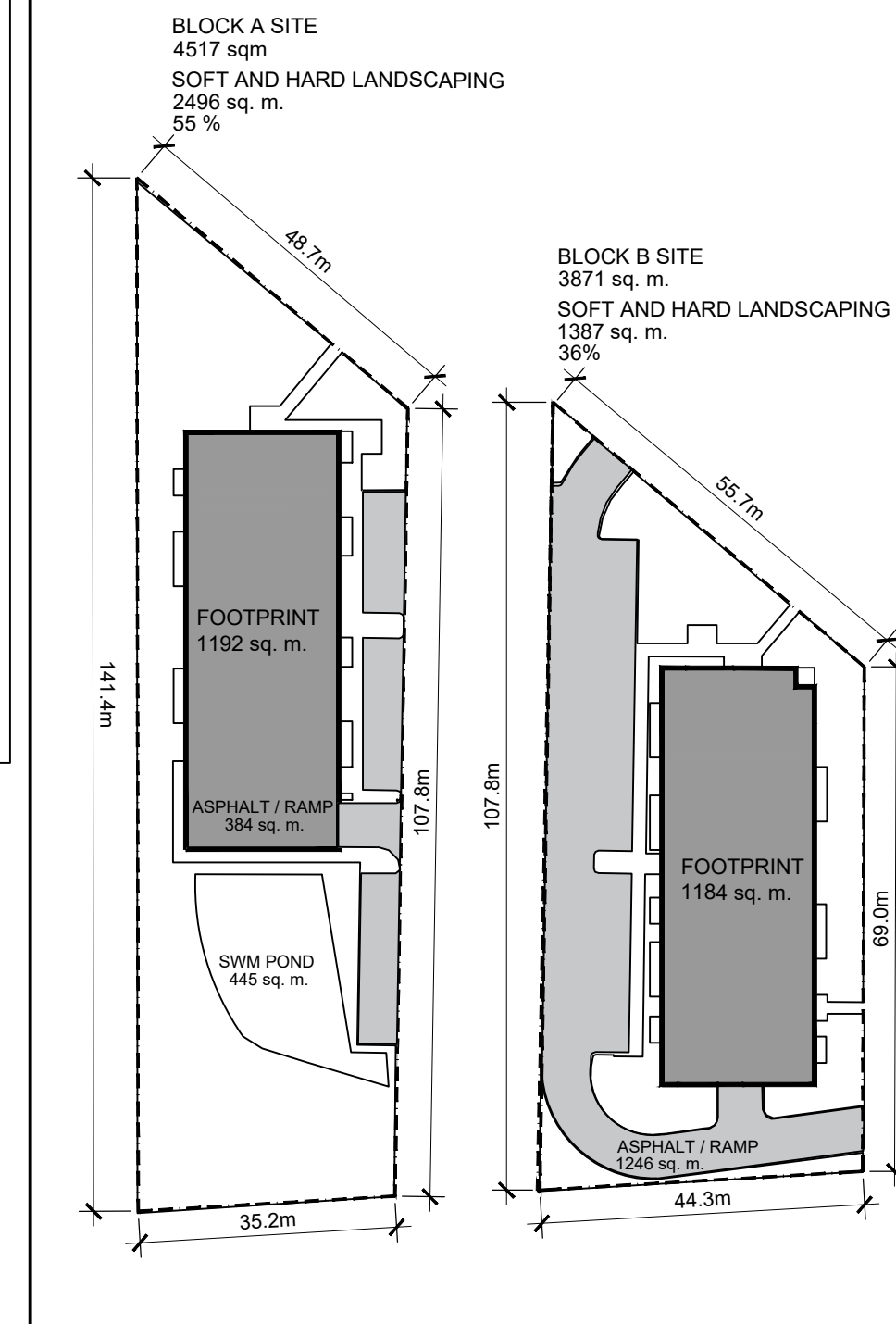


BLOCK A			BLOCK B		
UNIT TYPE	TOTAL		UNIT TYPE	TOTAL	
1B	23		1B	23	
2B	17		2B	18	
40			41		



BLOCK A SITE STATISTICS		BLOCK B SITE STATISTICS	
ZONING	R5A H(22)	ZONING	R5A H(22)
MIN. LOT WIDTH	REQUIRED: 18 M PROVIDED: 27.9 M	MIN. LOT WIDTH	REQUIRED: 18 M PROVIDED: 31.1 M
MIN. LOT AREA	REQUIRED: 540 SQ.M PROVIDED: 4517 SQ.M	MIN. LOT AREA	REQUIRED: 540 SQ.M PROVIDED: 3871 SQ.M
SETBACK REQUIREMENTS			
FRONT YARD SETBACK	REQUIRED: 6.0 M PROVIDED: 8.5 M	FRONT YARD SETBACK	REQUIRED: 6.0 M PROVIDED: 6.2 M
INTERIOR SIDE SETBACK (ABUTTING R3Y ZONE)	REQUIRED: 3.0 M PROVIDED: 6.7 M	INTERIOR SIDE SETBACK (ABUTTING R5A ZONE)	REQUIRED: 3.0 M PROVIDED: 15.6 M
REAR YARD SETBACK	REQUIRED: 6.0 M PROVIDED: 48.6 M	CORNER SIDE YARD SETBACK	REQUIRED: 4.5 M PROVIDED: 6.8 M
HEIGHT LIMITATIONS:			
	REQUIRED: 22.0 M PROVIDED: 11.92 M		REQUIRED: 22.0 M PROVIDED: 11.84 M
BUILDING FOOTPRINT:	1192 sq. m.	BUILDING FOOTPRINT:	1184 sq. m.
BUILDING GFA:	3576 sq. m.	BUILDING GFA:	3552 sq. m.
LANDSCAPE:	2469 sq. m. (55%)	LANDSCAPE:	1387 sq. m. (36%)
RESIDENTIAL UNIT COUNT:	40 UNITS	RESIDENTIAL UNIT COUNT:	41 UNITS
ASPHALT AREA AND RAMPS:	384 sq. m.	ASPHALT AREA AND RAMPS:	1246 sq. m.
REQUIRED: 6 sq.m x 40 units = 240 sq.m		REQUIRED: 6 sq.m x 41 units = 246 sq.m	
PROVIDED: 1459.2 sq.m		PROVIDED: 432.2 sq.m	
COMMUNAL AMENITY AREA			
REQUIRED: 50% total amenity = 120 sq.m		REQUIRED: 50% total amenity = 123 sq.m	
PROVIDED: 1146.9 sq.m		PROVIDED: 169.5 sq.m	
TOTAL BUILDING AMENITY:	312.3 sq. m.	TOTAL BUILDING AMENITY:	248.1 sq. m.
TOTAL COMMUNAL AMENITY:	1146.9 sq. m.	TOTAL COMMUNAL AMENITY:	169.5 sq. m.
TOTAL AMENITY:	1459.2 sq. m.	TOTAL AMENITY:	417.6 sq. m.
PARKING STATISTICS			
REQUIRED RESIDENT: 1.2 PER UNIT (48 TOTAL)		REQUIRED: 1.2 PER UNIT (49 TOTAL) + 0.2 VISITOR PER UNIT (8 TOTAL)	
REQUIRED VISITOR: 0.2 PER UNIT (8 TOTAL)		40 UNITS X 1.4 = 56 PARKING SPACES	
40 UNITS X 1.4 = 56 PARKING SPACES		41 UNITS X 1.4 = 57 PARKING SPACES	
PROVIDED RESIDENT: 1.1 PER UNIT (44 SPACES) (MV)		PROVIDED RESIDENT: 1.1 PER UNIT (45 SPACES) (MV)	
PROVIDED VISITOR: 0.2 PER UNIT (8 SPACES)		PROVIDED VISITOR: 0.2 PER UNIT (8 SPACES)	
40 UNITS X 1.3 = 52 PARKING SPACES		41 UNITS X 1.3 = 53 PARKING SPACES	
(2 HANDICAP PARKING SPACES INCLUDED)		(2 HANDICAP PARKING SPACES INCLUDED)	
UNDERGROUND: 30 SPACES		UNDERGROUND: 28 SPACES	
SURFACE: 22 SPACES		SURFACE: 25 SPACES	
TOTAL: 52 SPACES		TOTAL: 53 SPACES	
BICYCLE PARKING			
REQUIRED: 0.5 SPACES PER UNIT; 0.5 x 40 UNITS = 20 SPACES		REQUIRED: 0.5 SPACES PER UNIT; 0.5 x 40 UNITS = 20 SPACES	
PROVIDED: INTERIOR: 14 SPACES EXTERIOR: 6 SPACES TOTAL: 20 SPACES		PROVIDED: INTERIOR: 17 SPACES EXTERIOR: 6 SPACES TOTAL: 23 SPACES	



PLAN OF SURVEY
 INFORMATION SHOWN HAS BEEN TAKEN FROM:
 Stortec Geomatics Ltd.
 403-1331 Oshawa Avenue
 Oshawa ON
 Tel: 416-722-4420
 www.stortec.com

TOPOGRAPHIC PLAN OF SURVEY

**PART OF LOT 11
 CONCESSION 3 (OTTAWA FRONT)**
 CONCESSION 3, TOWNSHIP OF COLLECHUEN
 CITY OF OTTAWA

ELEVATION NOTE
 1. ELEVATIONS ARE GEODETIC.
 2. IT IS THE RESPONSIBILITY OF THE USER OF THIS INFORMATION TO VERIFY THAT THE JOB BENCHMARK HAS NOT BEEN ALTERED OR DISTURBED AND THAT ITS RELATIVE ELEVATION AND DESCRIPTION AGREES WITH THE INFORMATION SHOWN THE ABOVE REFERENCED SURVEY.

- LEGEND:**
- — — — — PROPERTY LINE
 - — — — — PROPERTY SETBACK
 - OHW — OVERHEAD WIRES
 - — — — — EXISTING BUILDING
 - — — — — BUILDING ENTRANCE
 - H.P. HYDRO POLE
 - ⊕ F.H. FIRE HYDRANT
 - M.H. MANHOLE
 - C.B. CATCH BASIN
 - — — — — RETAINING WALL
 - ⊙ PROPOSED VEGETATION, REFER TO LANDSCAPING FOR DETAILS
 - D.C. DEPRESSED CURB
 - x 100.00 EXISTING GRADE
 - x 100.00 PROPOSED GRADE
 - ▨ PROPOSED CONCRETE
 - ▨ DESIGNATED FIRE ROUTE
 - ▨ AIR WELL

No.	REVISIONS	BY	DATE
26	FOR SPC SUBMISSION	JP	DEC. 14 2023
25	FOR COORDINATION	RK	NOV. 28 2023
24	FOR CLIENT REVIEW	RK	NOV. 22 2023
24	FOR REVIEW	AK	NOV. 20 2023
24	FOR COORDINATION	JP	NOV. 17 2023
23	FOR COORDINATION	RK	NOV. 14 2023
22	FOR CLIENT REVIEW	JP	OCT. 17 2023

P2 concepts
 CONSULTING ENGINEERS

STRUCTURAL
 MECHANICAL
 ELECTRICAL

TATHAM ENGINEERING
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 Ottawa, Ontario K1J 9L4
 613-747-3636
 info@tathameng.com

DESIGNED BY: P.E.
 DRAWN BY: R.K.
 APPROVED BY: P.R.

**2380 and 2396
 CLEROUX CRESCENT
 OTTAWA**

DRAWING TITLE
SITE PLAN

PROJECT NO.
 0403
 DATE
 NOV 28, 2023

SP-01

1 SITE PLAN
 SCALE = 1:250

2 CONTEXT PLAN
 SCALE = N.T.S.