

PLAN OF SURVEY
INFORMATION SHOWN HAS BEEN TAKEN FROM
Storonic Geomatics Ltd.
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TOPOGRAPHIC PLAN OF SURVEY

PART OF LOT 11
CONCESSION 3 (OTTAWA FRONT)
(GEOMETRIC TOWNSHIP OF GLEBEWATER)
CITY OF OTTAWA

ELEVATION NOTE
1. ELEVATIONS ARE GEODETIC.
2. IT IS THE RESPONSIBILITY OF THE USER OF THIS INFORMATION TO VERIFY THAT THE JOB BENCHMARK HAS NOT BEEN ALTERED OR DISTURBED AND THAT ITS RELATIVE ELEVATION AND DESCRIPTION AGREES WITH THE INFORMATION SHOWN IN THE ABOVE REFERENCED SURVEY.

- LEGEND:**
- P — PROPERTY LINE
 - - - - - PROPERTY SETBACK
 - OHW — OVERHEAD WIRES
 - EXISTING BUILDING
 - ▽ BUILDING ENTRANCE
 - ← S.C. SIAMSESE CONNECTION
 - W.P. WALL MOUNTED LIGHT
 - H.P. HYDRO POLE
 - ⊕ F.H. FIRE HYDRANT
 - M.H. MANHOLE
 - C.B. CATCH BASIN
 - RETAINING WALL
 - PROPOSED VEGETATION, REFER TO LANDSCAPING FOR DETAILS
 - D.C. DEPRESSED CURB
 - x 100.00 EXISTING GRADE
 - x 100.00 PROPOSED GRADE
 - ▨ PROPOSED CONCRETE
 - ▨ DESIGNATED FIRE ROUTE
 - ▨ AIR WELL

24	FOR CLIENT REVIEW	RK	NOV. 22 2023
24	FOR REVIEW	AK	NOV. 20 2023
24	FOR COORDINATION	JP	NOV. 17 2023
23	FOR COORDINATION	RK	NOV. 14 2023
22	FOR CLIENT REVIEW	JP	OCT. 17 2023
No.	REVISIONS	BY	DATE

P² concepts
CONSULTING ENGINEERS

STRUCTURAL
MECHANICAL
ELECTRICAL

TATHAM
ENGINEERING
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DESIGNED BY: P.E. DRAWN BY: R.K. APPROVED BY: P.R.

PROJECT
**2380 and 2396
CLEROUX CRESCENT
OTTAWA**

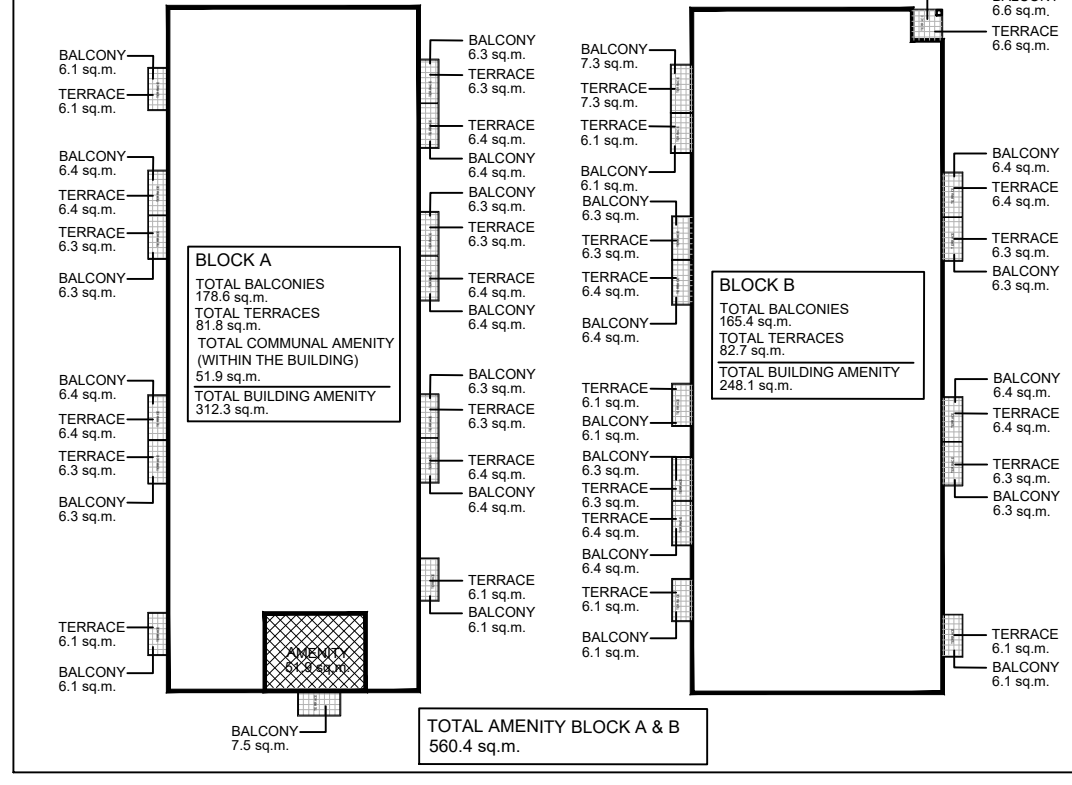
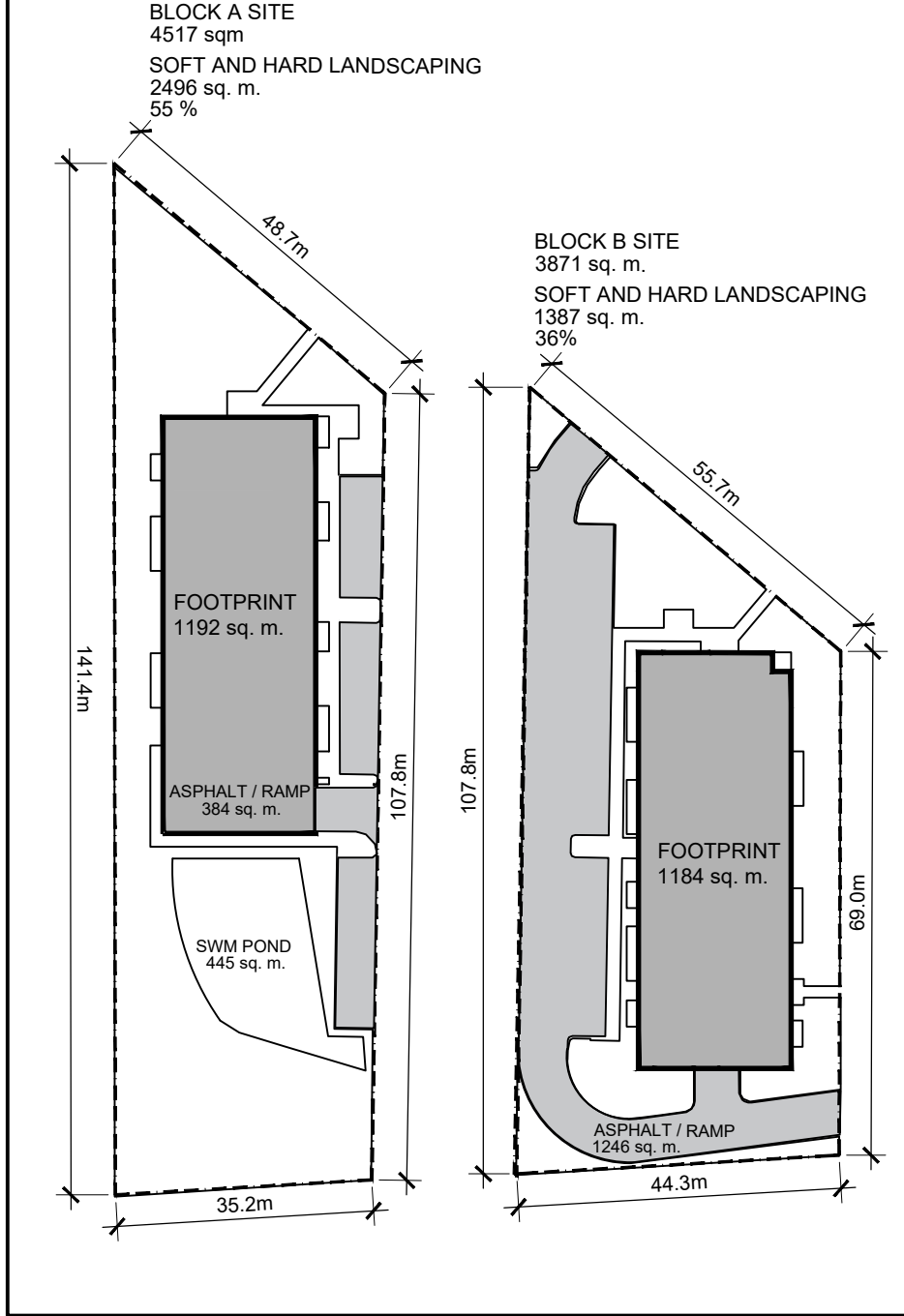
DRAWING TITLE
SITE PLAN

PROJECT NO.
0403
DATE
NOV 22, 2023

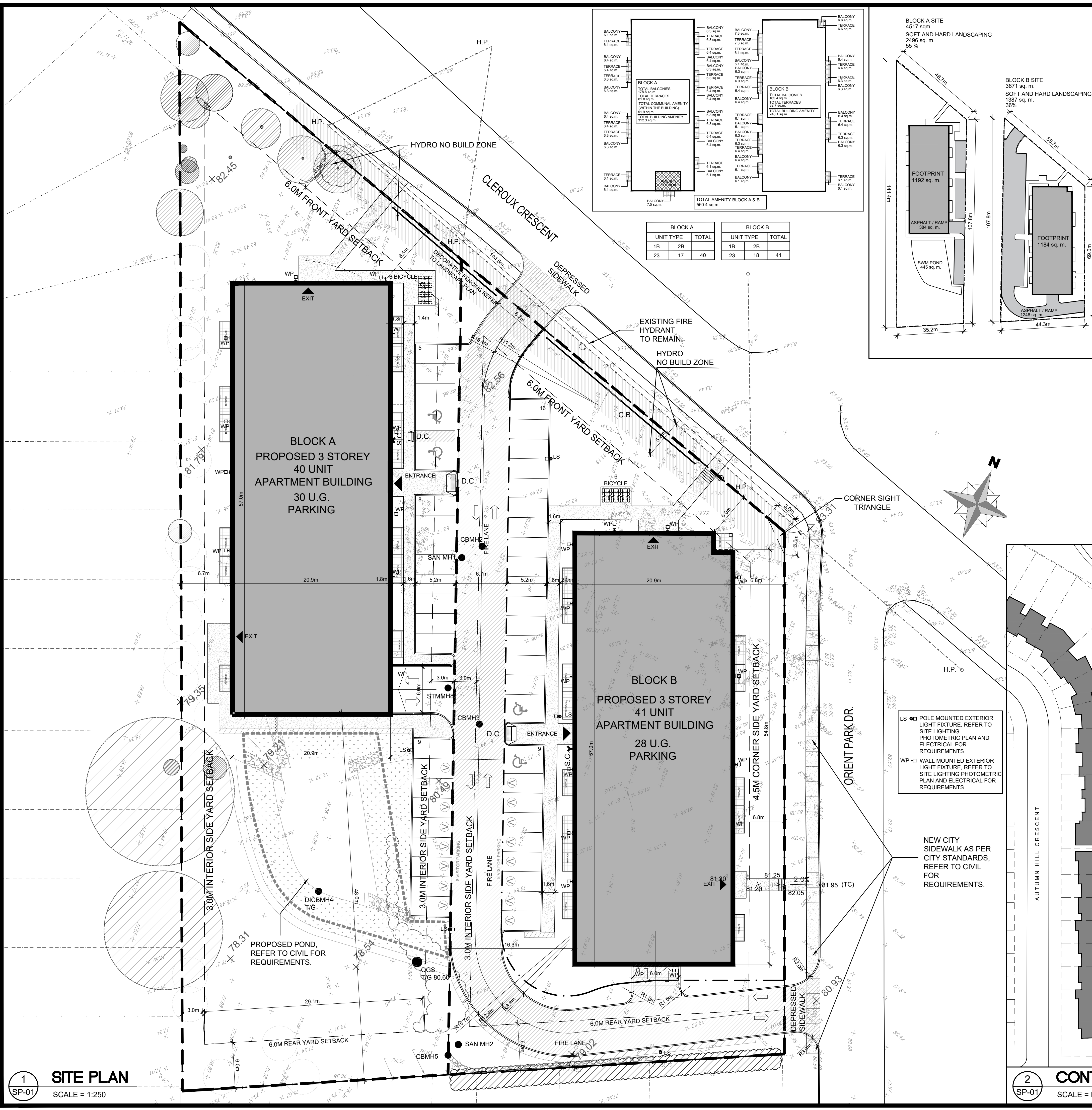
SP-01

PLAN # 18569

BLOCK A SITE STATISTICS		BLOCK B SITE STATISTICS	
ZONING	R5A H(22)	ZONING	R5A H(22)
MIN. LOT WIDTH	REQUIRED: 18 M PROVIDED: 27.9 M	MIN. LOT WIDTH	REQUIRED: 18 M PROVIDED: 31.1 M
MIN. LOT AREA	REQUIRED: 540 SQ.M PROVIDED: 4517 SQ.M	MIN. LOT AREA	REQUIRED: 540 SQ.M PROVIDED: 3871 SQ.M
SETBACK REQUIREMENTS		SETBACK REQUIREMENTS	
FRONT YARD SETBACK	REQUIRED: 6.0 M PROVIDED: 8.5 M	FRONT YARD SETBACK	REQUIRED: 6.0 M PROVIDED: 6.2 M
INTERIOR SIDE SETBACK: (ABUTTING R3Y ZONE)	REQUIRED: 3.0 M PROVIDED: 6.7 M	INTERIOR SIDE SETBACK: (ABUTTING R5A ZONE)	REQUIRED: 3.0 M PROVIDED: 15.6 M
REAR YARD SETBACK:	REQUIRED: 6.0 M PROVIDED: 48.6 M	CORNER SIDE YARD SETBACK:	REQUIRED: 4.5 M PROVIDED: 6.8 M
HEIGHT LIMITATIONS:	REQUIRED: 22.0 M PROVIDED: 11.92 M	REAR YARD SETBACK:	REQUIRED: 6.0 M PROVIDED: 11.84 M
BUILDING FOOTPRINT:	1192 sq. m.	HEIGHT LIMITATIONS:	REQUIRED: 22.0 M PROVIDED: 11.84 M
BUILDING GFA	3576 sq. m.	BUILDING FOOTPRINT:	1184 sq. m.
LANDSCAPE	2469 sq. m. (55%)	BUILDING GFA	3552 sq. m.
RESIDENTIAL UNIT COUNT	40 UNITS	LANDSCAPE	1387 sq. m. (36%)
ASPHALT AREA AND RAMPS	384 sq. m.	RESIDENTIAL UNIT COUNT	41 UNITS
AMENITY AREA	REQUIRED: 6 sq.m x 40 units = 240 sq.m PROVIDED: 1459.2 sq.m	ASPHALT AREA AND RAMPS	1246 sq.m.
COMMUNAL AMENITY AREA	REQUIRED: 50% total amenity = 120 sq.m PROVIDED: 1146.9 sq.m	AMENITY AREA	REQUIRED: 6 sq.m x 41 units = 246 sq.m PROVIDED: 432.2 sq.m
PARKING STATISTICS	REQUIRED: 1.2 PER UNIT (48 TOTAL) REQUIRED VISITOR: 0.2 PER UNIT (8 TOTAL) 40 UNITS X 1.4 = 56 PARKING SPACES	COMMUNAL AMENITY AREA	REQUIRED: 50% total amenity = 123 sq.m PROVIDED: 169.5 sq.m
PROVIDED RESIDENT: 1.1 PER UNIT (44 SPACES) (MV) PROVIDED VISITOR: 0.2 PER UNIT (8 SPACES) 40 UNITS X 1.3 = 52 PARKING SPACES (2 HANDICAP PARKING SPACES INCLUDED)	TOTAL BUILDING AMENITY 312.3 sq. m. TOTAL COMMUNAL AMENITY 1146.9 sq. m. TOTAL AMENITY 1459.2 sq. m.	PARKING STATISTICS	REQUIRED: 1.2 PER UNIT (49 TOTAL) + 0.2 VISITOR PER UNIT (8 TOTAL) 41 UNITS X 1.4 = 57 PARKING SPACES PROVIDED RESIDENT: 1.1 PER UNIT (45 SPACES) (MV) PROVIDED VISITOR: 0.2 PER UNIT (8 SPACES) 41 UNITS X 1.3 = 53 PARKING SPACES (2 HANDICAP PARKING SPACES INCLUDED)
BICYCLE PARKING	REQUIRED: 0.5 SPACES PER UNIT; 0.5 x 40 UNITS = 20 SPACES	UNDERGROUND	30 SPACES
PROVIDED: INTERIOR: 14 SPACES EXTERIOR: 6 SPACES TOTAL: 20 SPACES	UNDERGROUND	SURFACE	22 SPACES
	TOTAL	TOTAL	52 SPACES



BLOCK A			BLOCK B		
UNIT TYPE	TOTAL	UNIT TYPE	TOTAL	UNIT TYPE	TOTAL
1B	28	1B	23	2B	18
2B	12	2B	18	3B	4
3B	0	3B	0	4B	0
TOTAL	40	TOTAL	41	TOTAL	41



1 SITE PLAN
SCALE = 1:250

2 CONTEXT PLAN
SCALE = N.T.S.

D07-12-21-0081