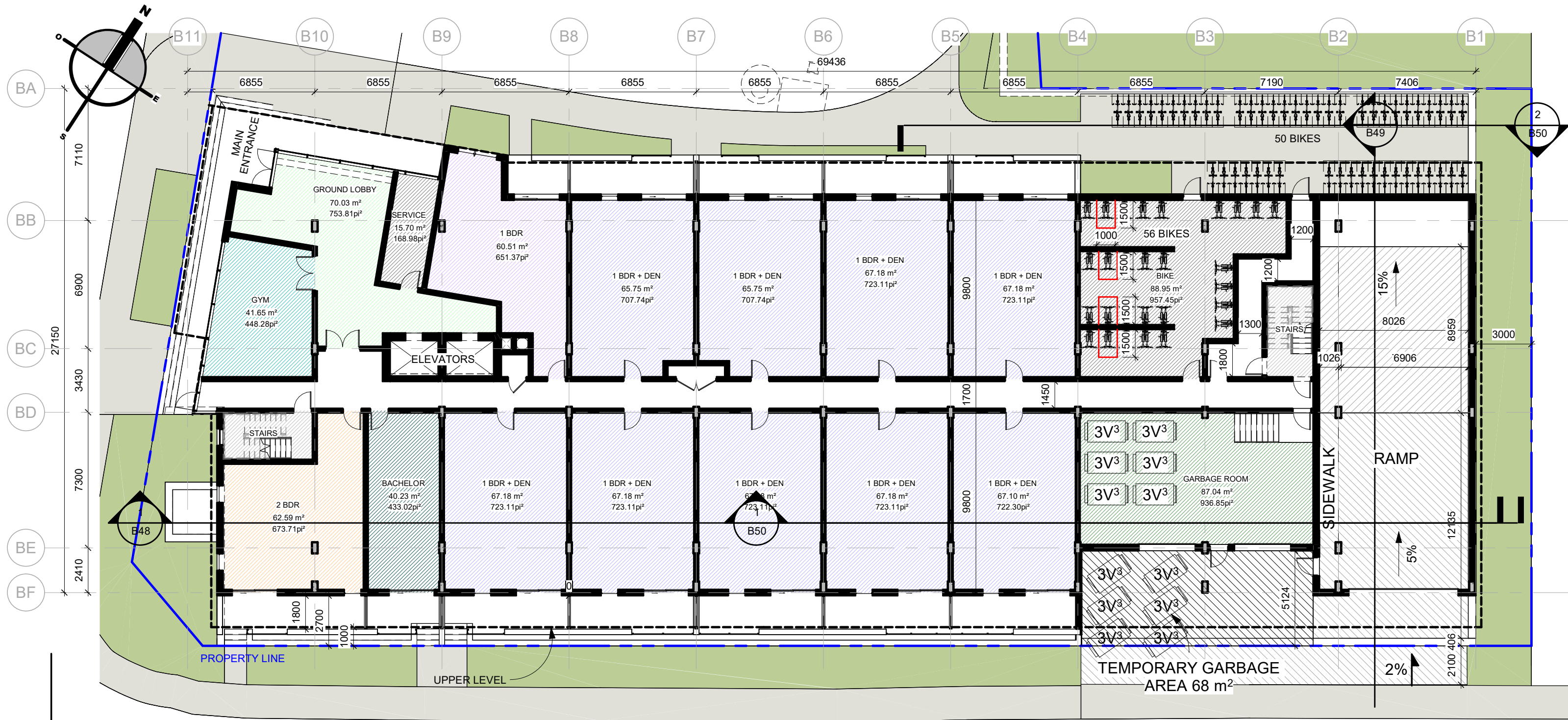
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Dessiné par : Tanya Nadeau
Conçu par : Christian Rheault

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GROSS AREA LEGEND



TOWER B - LEVEL 1

GROUP HEAFEY



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 Conçu par : Christian Rheault

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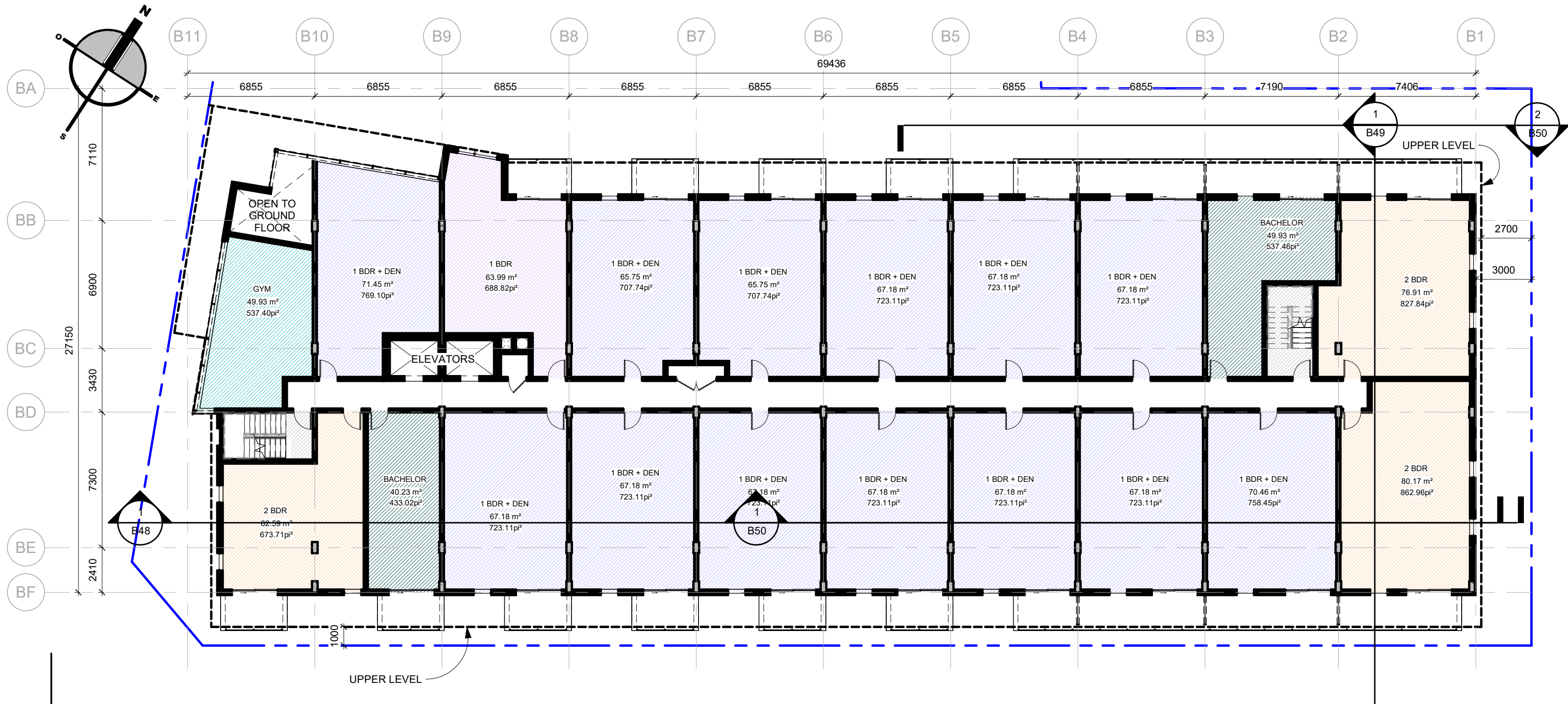


365 Forest Street, Ottawa, ON K2B 7Z7

1 : 200

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GROSS AREA LEGEND



TOWER B - LEVEL 2

GROUP HEAFEY



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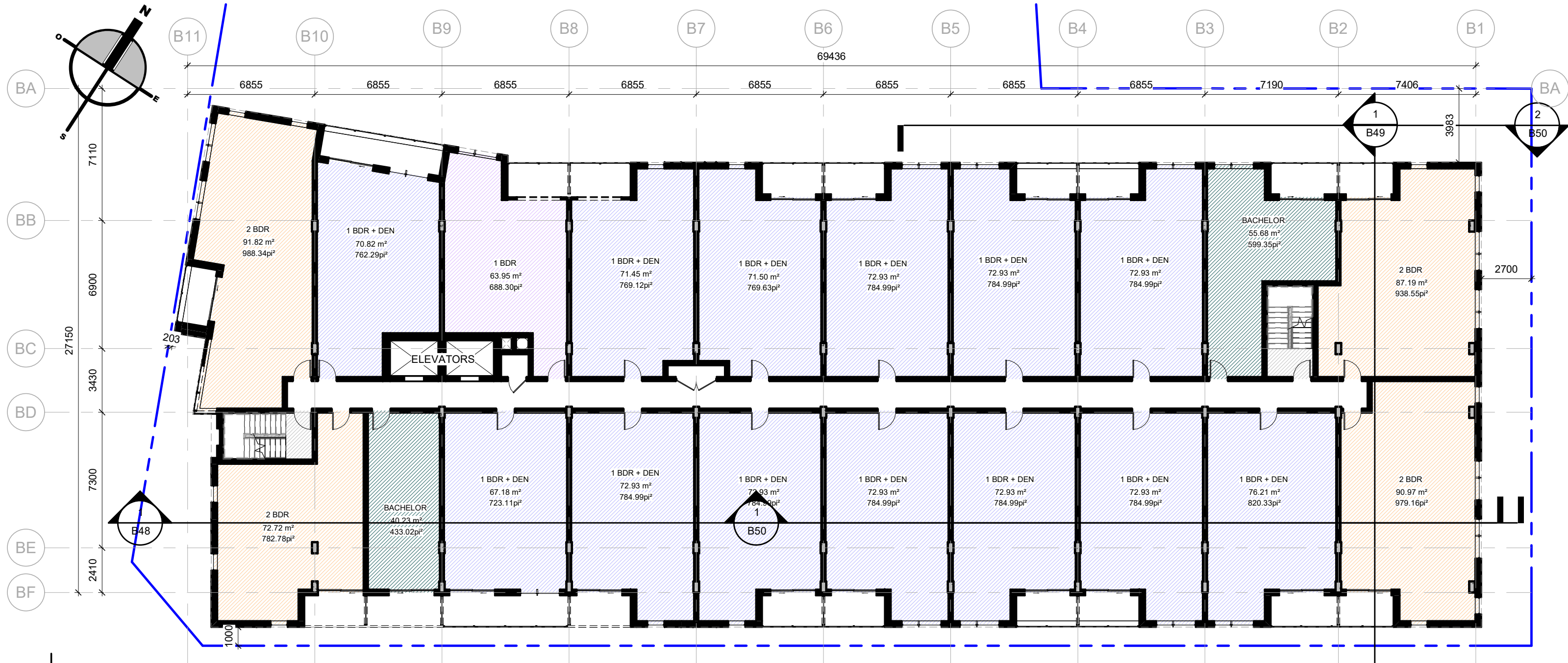


365 Forest Street, Ottawa, ON K2B 7Z7

1 : 200

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GROSS AREA LEGEND



TOWER B - LEVEL 3 TO 6

GROUP HEAFEY



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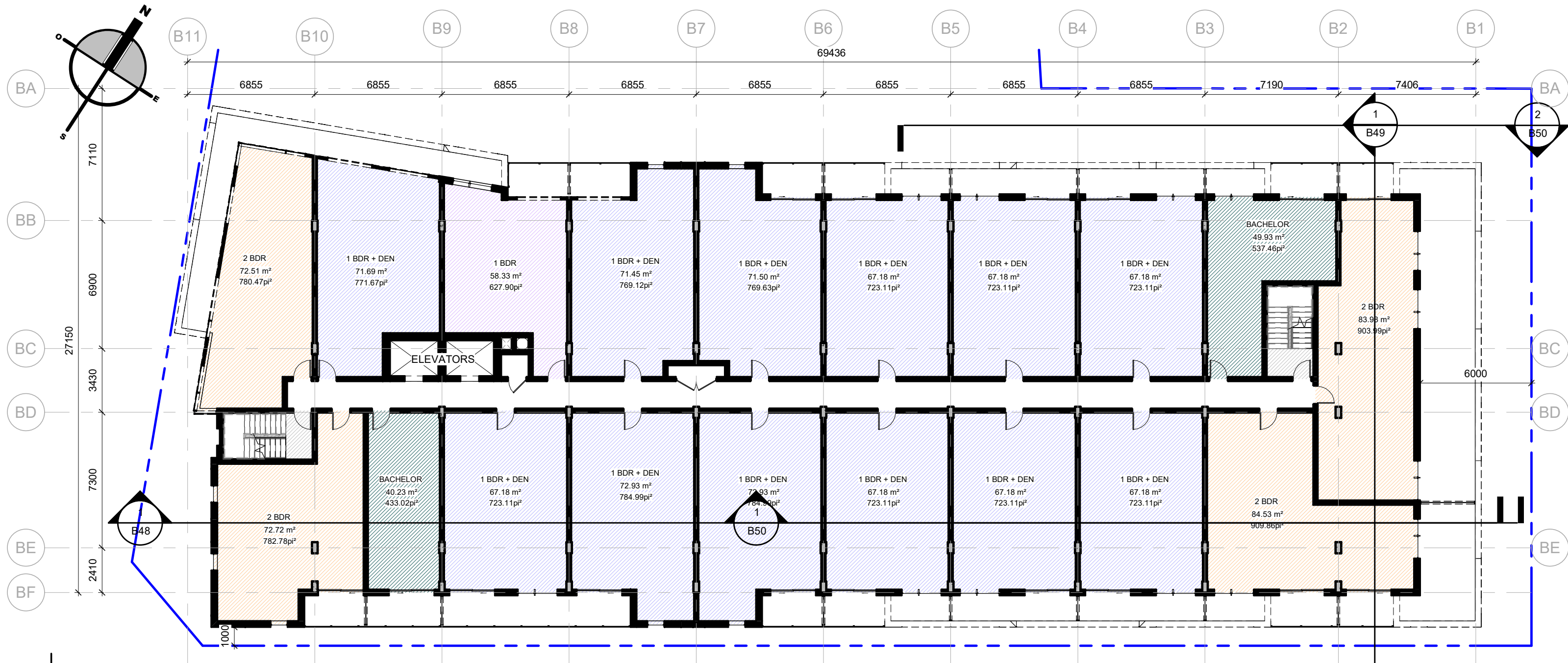


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GROSS AREA LEGEND



TOWER B - LEVEL 7

GROUP HEAFEY



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 Conçu par : Christian Rheault

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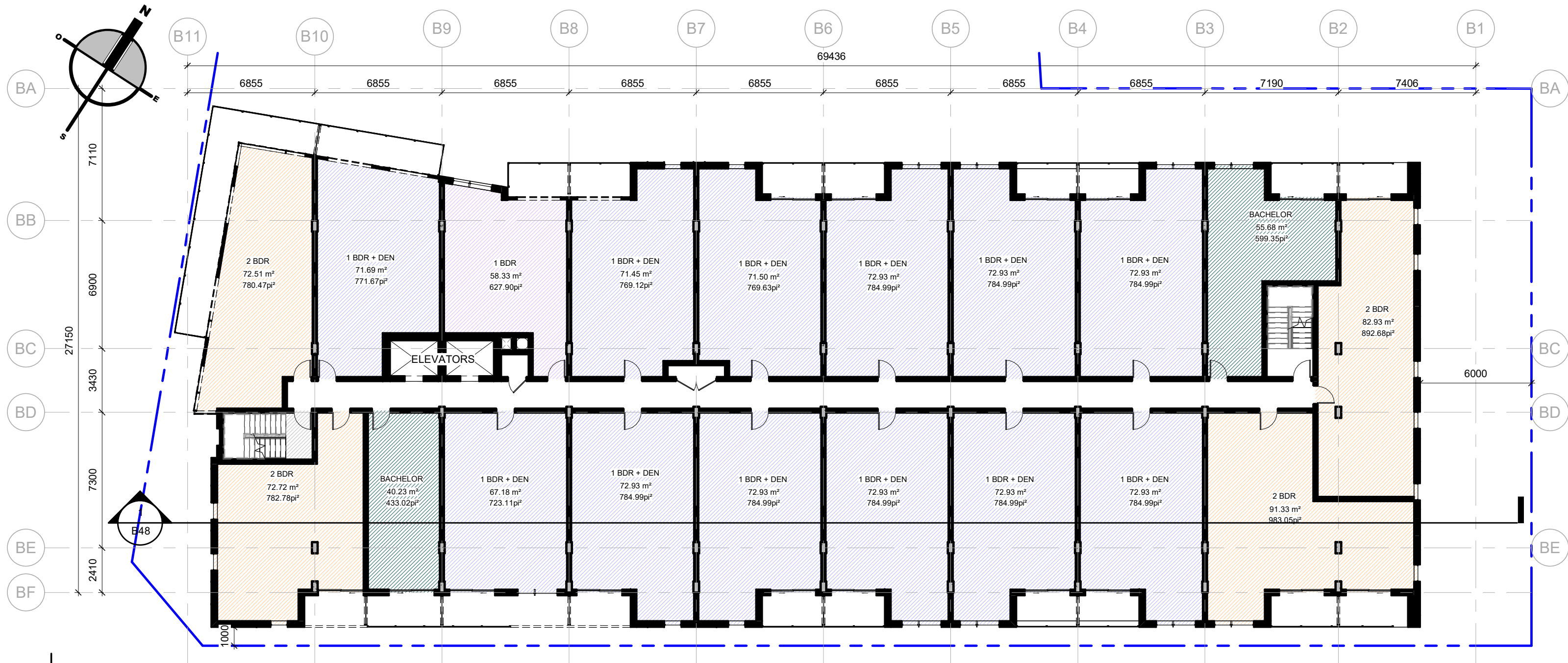


365 Forest Street, Ottawa, ON K2B 7Z7

1 : 200

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GROSS AREA LEGEND



TOWER B - LEVEL 8 TO 11

GROUP HEAFEY



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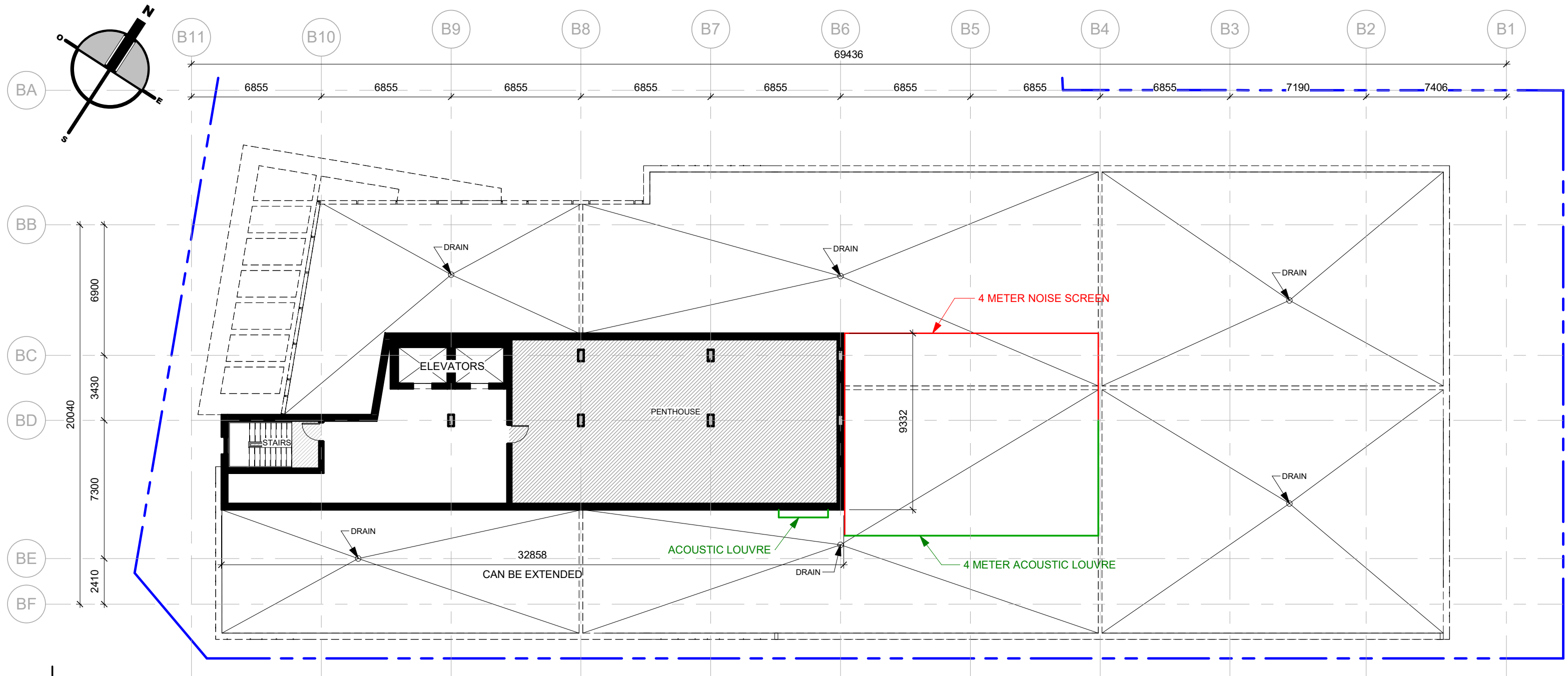


365 Forest Street, Ottawa, ON K2B 7Z7

1 : 200

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GROSS AREA LEGEND



TOWER B - LEVEL PENTHOUSE

GROUP HEAFEY

365 Forest Street, Ottawa, ON K2B 7Z7

1 : 200

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Dessiné par : Tanya Nadeau
 Conçu par : Christian Rheault

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ROOM TYPOLOGY - TOWER B		
LEVEL	NAME	QTY
LEVEL 1	1 BDR	1
LEVEL 1	1 BDR + DEN	9
LEVEL 1	2 BDR	1
LEVEL 1	BACHELOR	1
LEVEL 2	1 BDR	1
LEVEL 2	1 BDR + DEN	13
LEVEL 2	2 BDR	3
LEVEL 2	BACHELOR	2
LEVEL 3	1 BDR	1
LEVEL 3	1 BDR + DEN	13
LEVEL 3	2 BDR	4
LEVEL 3	BACHELOR	2
LEVEL 4	1 BDR	1
LEVEL 4	1 BDR + DEN	13
LEVEL 4	2 BDR	4
LEVEL 4	BACHELOR	2
LEVEL 5	1 BDR	1
LEVEL 5	1 BDR + DEN	13
LEVEL 5	2 BDR	4
LEVEL 5	BACHELOR	2
LEVEL 6	1 BDR	1
LEVEL 6	1 BDR + DEN	13
LEVEL 6	2 BDR	4
LEVEL 6	BACHELOR	2
LEVEL 7	1 BDR	1
LEVEL 7	1 BDR + DEN	12
LEVEL 7	2 BDR	4
LEVEL 7	BACHELOR	2
LEVEL 8	1 BDR	1
LEVEL 8	1 BDR + DEN	12
LEVEL 8	2 BDR	4
LEVEL 8	BACHELOR	2
LEVEL 9	1 BDR	1
LEVEL 9	1 BDR + DEN	12
LEVEL 9	2 BDR	4
LEVEL 9	BACHELOR	2
LEVEL 10	1 BDR	1
LEVEL 10	1 BDR + DEN	12
LEVEL 10	2 BDR	4
LEVEL 10	BACHELOR	2
LEVEL 11	1 BDR	1
LEVEL 11	1 BDR + DEN	12
LEVEL 11	2 BDR	4
LEVEL 11	BACHELOR	2
LEVEL 12	1 BDR	1
LEVEL 12	1 BDR + DEN	11
LEVEL 12	2 BDR	3
LEVEL 12	BACHELOR	2
TOTAL DE LOGEMENTS: 223		

1 BDR - TOWER B		
LEVEL	NAME	QTY
LEVEL 1	1 BDR	1
LEVEL 2	1 BDR	1
LEVEL 3	1 BDR	1
LEVEL 4	1 BDR	1
LEVEL 5	1 BDR	1
LEVEL 6	1 BDR	1
LEVEL 7	1 BDR	1
LEVEL 8	1 BDR	1
LEVEL 9	1 BDR	1
LEVEL 10	1 BDR	1
LEVEL 11	1 BDR	1
LEVEL 12	1 BDR	1
TOTAL: 12		

2 BDR - TOWER B		
LEVEL	NAME	QTY
LEVEL 1	2 BDR	1
LEVEL 2	2 BDR	3
LEVEL 3	2 BDR	4
LEVEL 4	2 BDR	4
LEVEL 5	2 BDR	4
LEVEL 6	2 BDR	4
LEVEL 7	2 BDR	4
LEVEL 8	2 BDR	4
LEVEL 9	2 BDR	4
LEVEL 10	2 BDR	4
LEVEL 11	2 BDR	4
LEVEL 12	2 BDR	3
TOTAL: 43		

TYPOLOGY - TOWER B		
NAME	QTY	%
1 BDR	12	5%
1 BDR + DEN	145	66%
2 BDR	43	22%
BACHELOR	23	7%
TOTAL DE LOGEMENTS: 223		100%

1 BDR + DEN - TOWER B		
LEVEL	NAME	QTY
LEVEL 1	1 BDR + DEN	9
LEVEL 2	1 BDR + DEN	13
LEVEL 3	1 BDR + DEN	13
LEVEL 4	1 BDR + DEN	13
LEVEL 5	1 BDR + DEN	13
LEVEL 6	1 BDR + DEN	13
LEVEL 7	1 BDR + DEN	12
LEVEL 8	1 BDR + DEN	12
LEVEL 9	1 BDR + DEN	12
LEVEL 10	1 BDR + DEN	12
LEVEL 11	1 BDR + DEN	12
LEVEL 12	1 BDR + DEN	11
TOTAL: 145		

2 BDR + DEN - TOWER B		
LEVEL	NAME	QTY

GROUP HEAFEY

365 Forest Street, Ottawa, ON K2B 7Z7

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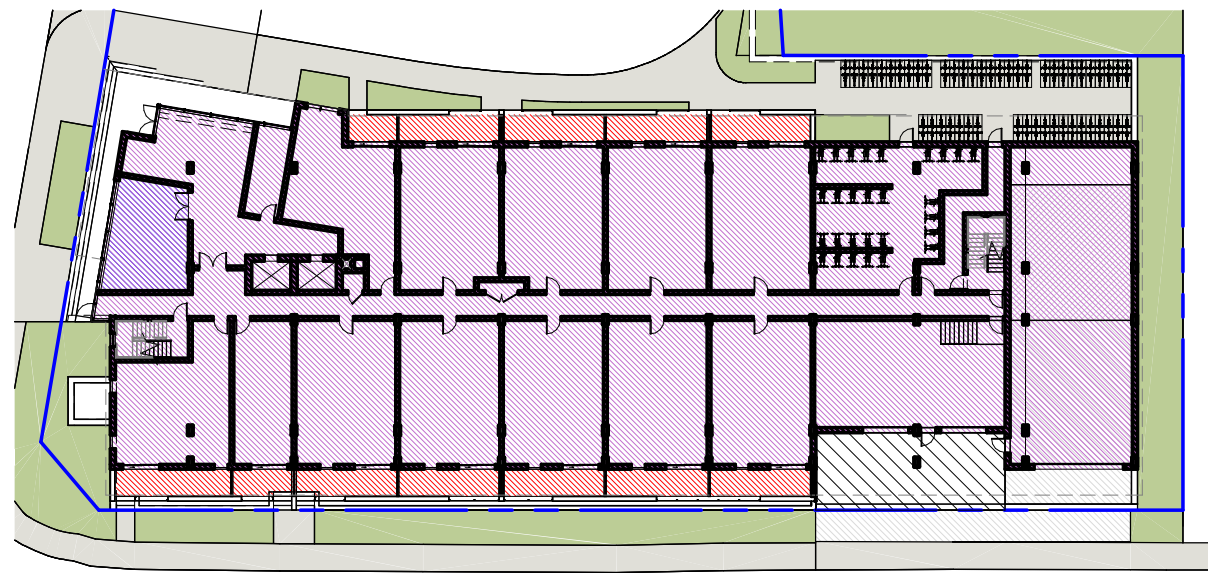
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REVISION 06	2023-12-06
REVISION 07	2024-01-18



Dessiné par : Tanya Nadeau
Conçu par : Christian Rheault

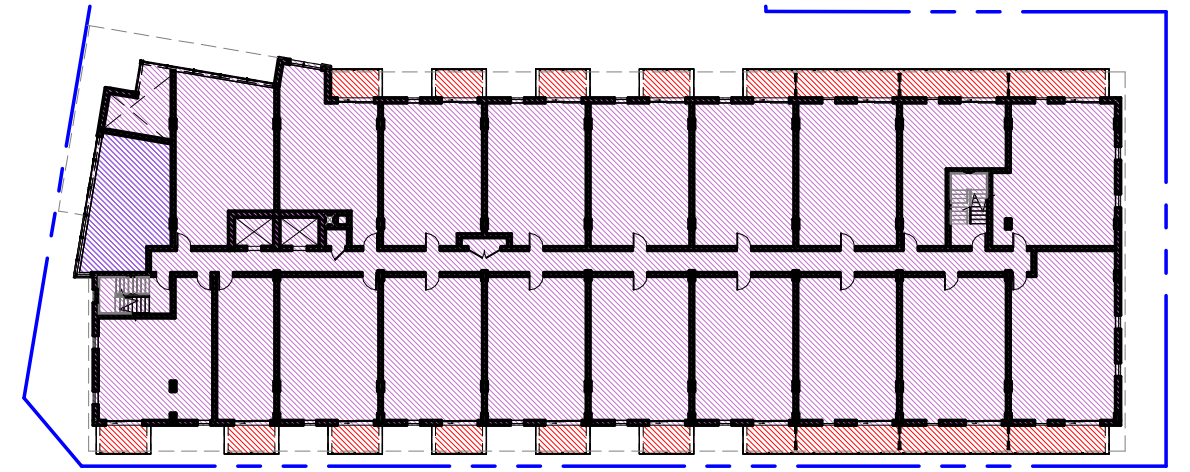
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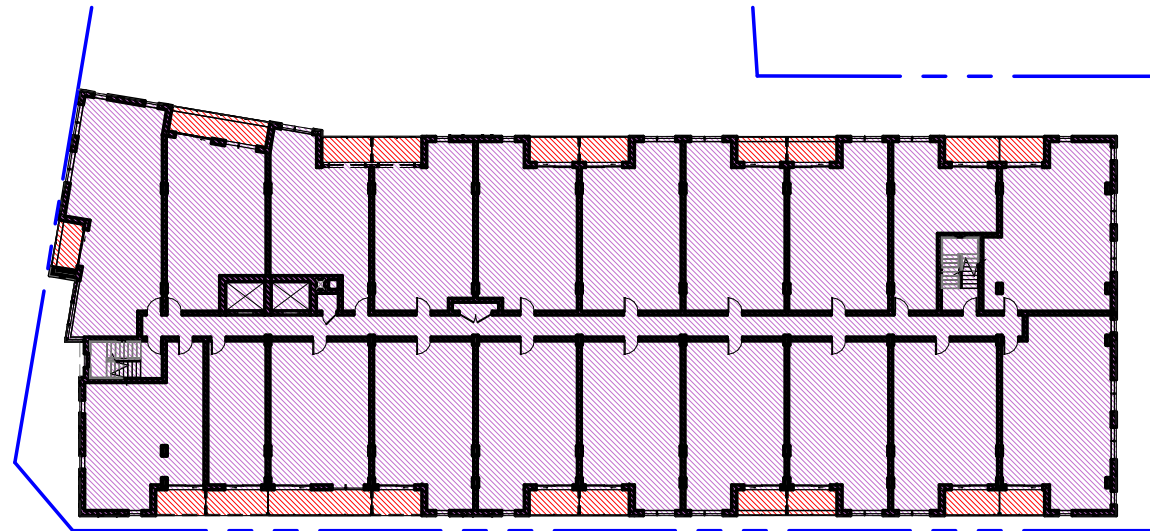
■ BALCONY AREA LEVEL 1 : 137 m² / 12 UNITS = 11.42 m²
■ COMMON AREA LEVEL 1 : 37 m²
■ GROSS AREA LEVEL 1 : 1466.78 m²

TOWER B - AMENITIES AREA LEVEL 1



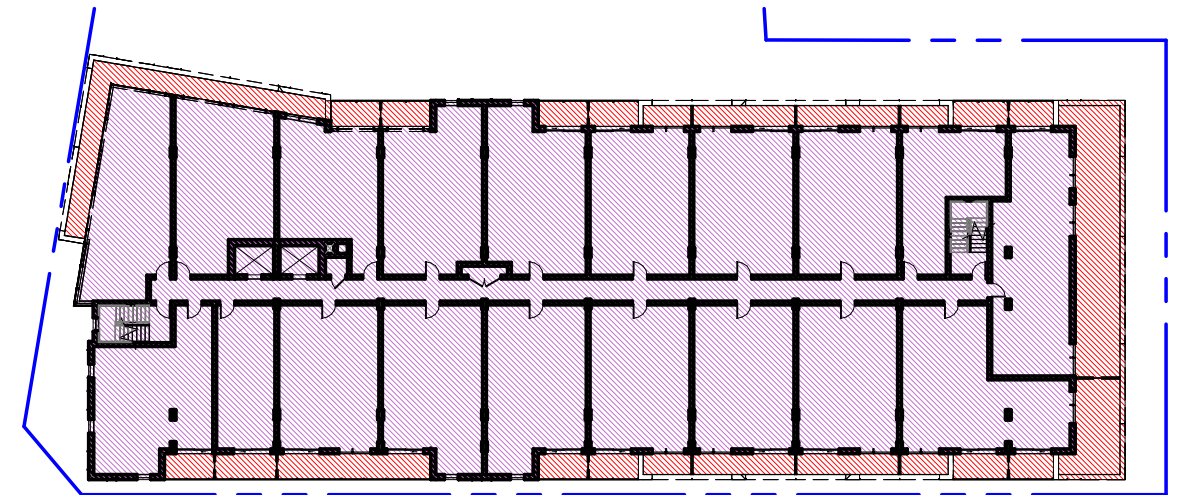
■ BALCONY AREA LEVEL 2 : 149 m² / 19 UNITS = 7.84 m²
■ COMMON AREA LEVEL 2 : 45 m²
■ GROSS AREA LEVEL 2 : 1497.04 m²

TOWER B - AMENITIES AREA LEVEL 2



■ BALCONY AREA LEVEL 3 : 125 m² / 20 UNITS = 6.25 m²
■ GROSS AREA LEVEL 3 TO 6 : 1629.32 m²

TOWER B - AMENITIES AREA LEVEL 3 TO 6



■ BALCONY AREA LEVEL 7 : 264 m² / 19 UNITS = 13.89 m²
■ GROSS AREA LEVEL 7 : 1465.16 m²

TOWER B - AMENITIES AREA LEVEL 7

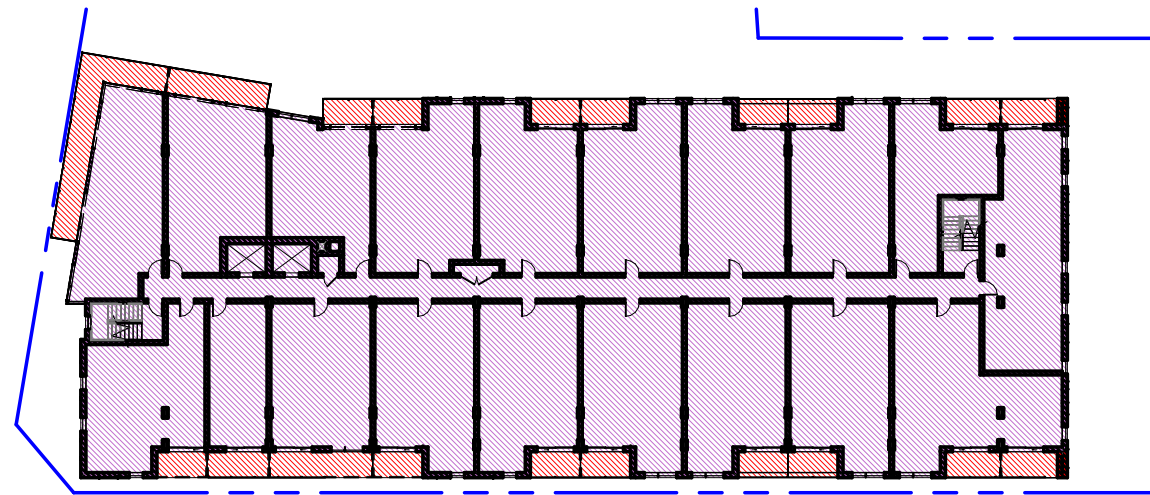
GROUP HEAFEY

365 Forest Street, Ottawa, ON K2B 7Z7

1 : 500

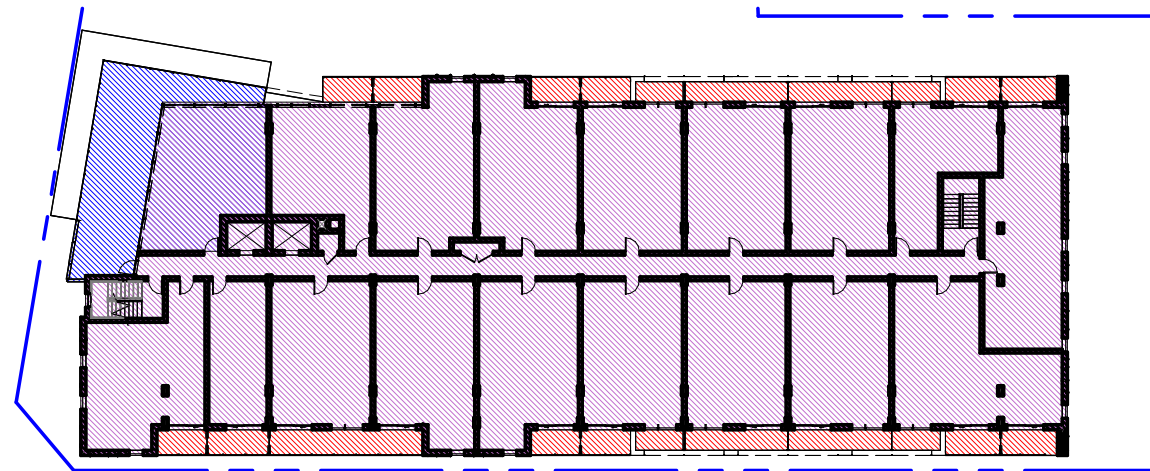
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■ BALCONY AREA LEVEL 8 : 153 m² / 19 UNITS = 8.05 m²
■ GROSS AREA LEVEL 8 TO 11 : 1513.39 m²

TOWER B - AMENITIES AREA LEVEL 8 TO 11



■ BALCONY AREA LEVEL 12 : 144 m² / 17 UNITS = 8.47 m²
■ GROSS AREA LEVEL 12 : 1390.80 m²
■ COMMON AREA LEVEL 12 : 140 m²

TOWER B - AMENITIES AREA LEVEL 12

PRIVATE AMENITIES AREA

BALCONY AREA LEVEL 1 : 137 m² / 12 UNITS = 11.42 m²
 BALCONY AREA LEVEL 2 : 149 m² / 19 UNITS = 7.84 m²
 BALCONY AREA LEVEL 3 : 125 m² / 20 UNITS = 6.25 m²
 BALCONY AREA LEVEL 4 : 125 m² / 20 UNITS = 6.25 m²
 BALCONY AREA LEVEL 5 : 125 m² / 20 UNITS = 6.25 m²
 BALCONY AREA LEVEL 6 : 125 m² / 20 UNITS = 6.25 m²
 BALCONY AREA LEVEL 7 : 264 m² / 19 UNITS = 13.89 m²
 BALCONY AREA LEVEL 8 : 153 m² / 19 UNITS = 8.05 m²
 BALCONY AREA LEVEL 9 : 151 m² / 19 UNITS = 7.95 m²
 BALCONY AREA LEVEL 10 : 151 m² / 19 UNITS = 7.95 m²
 BALCONY AREA LEVEL 11 : 151 m² / 19 UNITS = 7.95 m²
 BALCONY AREA LEVEL 12 : 144 m² / 17 UNITS = 8.47 m²

TOTAL PRIVATE AREA : 1800 m² / 223 UNITS = 8.07 m²
REQUIRED 6 m²/ UNITS

COMMON AMENITIES AREA

COMMON AREA LEVEL 1 : 37 m²
 COMMON AREA LEVEL 2 : 45 m²
 COMMON AREA LEVEL 12 : 140 m²
TOTAL COMMON AREA : 222 m²

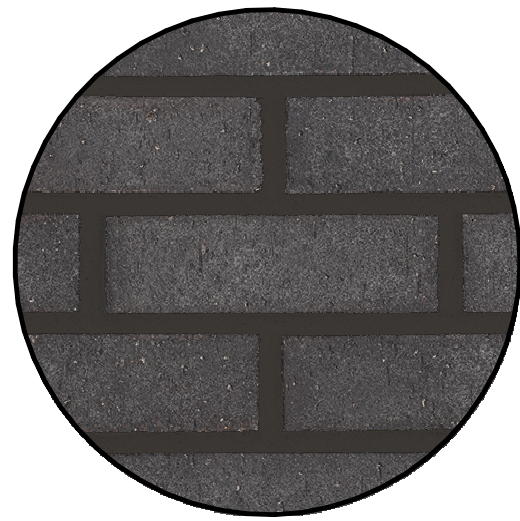
GROUP HEAFEY

365 Forest Street, Ottawa, ON K2B 7Z7

As indicated

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1

MASONRY
GLEN-GERY
COLOR VINTAGE
BLACK VELOUR



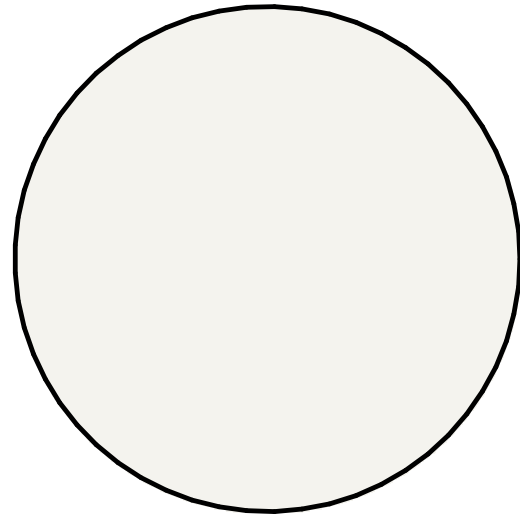
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MASONRY
GLEN-GERY
COLOR REVERE
PEWTER VELOUR



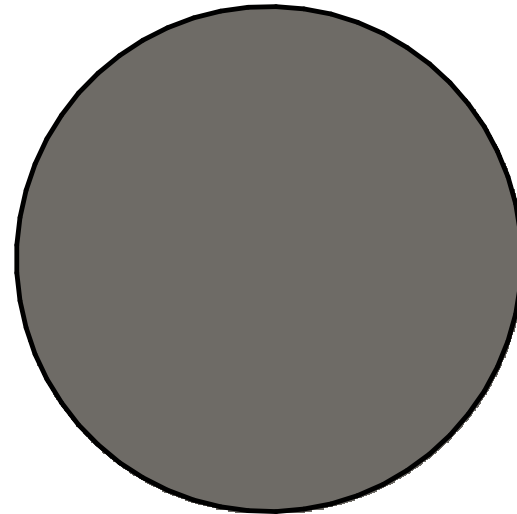
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ALUMINIUM SIDING
ALUPLANK
COLOR ACADIA
AXOTIC HONEY



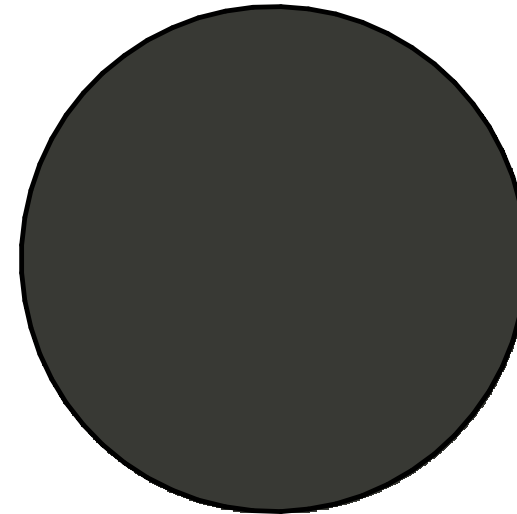
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ALUMINIUM PANELS
ALUTECH
SICO COLOR NATURAL
WHITE 6000-11



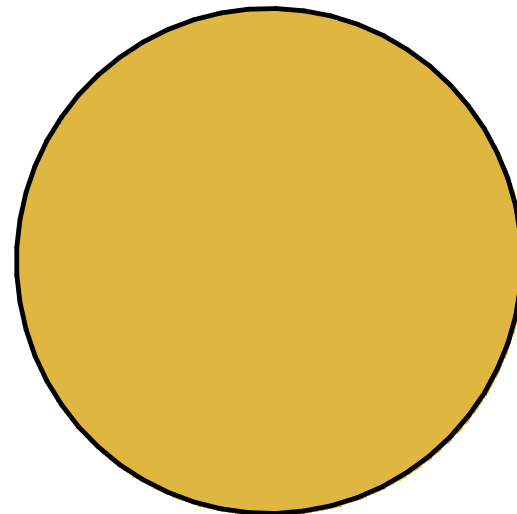
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ALUMINIUM PANELS
ALUTECH
SICO COLOR NIGHT
OWL 6183-63



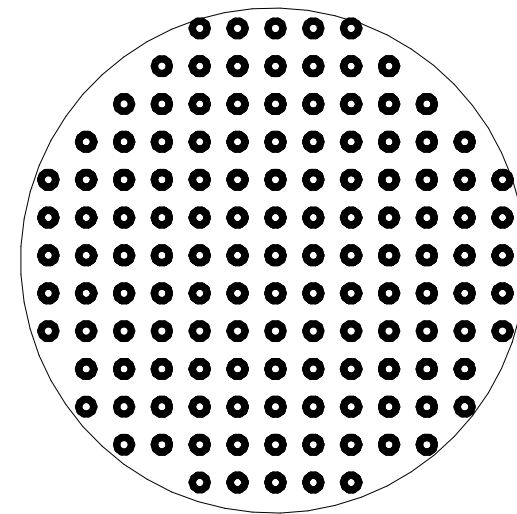
6

ALUMINIUM PANELS
ALUTECH
SICO COLOR BLACK
PEPPER 6182-83



7

ALUMINIUM PANELS
ALUTECH
SICO COLOR GREEN
TOMATO RELISH 6097-64



8

DOT SAFETY WINDOW FILM
DOTS WITH MAXIMUM
SPACING OF 50 MM BY 50
MM, MINIMUM OF 4 MM
DIAMETER. TO BE APPLY ON
THE GLASS BALCONIES FOR
THE FIRST 4 FLOORS.

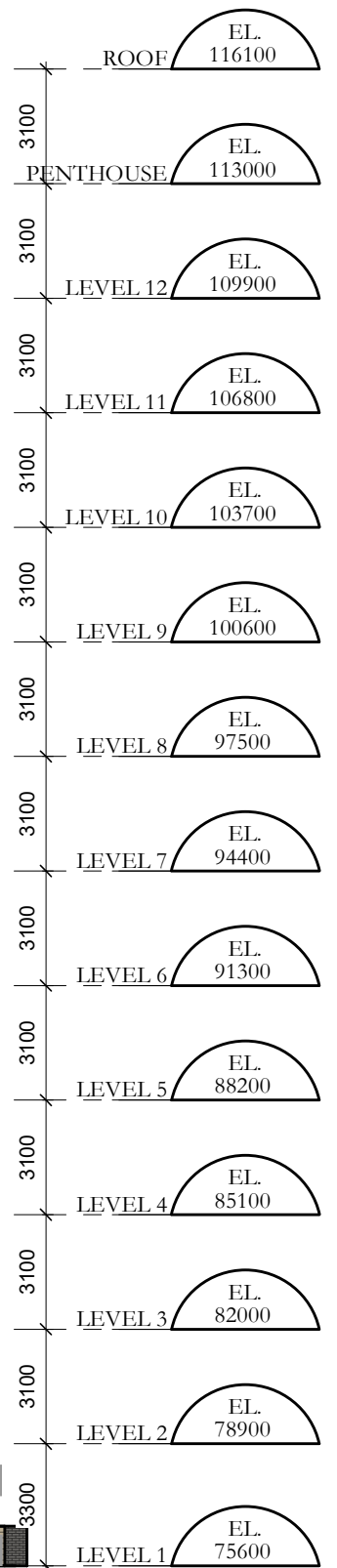
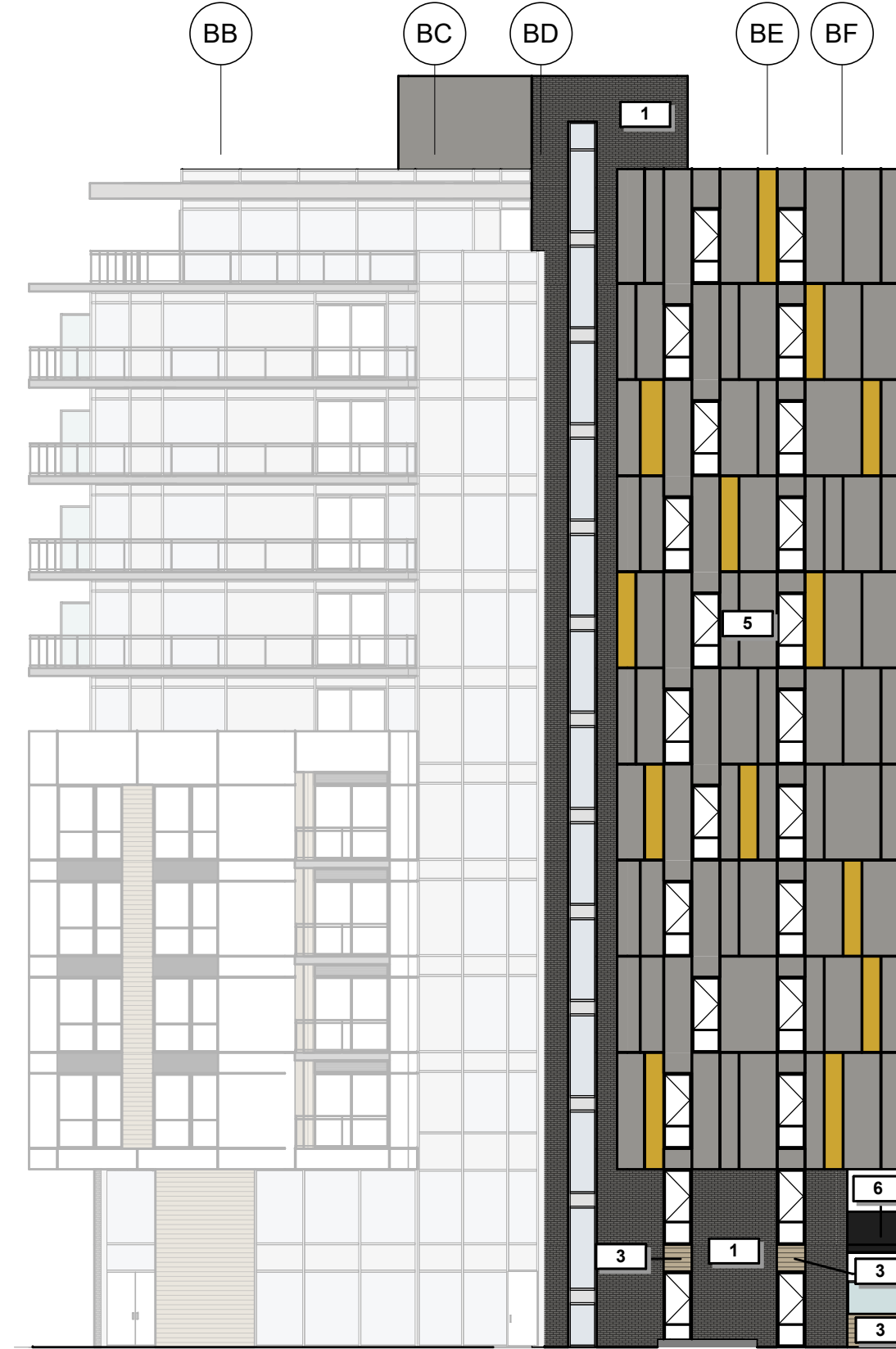
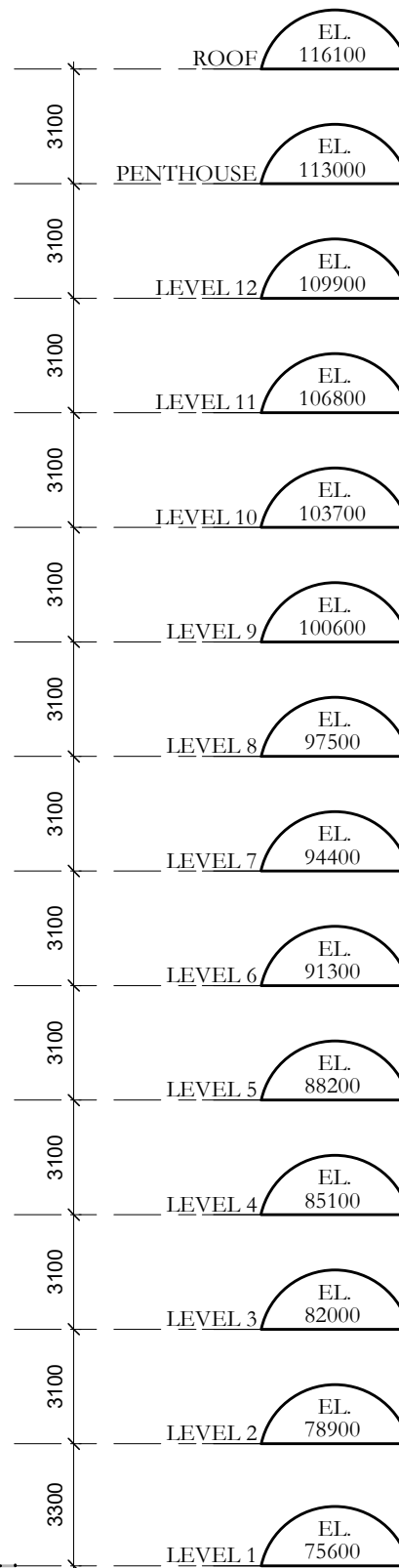
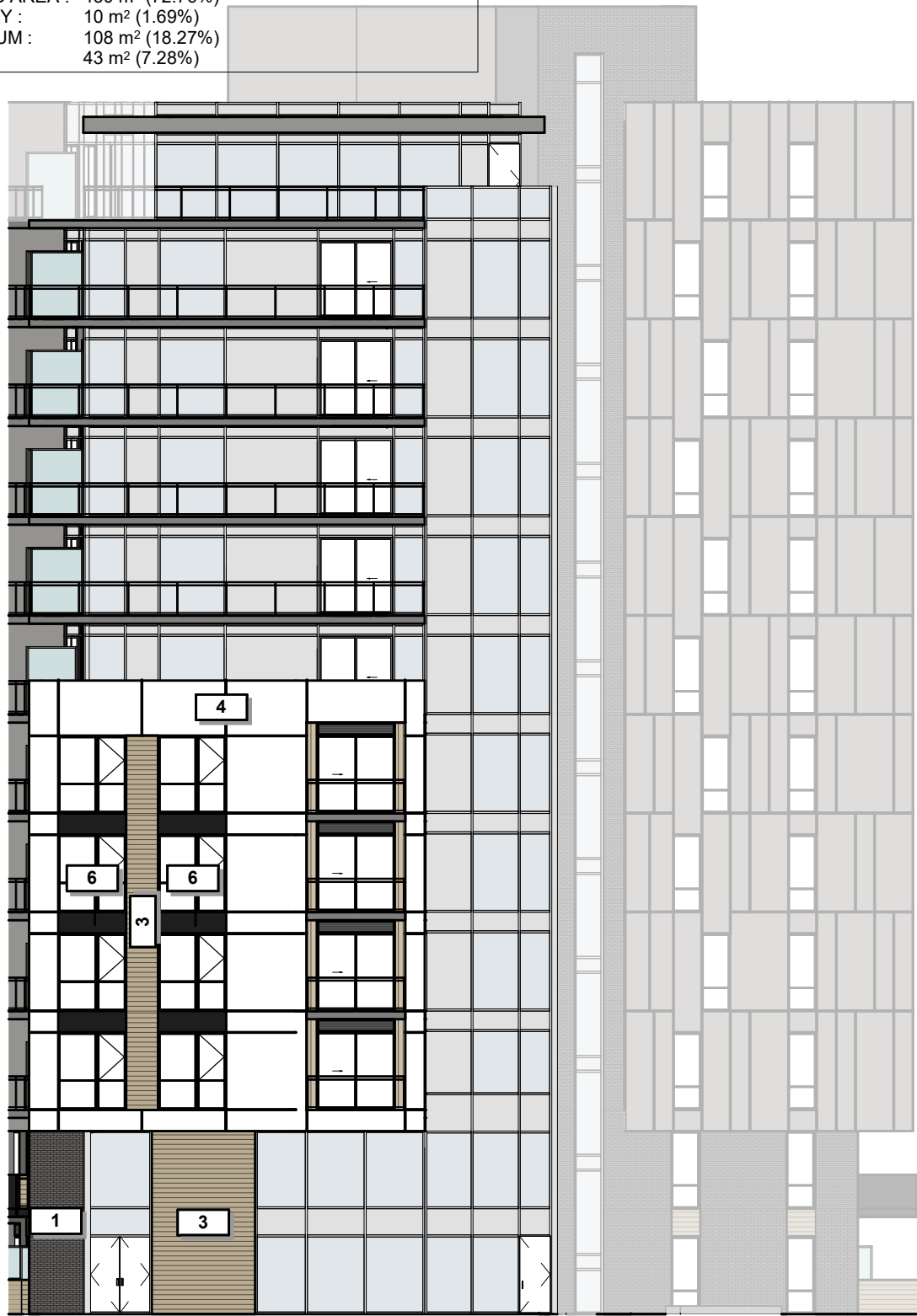
NOTE : COLORS SHOWN MAY VARY DUE TO SCREEN RESOLUTION. PLEASE SEE ACTUAL PRODUCTS SAMPLE FOR TRUE COLOR.

EXTERIOR MATERIALS

GROUP HEAFEY

365 Forest Street, Ottawa, ON K2B 7Z7

STATISTICS OF THE % MATERIALS
 BUILDING AREA : 591 m²
 OPENING AREA : 430 m² (72.76%)
 MASONRY : 10 m² (1.69%)
 ALUMINIUM : 108 m² (18.27%)
 OTHER : 43 m² (7.28%)



TOWER B - FRONT ELEVATIONS (FOREST STREET)

STATISTICS OF THE % MATERIALS
 BUILDING AREA : 460 m²
 OPENING AREA : 90 m² (19.57%)
 MASONRY : 103 m² (22.39%)
 ALUMINIUM : 267 m² (58.04%)

GROUP HEAFEY



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 Conçu par : Christian Rheault

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365 Forest Street, Ottawa, ON K2B 7Z7

1 : 200

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REVISION 07	2024-01-18

STATISTICS OF THE % MATERIALS
 BUILDING AREA : 979 m²
 OPENING AREA : 198 m² (20.22%)
 MASONRY : 148 m² (15.12%)
 ALUMINIUM : 633 m² (64.66%)



TOWER B - BACK ELEVATION

GROUP HEAFEY

365 Forest Street, Ottawa, ON K2B 7Z7

1 : 200

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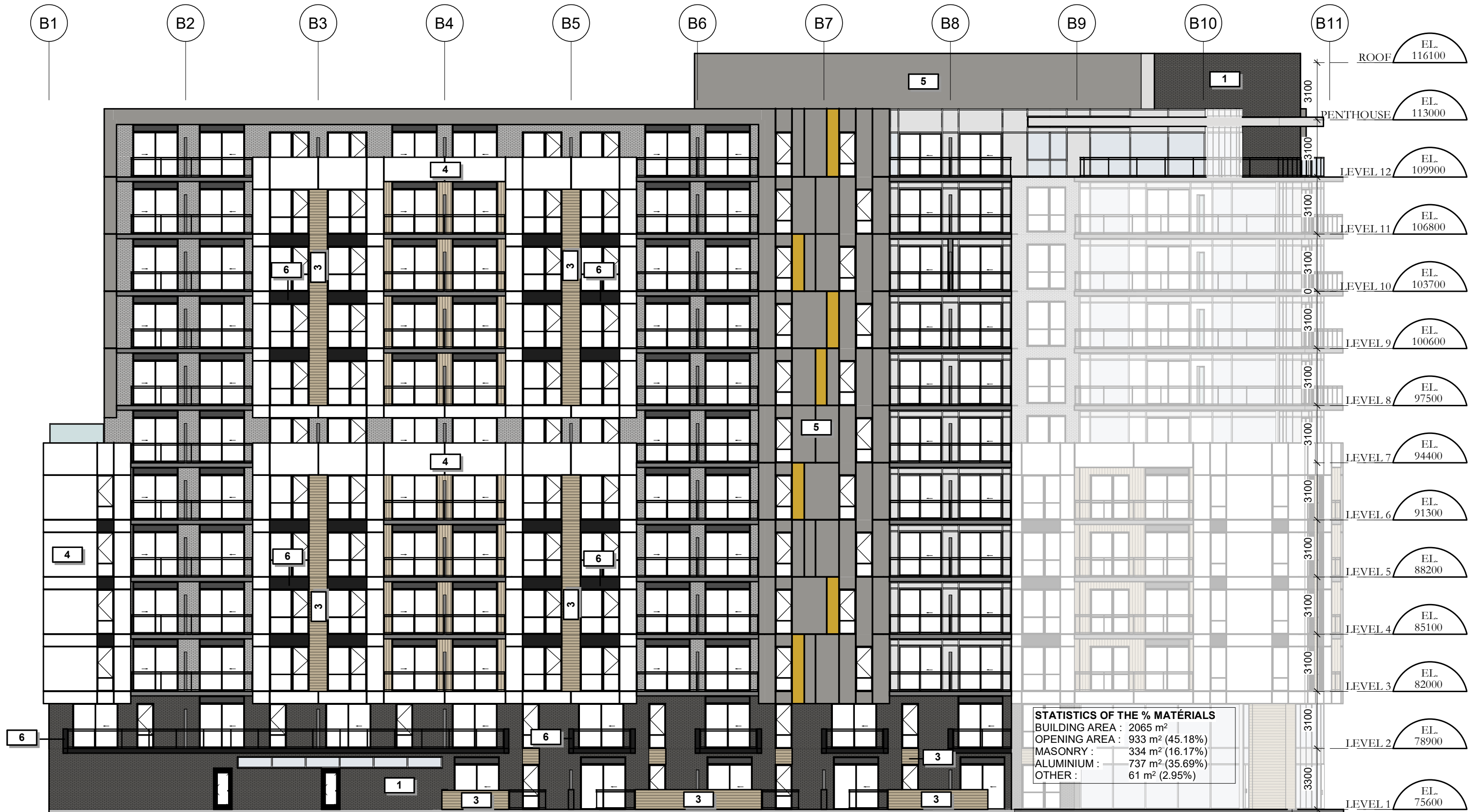
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 Conçu par : Christian Rheault

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TOWER B - LEFT SIDE ELEVATION

GROUP HEAFEY



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1 : 200

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REVISION 07	2024-01-18

STATISTICS OF THE % MATÉRIALS
 BUILDING AREA : 532 m²
 OPENING AREA : 314 m² (59.02%)
 MASONRY : 38 m² (7.14%)
 ALUMINIUM : 160 m² (30.08%)
 OTHER : 20 m² (3.76%)



TOWER B - LEFT SIDE ELEVATION

GROUP HEAFEY



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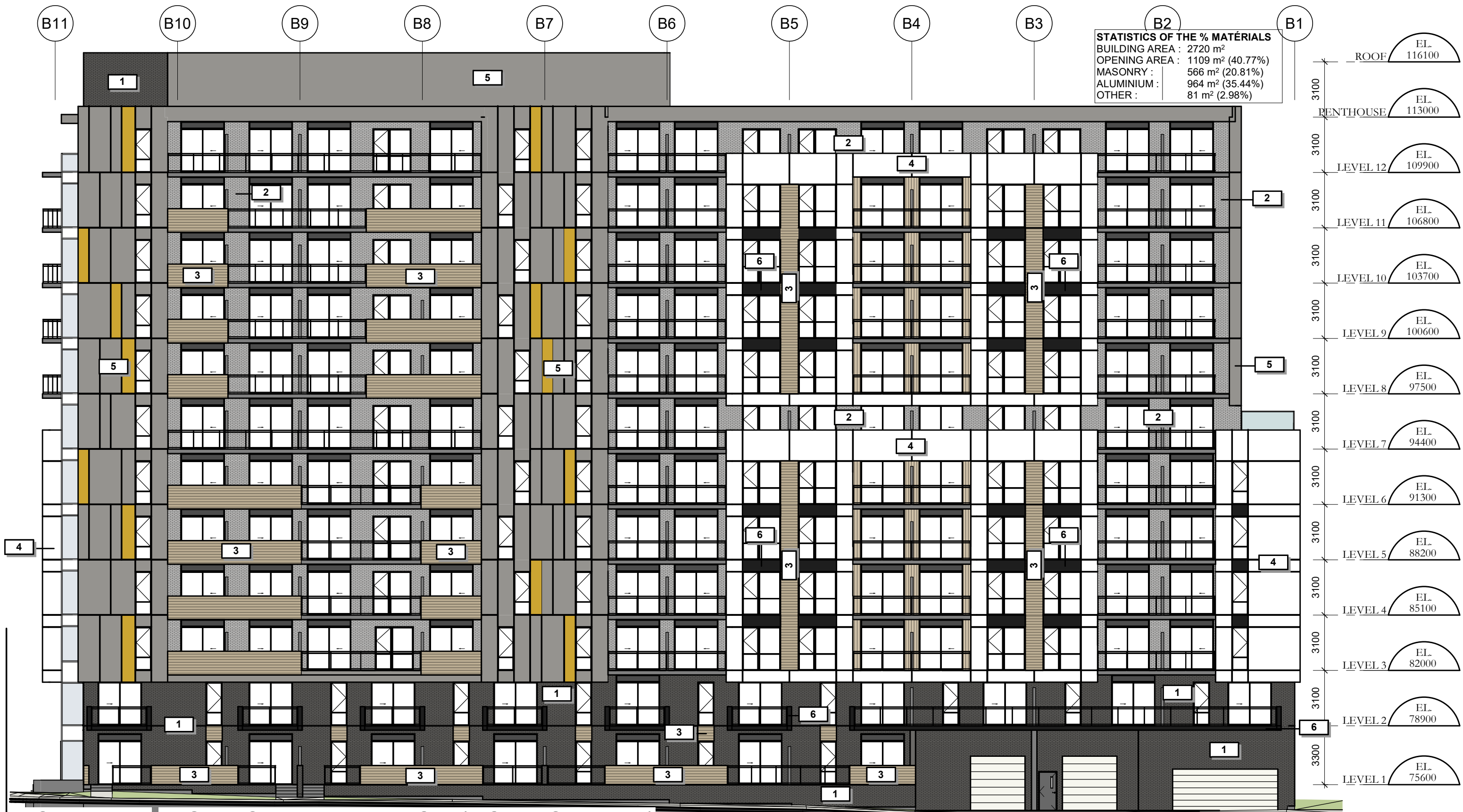


365 Forest Street, Ottawa, ON K2B 7Z7

1 : 200

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REVISION 07	2024-01-18



TOWER B - RIGHT SIDE ELEVATION (BOND STREET)

GROUP HEAFEY

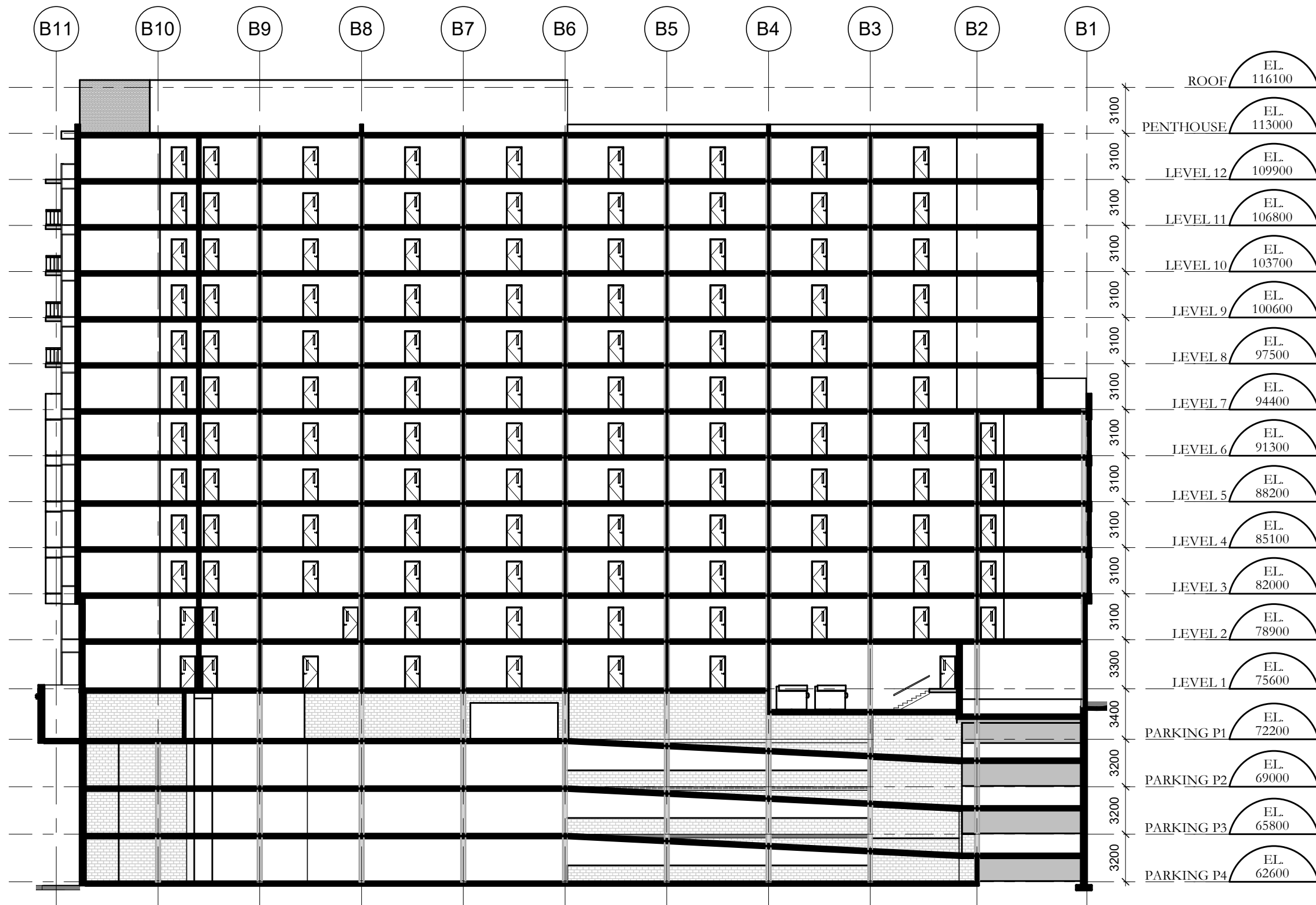


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 Conçu par : Christian Rheault
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TOWER B - SECTION

GROUP HEAFEY



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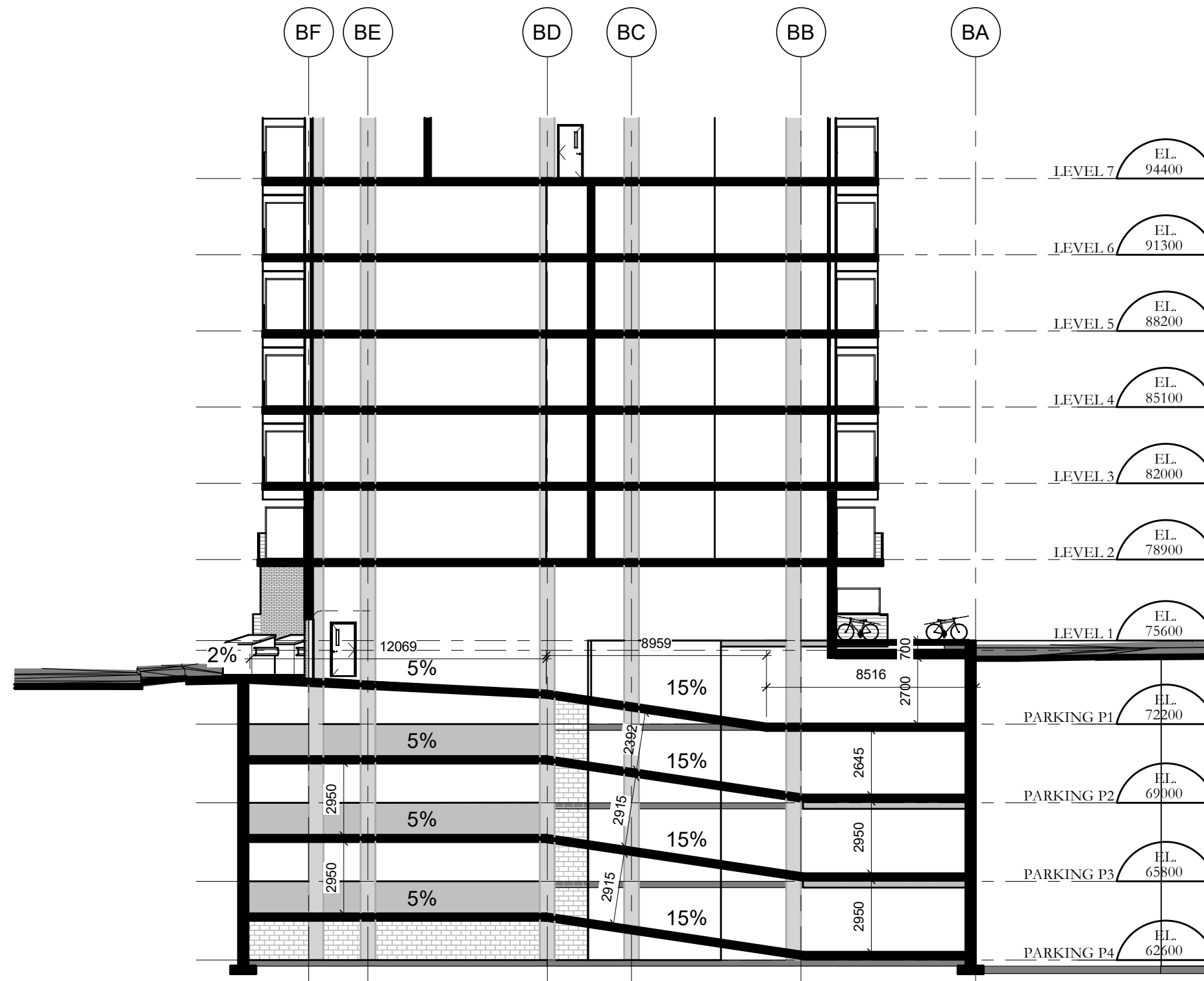


365 Forest Street, Ottawa, ON K2B 7Z7

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TOWER B - RAMP SECTION

GROUP HEAFEY



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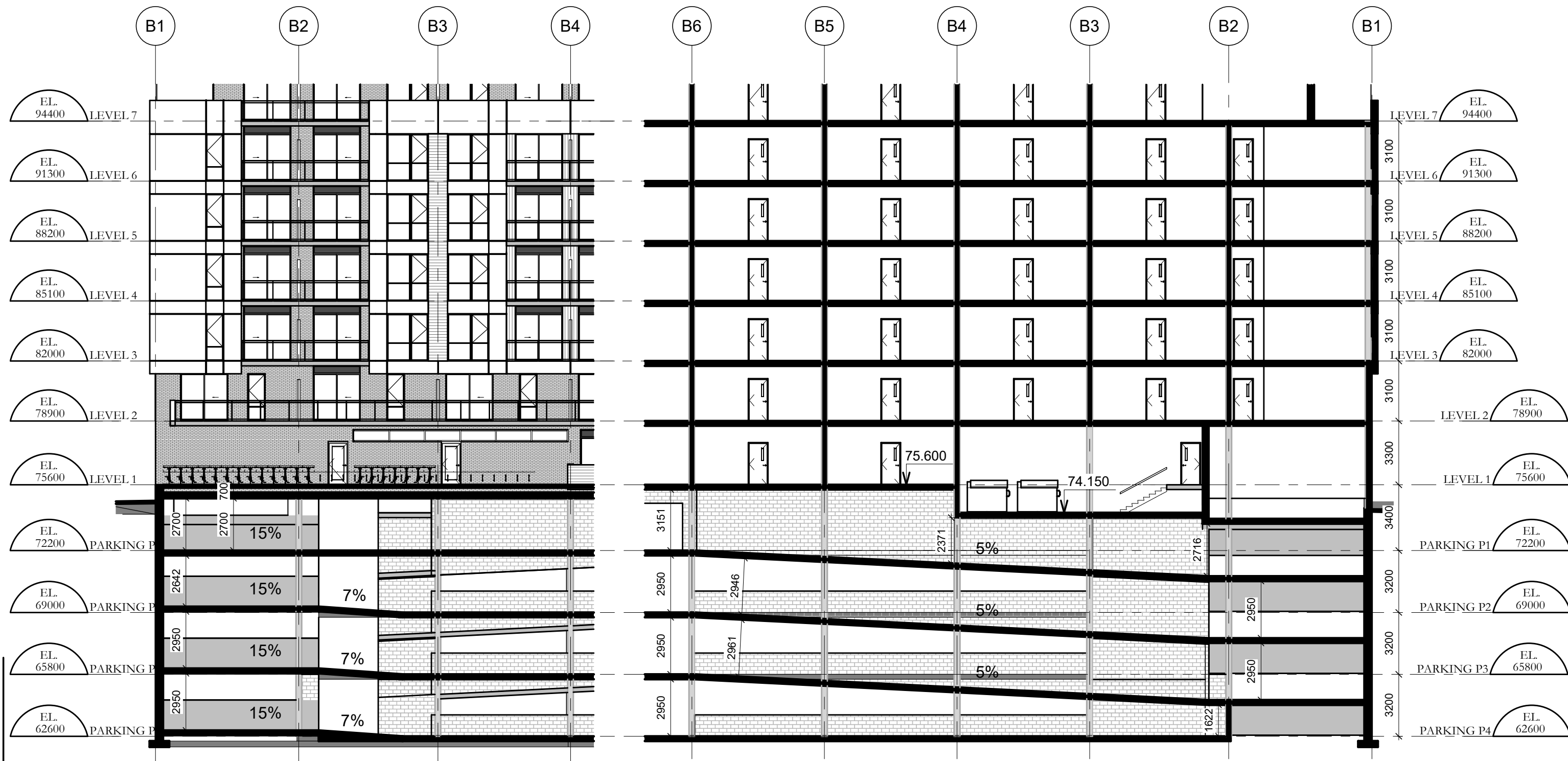


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TOWER B - RAMP SECTIONS

GROUP HEAFEY



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SHADOWS STUDY

GROUP HEAFEY

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa

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TOWER A & B - AERIAL VIEW FROM FOREST STREET

GROUP HEAFEY

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa

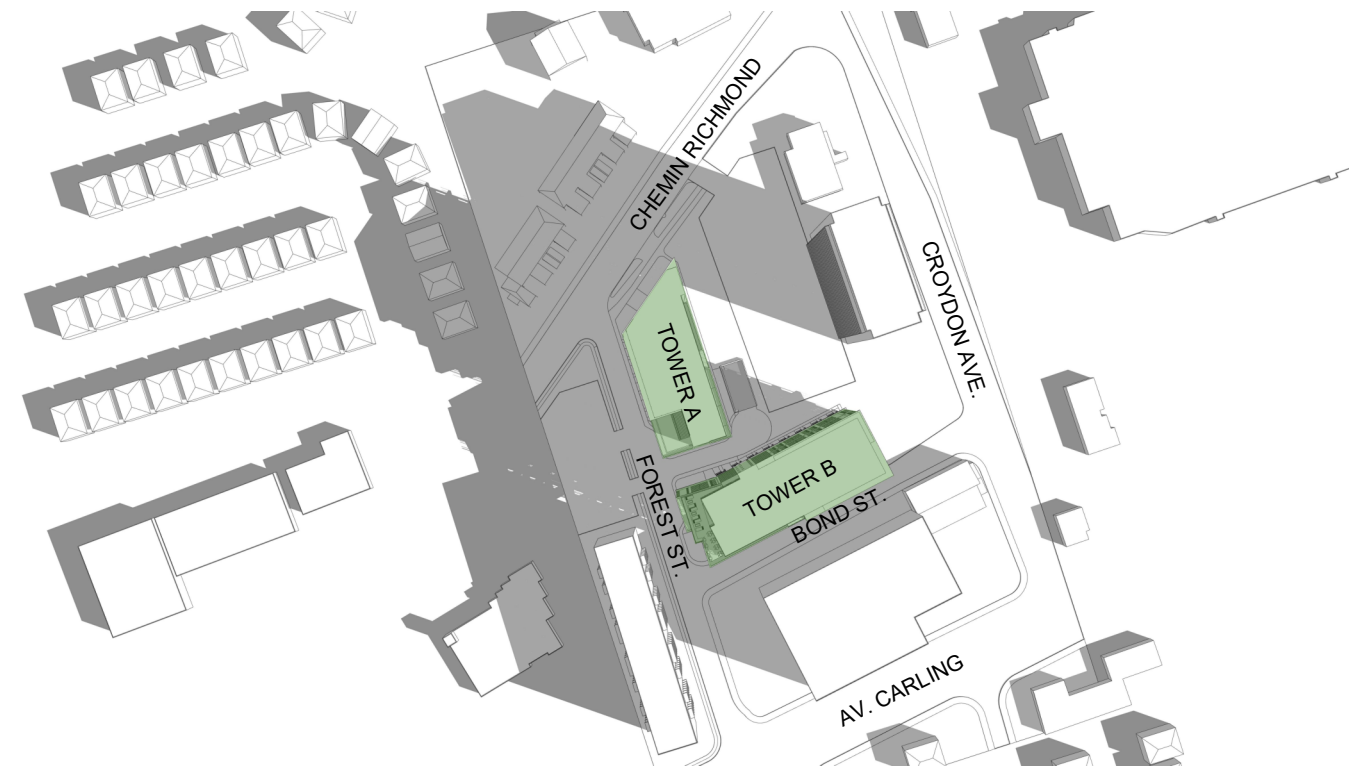


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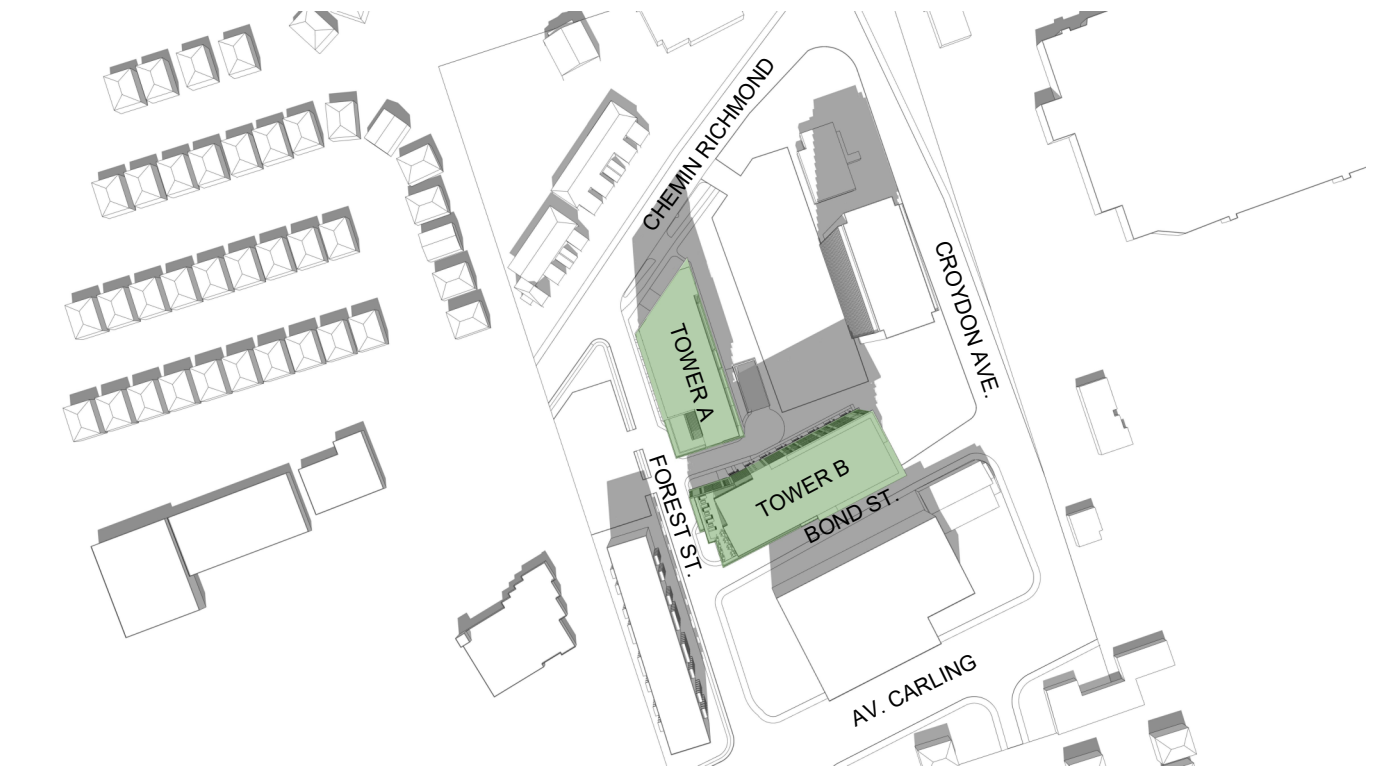
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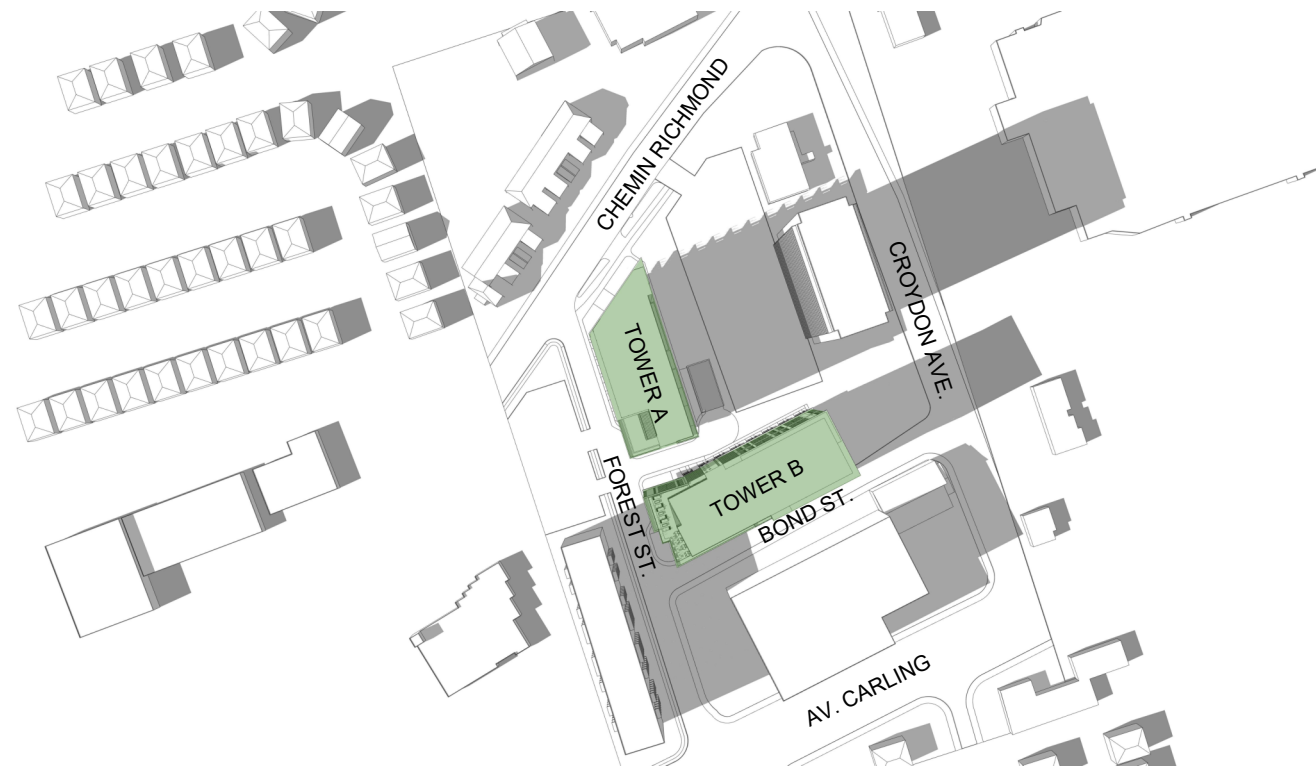
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MARCH 21 AT 8H00



MARCH 21 AT 12H00



MARCH 21 AT 16H00

SHADOWING STUDY

GROUP HEAFEY

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa

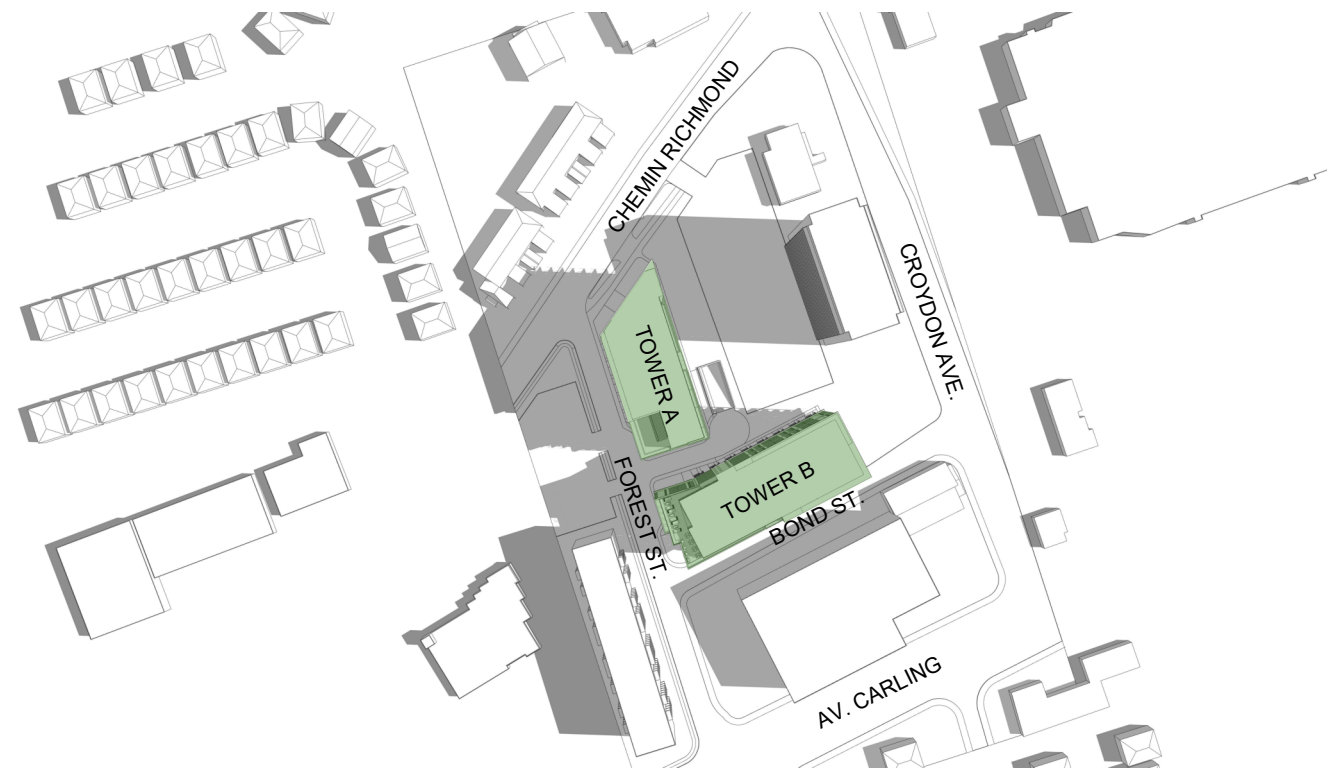


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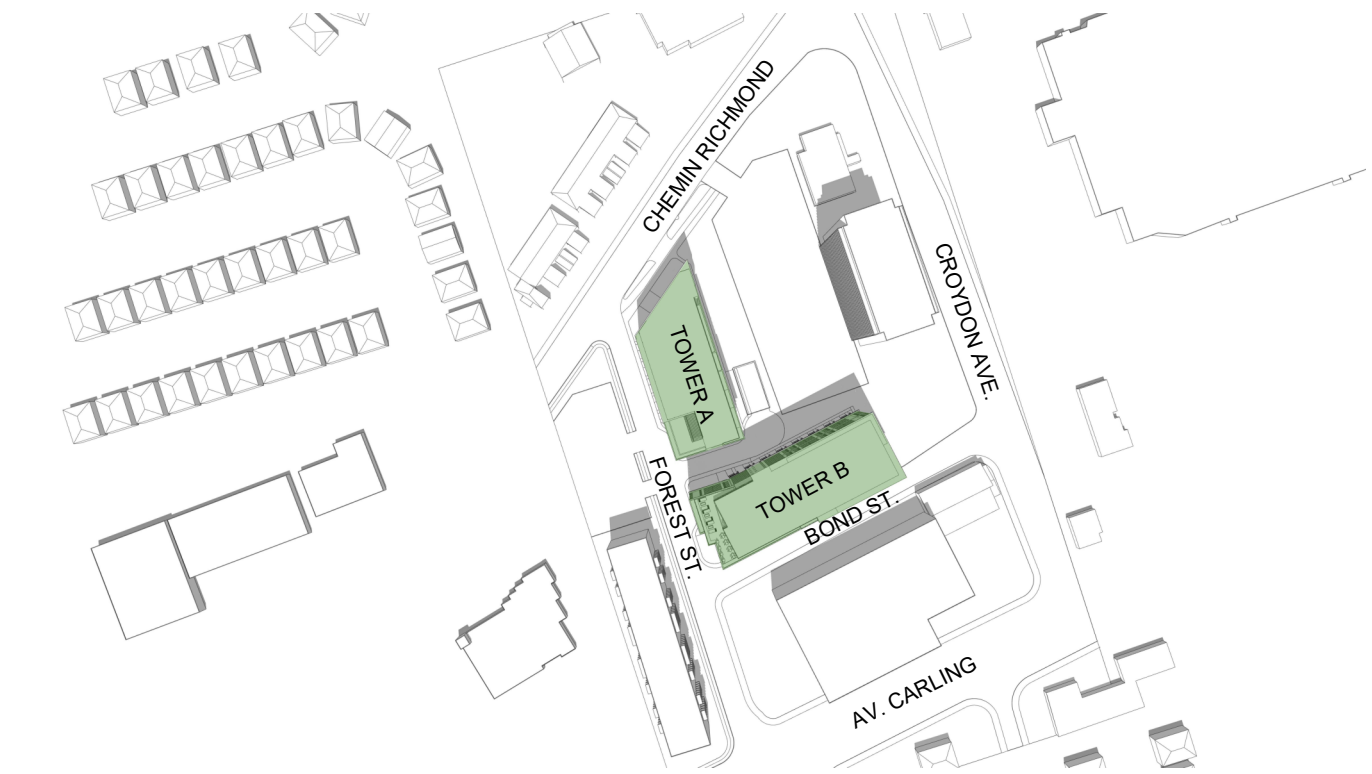
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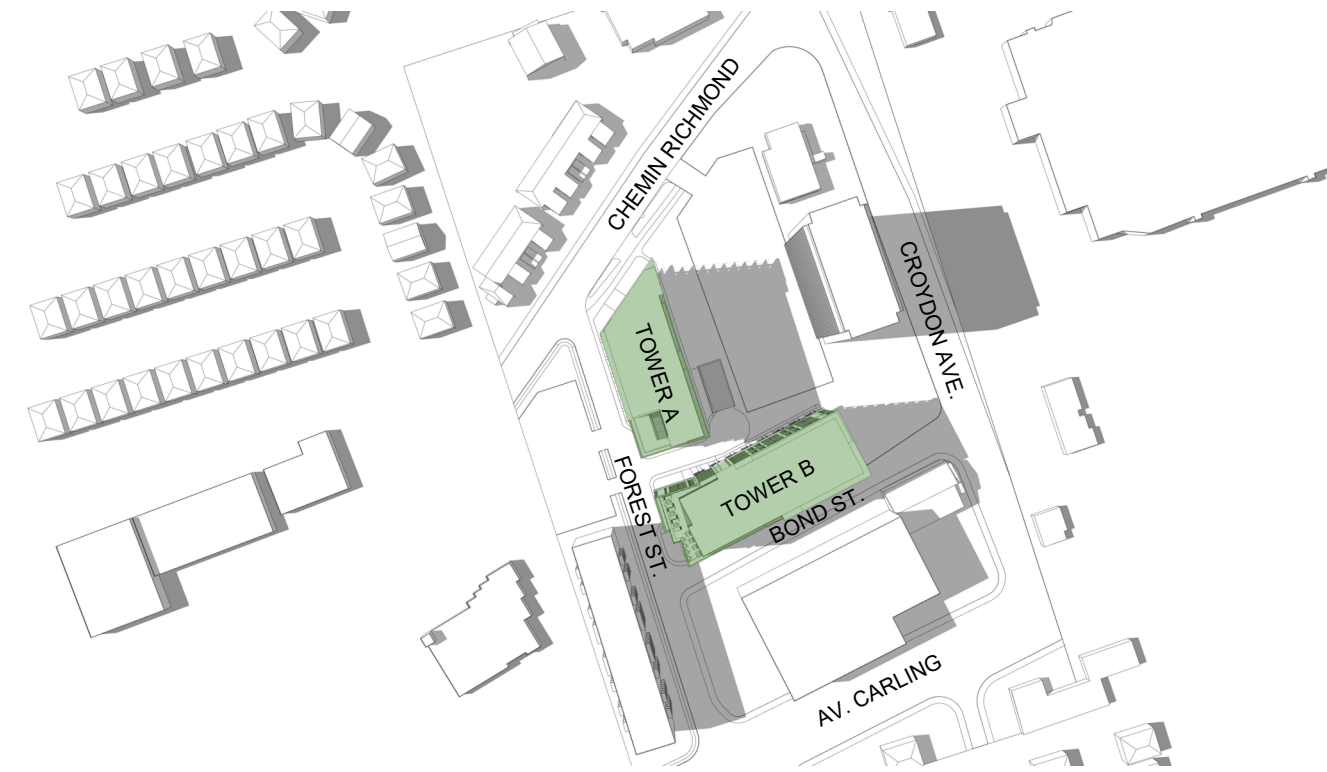
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JUNE 21 AT 8H00



JUNE 21 AT 12H00



JUNE 21 AT 16H00

GROUP HEAFEY

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa

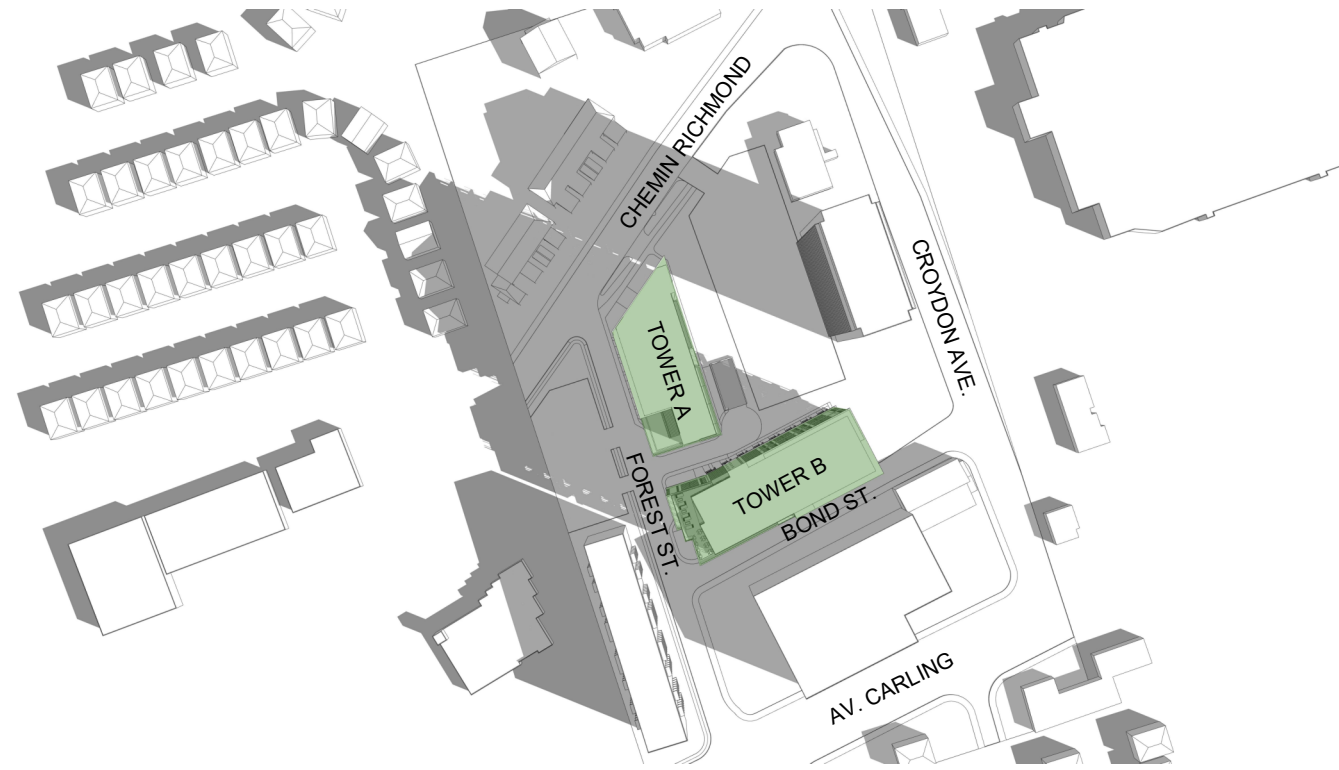


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 Conçu par : Christian Rheault

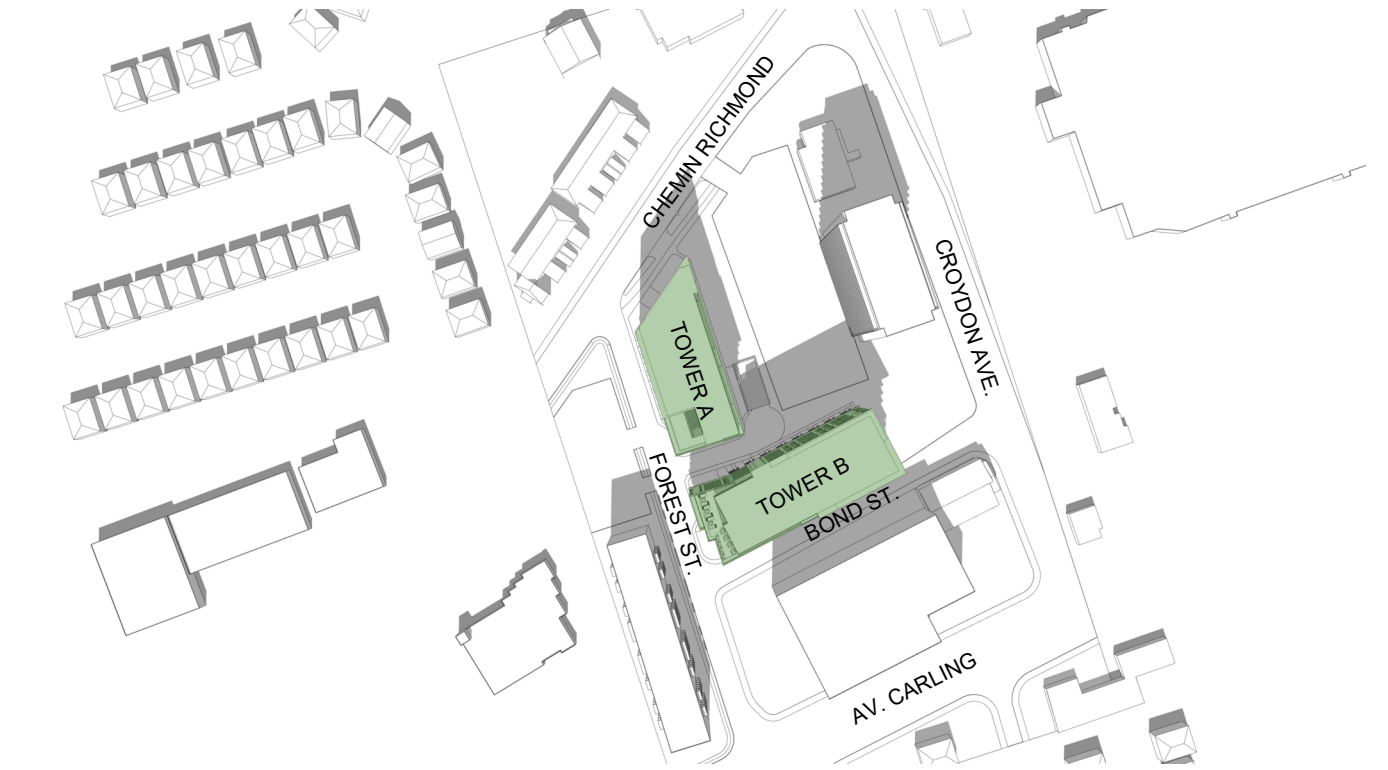
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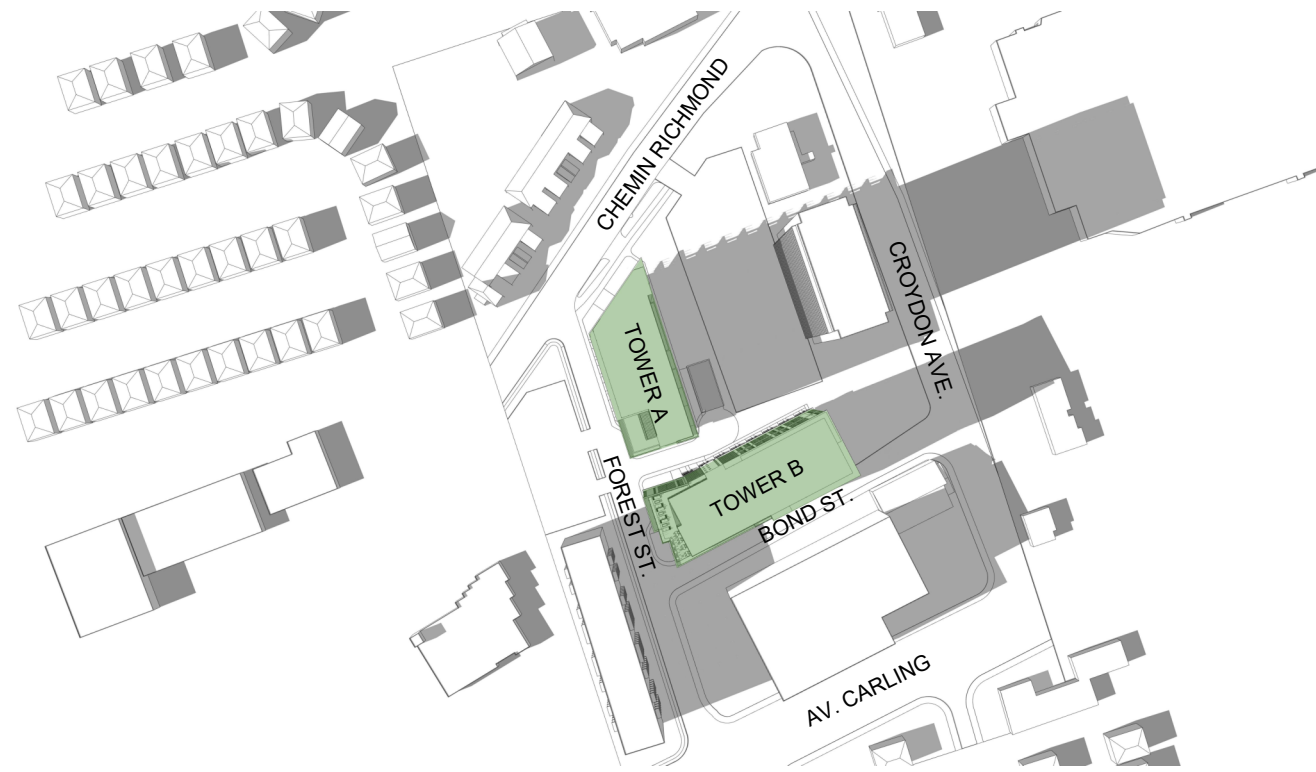
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SEPTEMBER 21 AT 8H00



SEPTEMBER 21 AT 12H00



SEPTEMBER 21 AT 16H00

SHADOWING STUDY

GROUP HEAFEY

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa

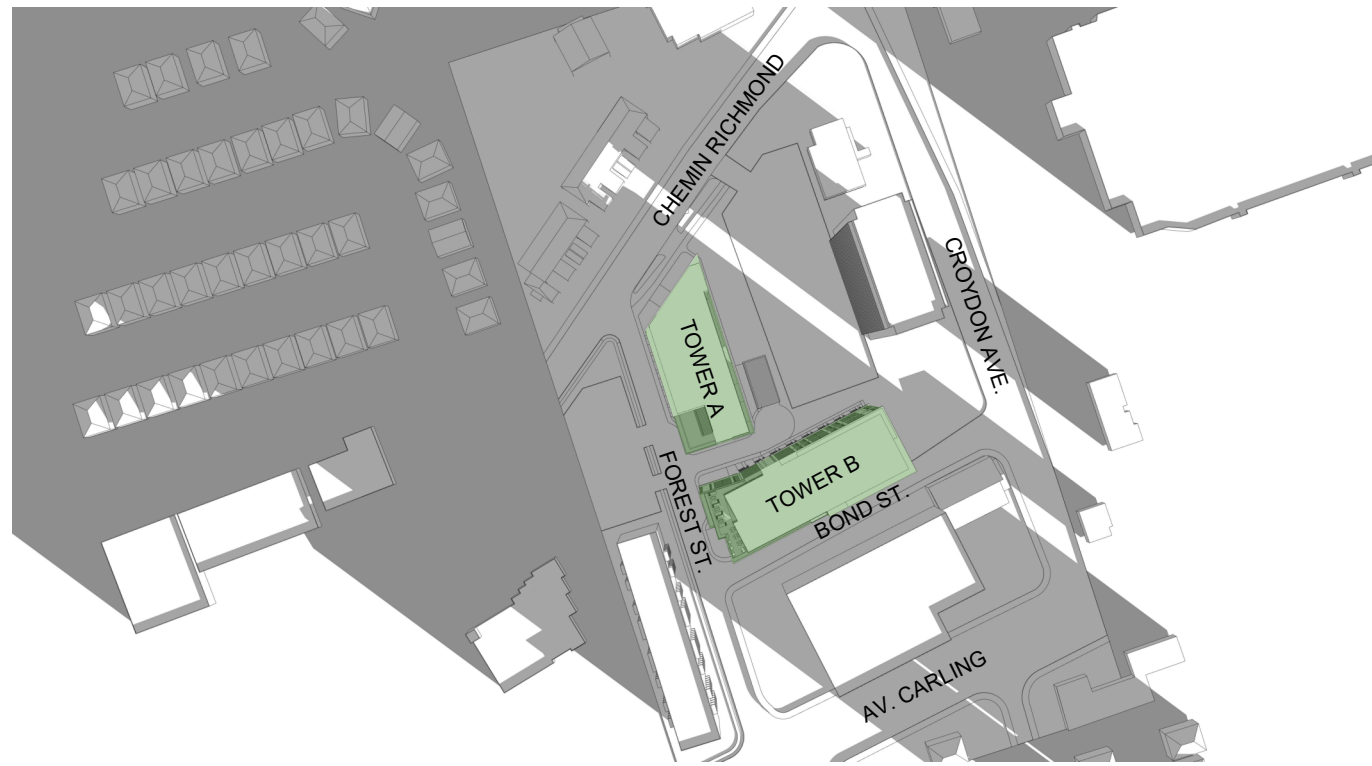


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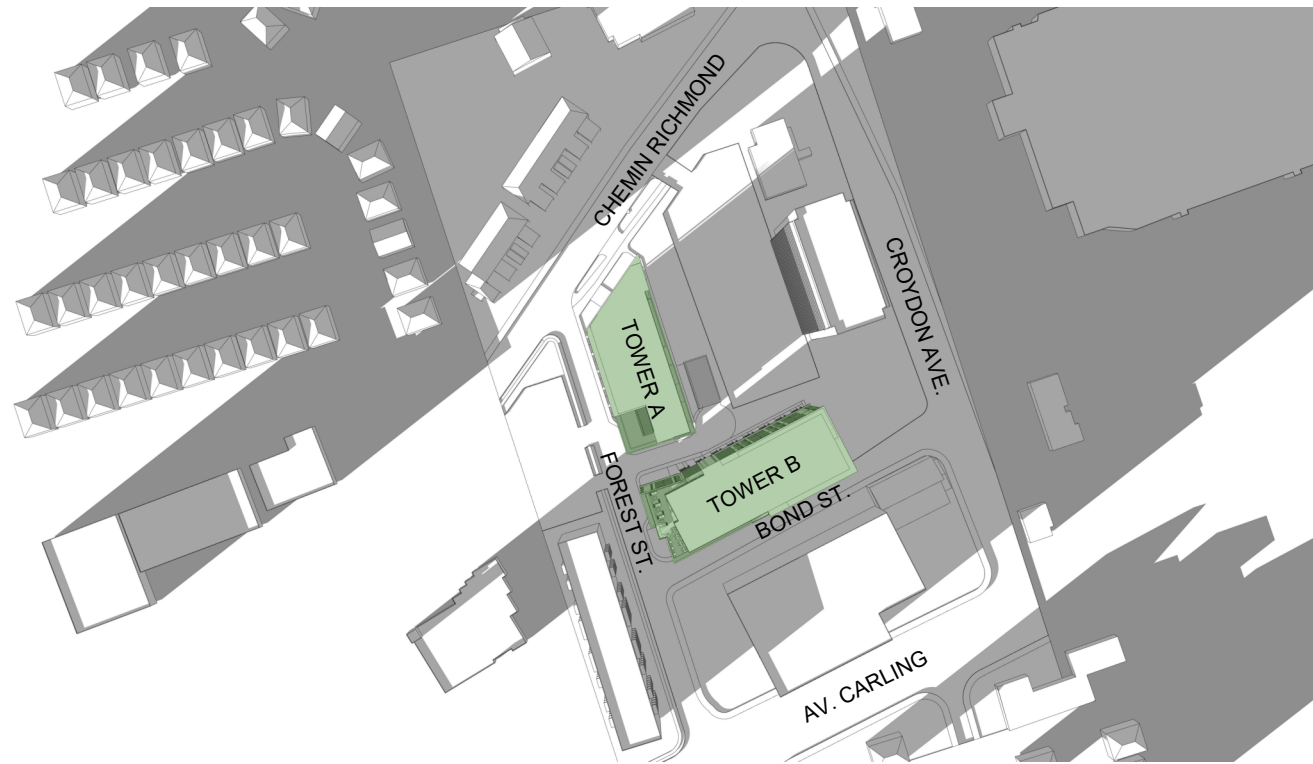
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REVISION 07	2024-01-18	



DECEMBER 21 AT 8H00



DECEMBER 21 AT 12H00



DECEMBER 21 AT 15H00

SHADOWING STUDY

GROUP HEAFEY



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 Conçu par : Christian Rheault

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PROJECT RENDERINGS

GROUP HEAFEY

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Conçu par : Christian Rheault

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TOWER A - RICHMOND ROAD ELEVATION

GROUP HEAFEY

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa



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 Conçu par : Christian Rheault

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TOWER A & B - VIEW FROM RICHMOND ROAD

GROUP HEAFEY

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa



Dessiné par : Tanya Nadeau
 Conçu par : Christian Rheault

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TOWER A & B - EAST SIDE VIEW

GROUP HEAFEY

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TOWER B - VIEW FROM BOND STREET (PARKING ENTRANCE)

GROUP HEAFEY

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa



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TOWER B - VIEW FROM FOREST AND BOND STREET

GROUP HEAFEY

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TOWER A & B - LOBBY ENTRANCE FROM FOREST STREET

GROUP HEAFEY

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TOWER A - VIEW FROM FOREST STREET LOBBY ENTRANCE



TOWER A - VIEW FROM FOREST STREET



TOWER B - VIEW FROM DROP OFF ZONE

GROUP HEAFEY

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TOWER A - VIEW FROM RICHMOND MAIN ENTRANCE

GROUP HEAFEY

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TOWER A - VIEW OF THE COVERED EXTERIOR SPACE



TOWER A & B - VIEW OF THE GARDEN

GROUP HEAFEY

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TOWER A & B - VIEW FROM RICHMOND ROAD AND FOREST STREET (NIGHT)

GROUP HEAFEY

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa



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GROUP HEAFEY

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TOWER A - VIEW FROM RICHMOND MAIN ENTRANCE (NIGHT)

GROUP HEAFEY

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa



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TOWER A & B - VIEW OF THE GARDEN (NIGHT)

GROUP HEAFEY

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TOWER A - COMMERCIAL VIEW FROM RICHMOND ROAD (NIGHT)

GROUP HEAFEY

365 Forest Street, 1420 Richmon Road and 2583-2589 Bond Street, Ottawa



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