

A Hamlin URBAN DEVELOPMENT

ALLISON HAMLIN
MANAGER (A), DEVELOPMENT REVIEW WEST
PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT
DEPARTMENT, CITY OF OTTAWA

APPROVED
By Allison Hamlin at 4:03 pm, Aug 28, 2023

THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO SRN ARCHITECTS INC.

NO.	DATE	ISSUED FOR:
11	18-NOV-22	REV PER CLIENT COMMENT
12	17-JAN-23	REV PER CLIENT COMMENT
13	24-FEB-23	REV PER CLIENT COMMENT
14	12-APR-23	RE-ISSUED FOR SPA
15	29-MAY-23	RE-ISSUED FOR PERMIT
16	12-JUN-23	REV PER CLIENT COMMENT
17	29-JUN-23	REV PER CLIENT COMMENT
18	07-JUL-23	REV PER CLIENT COMMENT
19	17-JUL-23	REV PER CLIENT COMMENT
20	31-JUL-23	REV PER CLIENT COMMENT

ADDITIONAL NOTES:
PART OF BLOCK 2, REGISTERED PLAN 4M-1563 AND PART OF LOT 3 CONCESSION 1 (GEOGRAPHIC TOWNSHIP OF HAMDEN) STANTEC GEOMATICS, 2022

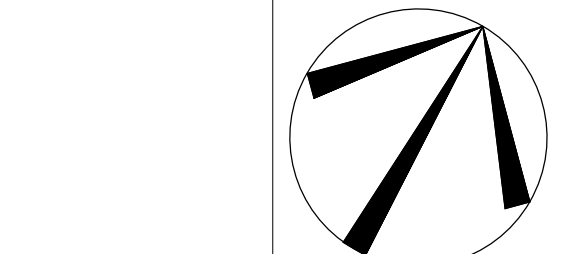
LEGEND

	MAIN ENTRANCE
	BICYCLE PARKING. REFER TO LANDSCAPE DRAWINGS
	BARRIER FREE PARKING
	VISITOR PARKING
	FH FIRE HYDRANT. REFER TO CIVIL DRAWINGS
	LS LIGHT POLE. REFER TO ELECTRICAL DRAWINGS
	LB LIGHT BOLLARD. REFER TO ELECTRICAL DRAWINGS
	WML WALL MOUNTED LIGHT FIXTURE. REFER TO ELECTRICAL DWGS
	FR FIRE ROUTE SIGN AS PER CITY STANDARD
	BF BARRIER FREE PARKING SIGN. AS PER CITY STANDARD
	SS STOP SIGN
	IF IDLE FREE ZONE SIGN
	PS POPS SIGN
	TI TACTILE INDICATOR
	DC DEPRESSED CURB
	G GAS METER
	H HYDRO METER
	NFB NON FREEZABLE HOB BISC
	EVCS ELECTRIC VEHICLE CHARGING STATION
	SC SCAPE CONNECTION
	SN SUITE NUMBER
	FB FIRE BREAK BLOCK
	LLE LOWER LEVEL ELEVATION
	FFE FIRST FLOOR ELEVATION

PRELIMINARY, NOT FOR CONSTRUCTION
ALL AREA CALCULATIONS ARE PRELIMINARY

NO.	DATE	REVISION COMMENT:

SRN ARCHITECTS
8395 JANE STREET, SUITE 203
VAUGHAN, ONTARIO, L4K 5Y2
PHONE: 905-417-5515 FAX: 905-417-5517



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CLIENT:
Minto Communities Canada
200-180 Kent Street
Ottawa, Ontario K1P 0B6

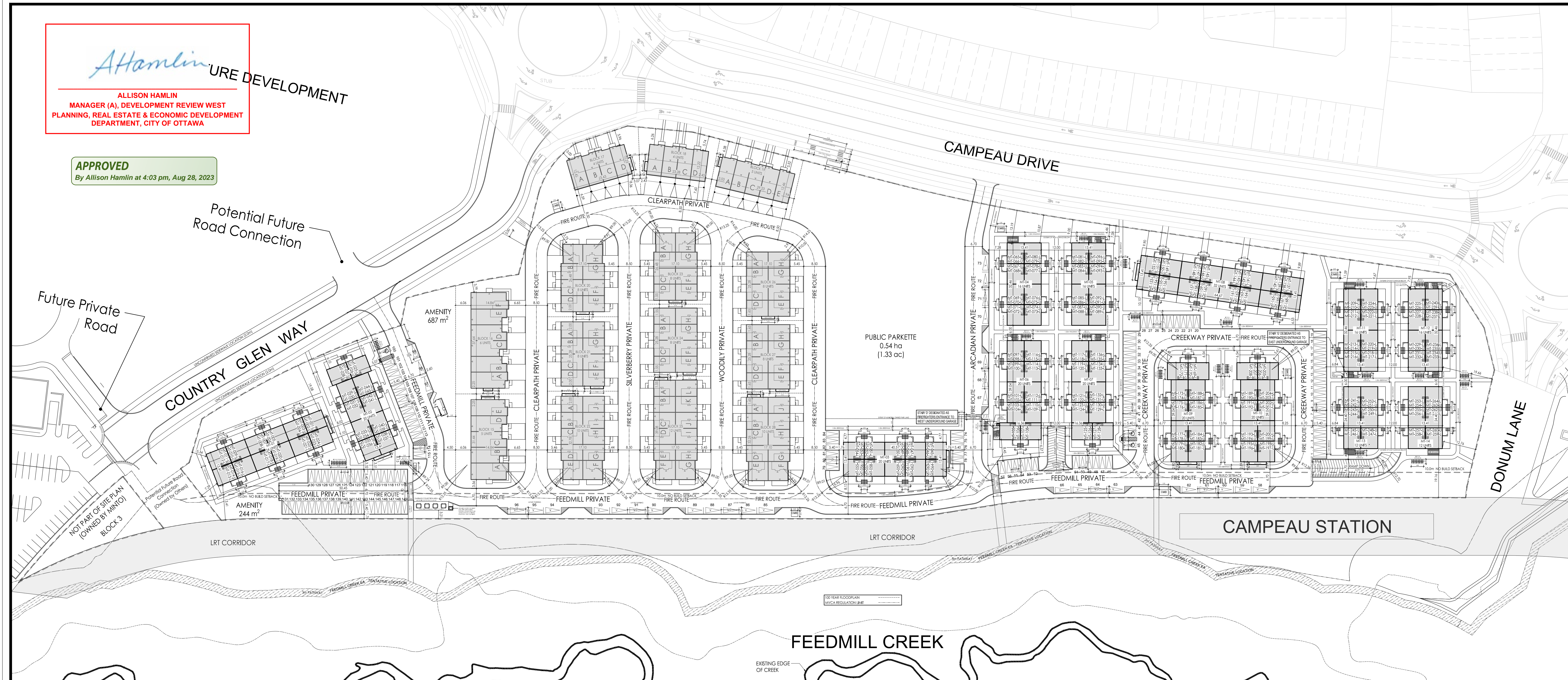
PROJECT:
PARKSIDE
Ottawa, Ontario

DRAWING TITLE:
SITE PLAN

DATE: 2022-02-14 SCALE: 1:500

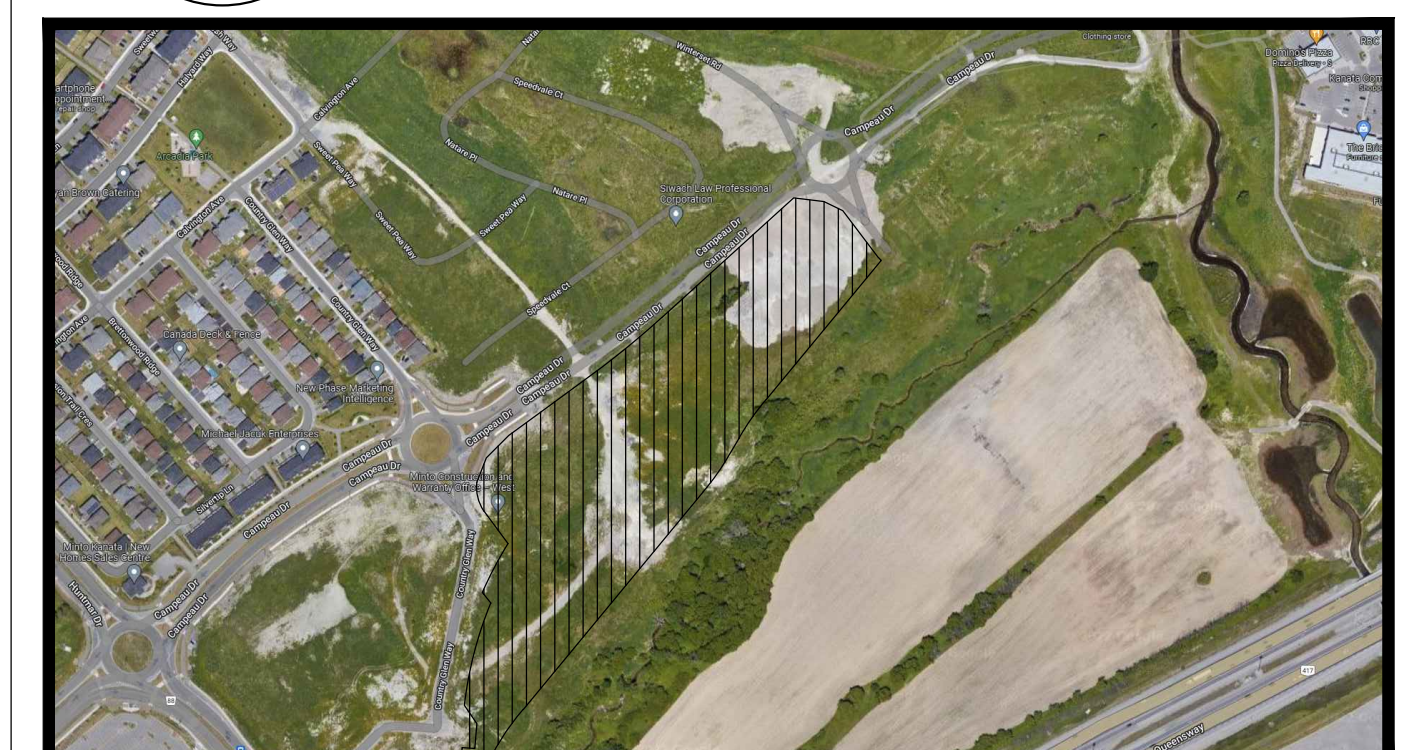
DRAWN BY: AB CHECKED BY: GR

PROJECT NUMBER: S22009 DRAWING NUMBER: A100

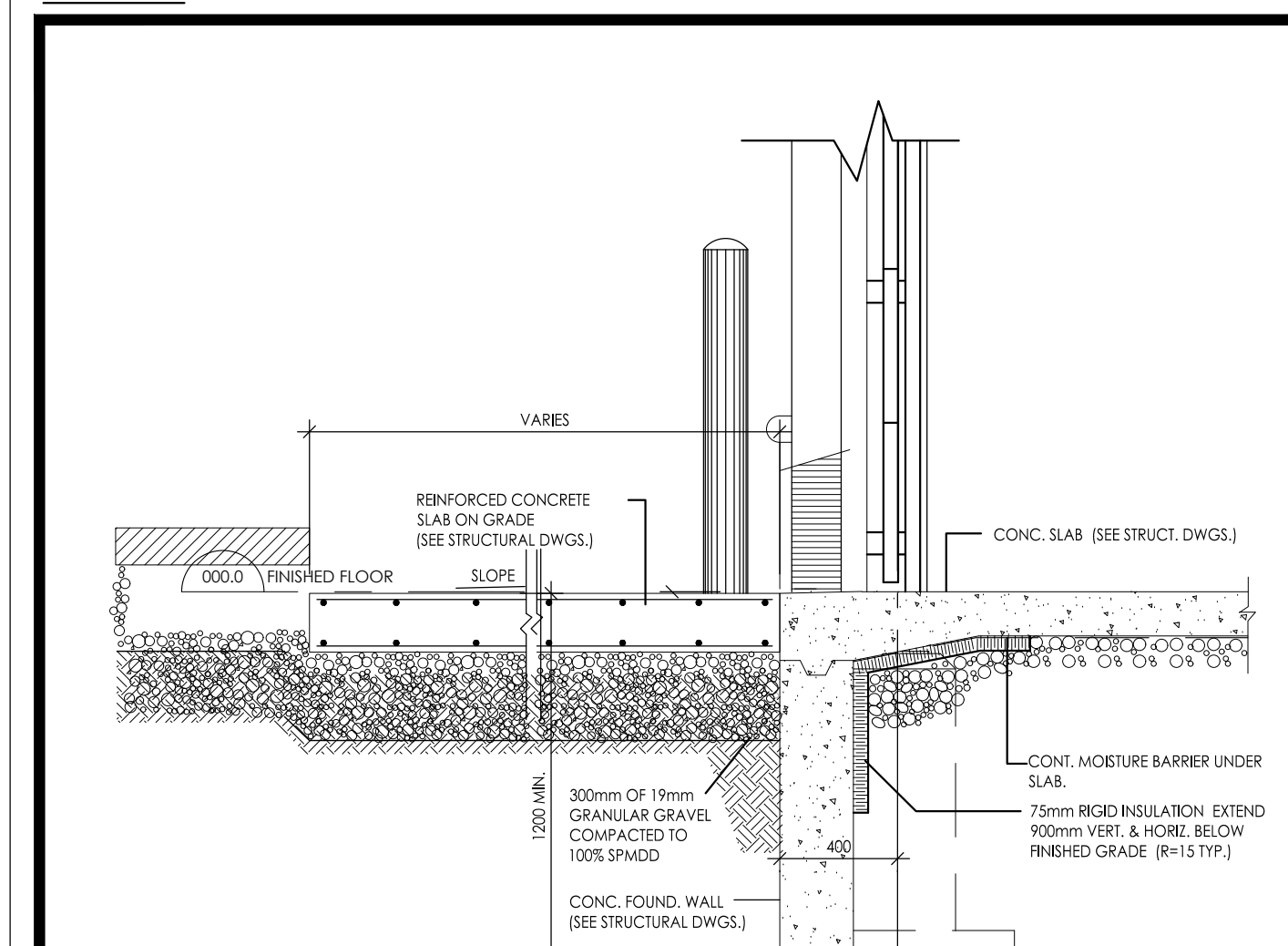


1 SITE PLAN

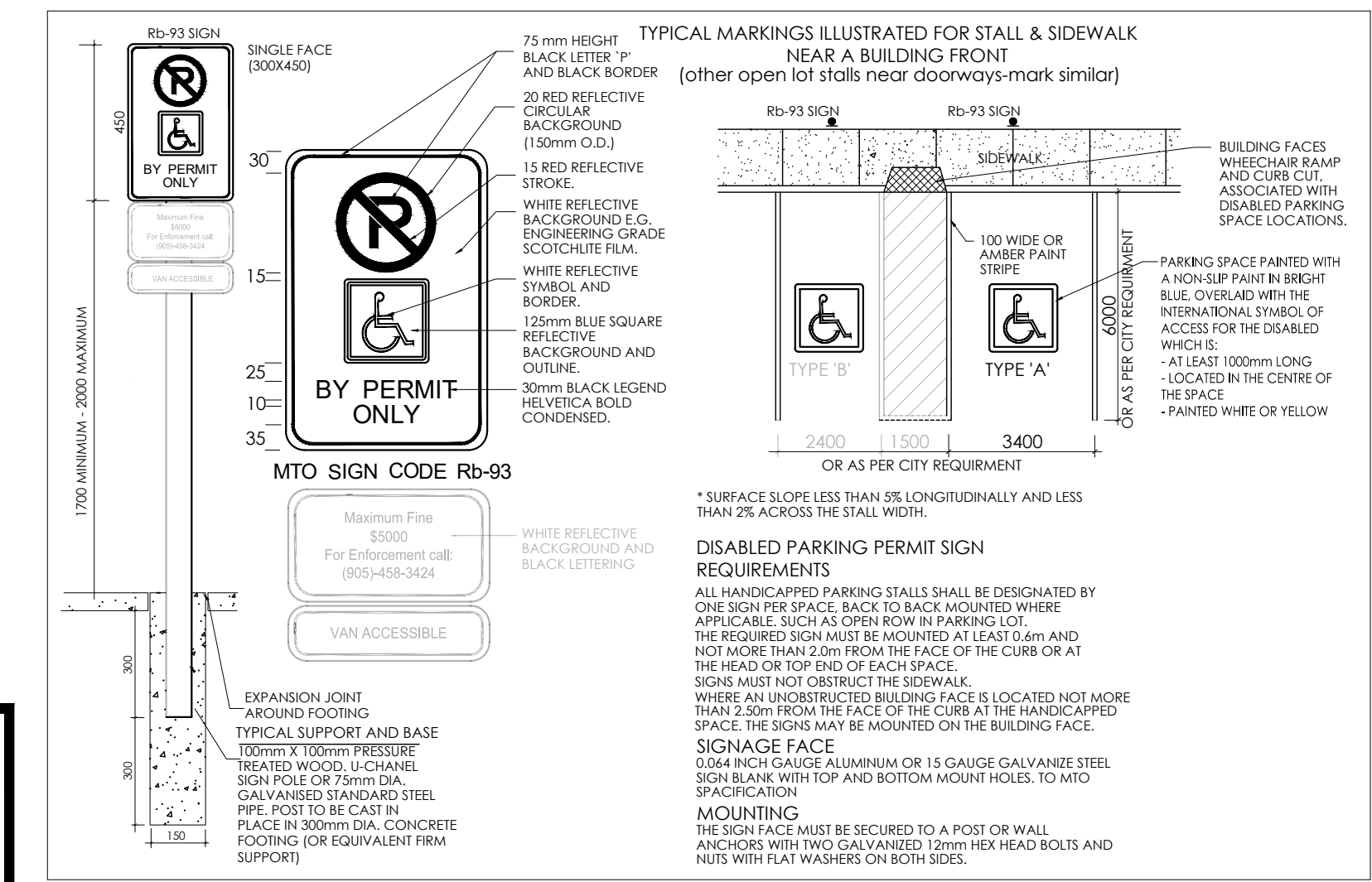
SP-100 1:650



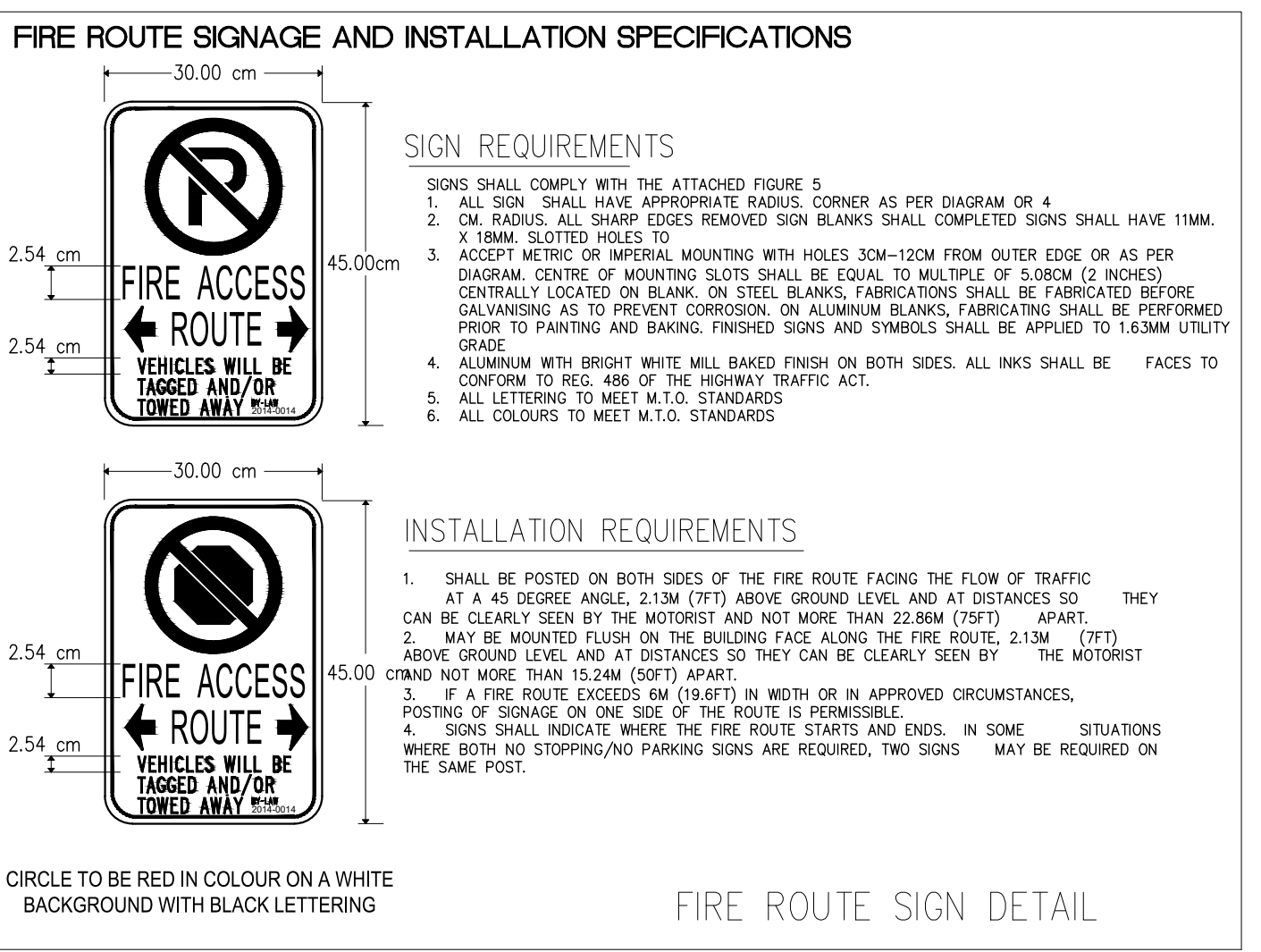
KEY PLAN



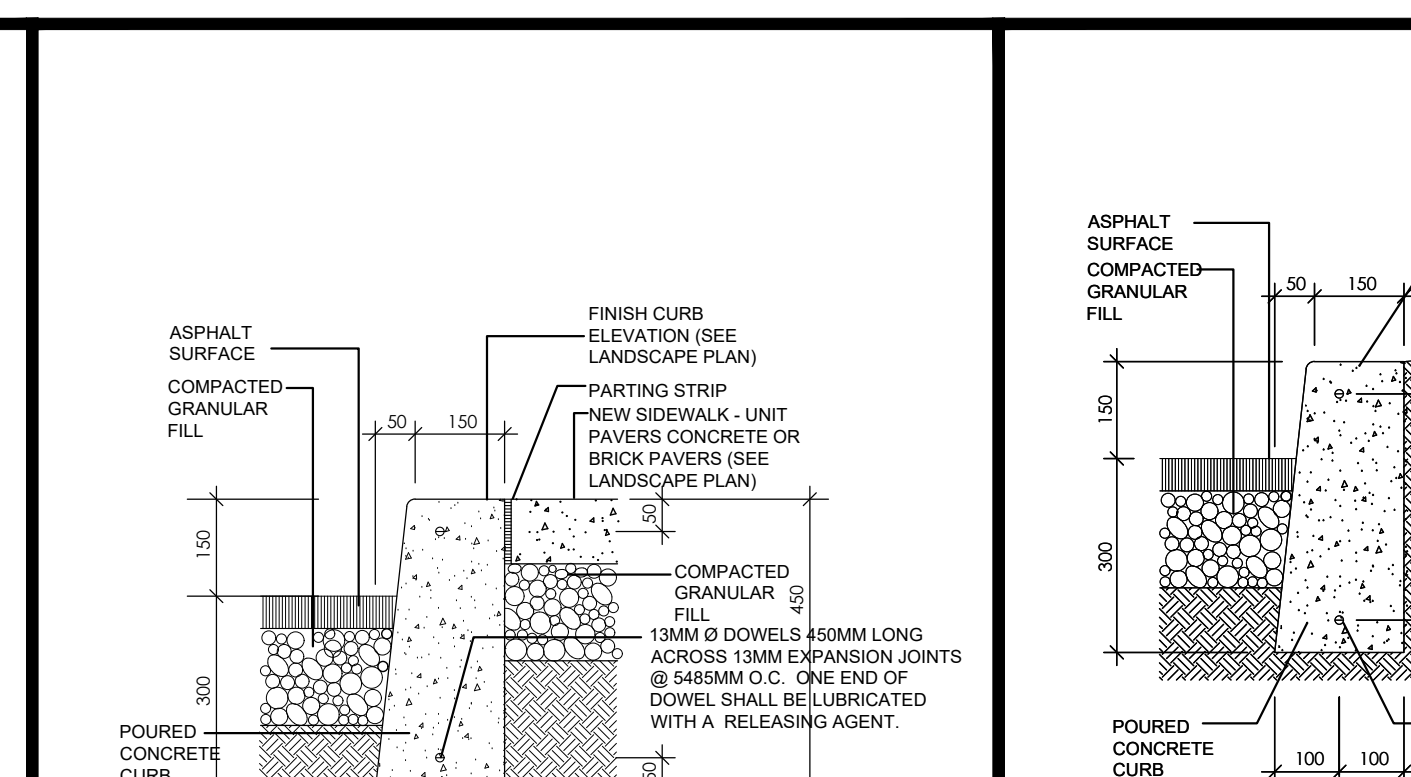
2 CONCRETE PAD SCALE: N.T.S.



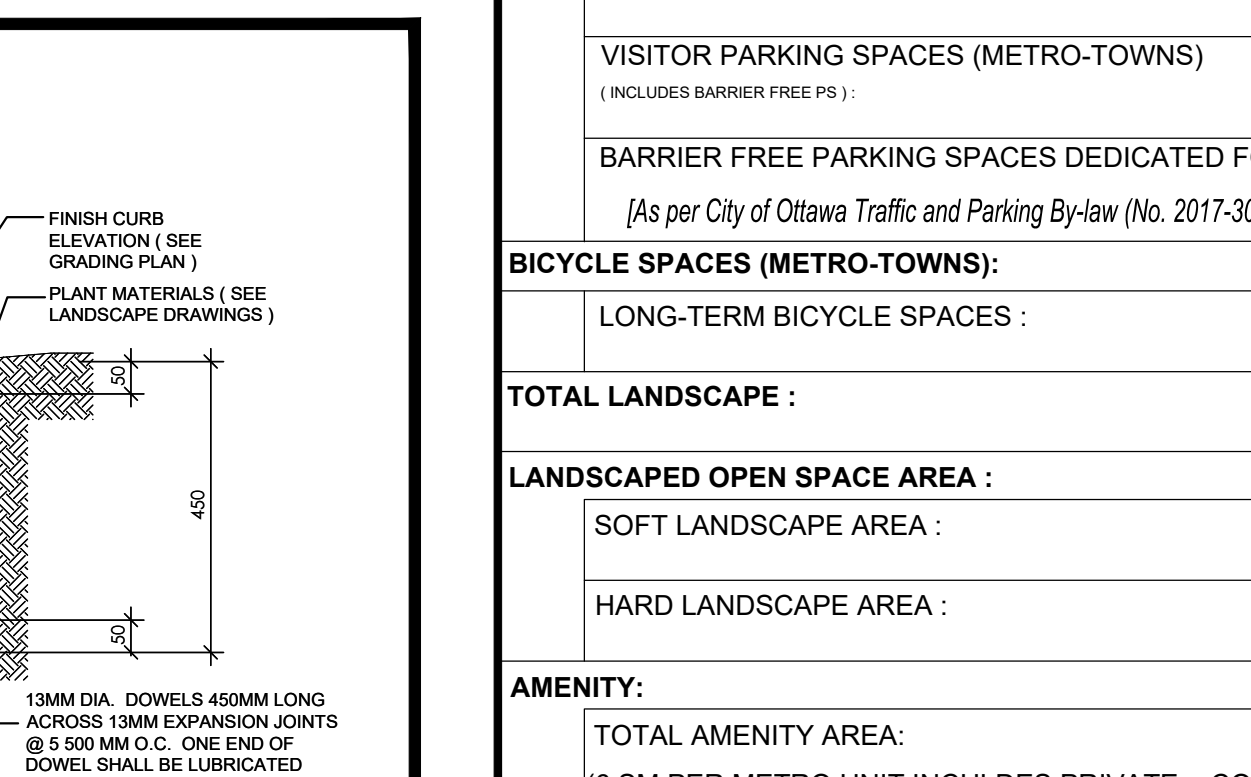
3 TYPICAL STEEL BOLLARDS SCALE: N.T.S.



FIRE ROUTE SIGN DETAIL



5 SECTION - CONCRETE CURB/SIDEWALK SCALE: N.T.S.



6 TYP. CONCRETE CURB SCALE: N.T.S.

SITE STATISTICS

PROVISION	REQUIRED	PROPOSED	COMPLIANCE
NET LOT AREA (excludes dedication):	NO MINIMUM	48723.37 SM [524453.98 SF]	N/A
DEDICATION AREA (municipal park):	NO MINIMUM	5412.93 SM [58264.29 SF]	N/A
GROSS LOT AREA (includes dedication):	1400 SM	54136.30 SM [582718.27 SF]	YES
BUILDING AREA	NO MINIMUM	13394.78 SM [144180.24 SF]	N/A
LOT COVERAGE (building area/net lot area):	NO MINIMUM	27.58 %	N/A
GROSS FLOOR AREA	NO MINIMUM	40205.88 SM [432772.49 SF]	N/A
NET F.S.I. (gross floor area/net lot area):	NO MINIMUM	0.81	N/A
GROSS F.S.I. (gross floor area/gross lot area):	NO MINIMUM	0.73	N/A
SETBACKS:			
MIN. FRONT YARD:	3.00 M	4.46 M	YES
MIN. CORNER SIDE YARD (WEST):	3.00 M	3.00 M	YES
MIN. CORNER SIDE YARD (EAST):	3.00 M	5.5 M	YES
MIN. REAR YARD:	6.00 M	13.95 M	YES
NUMBER OF TOWNHOUSE UNITS:		264 SUITES	
METRO-TOWNS - 2 BED:		104 SUITES	
TRADITIONAL-TOWNS - 3 BED:		160 SUITES	
TOTAL NUMBER OF UNITS:		368 SUITES	
TOTAL PARKING SPACES:		208 PS	RATIO
RESIDENT PARKING SPACES (TRADITIONAL-TOWNS):	2 SPACES/UNIT = (164.0) MIN, 208 PS	SURFACE: 208 UG: 0 TOTAL: 208	2:1
VISITOR PARKING SPACES (TRADITIONAL-TOWNS) (INCLUDES BARRIER FREE PS)	N/A	SURFACE: 0 UG: 0 TOTAL: 0	N/A
TOTAL PARKING SPACES:		306 PS	
RESIDENT PARKING SPACES (METRO-TOWNS):	0.5 SPACES/UNIT = (294.5) MIN, 239 PS	SURFACE: 116 UG: 116 TOTAL: 232	1:1
VISITOR PARKING SPACES (METRO-TOWNS) (INCLUDES BARRIER FREE PS)	0.1 SPACES/UNIT = (284.0) MIN, 27 PS	SURFACE: 35 UG: 0 TOTAL: 35	0.1:1
BARRIER FREE PARKING SPACES DEDICATED FOR VISITORS: [As per City of Ottawa Traffic and Parking By-law (No. 2017-301), Section 111.]	0	SURFACE: 3 UG: 0 TOTAL: 3	N/A
BICYCLE SPACES (METRO-TOWNS):			
LONG-TERM BICYCLE SPACES:	0.5 SPACES/UNIT = (264.5) MIN, 132	SURFACE: 132 UG: 0 TOTAL: 132	YES
TOTAL LANDSCAPE:		18043.00 SM [194213.28 SF]	YES
LANDSCAPED OPEN SPACE AREA:			
SOFT LANDSCAPE AREA:	N/A	12621.70 SM [135858.83 SF] (69.88% OF LANDSCAPING)	N/A
HARD LANDSCAPE AREA:	N/A	5421.31 SM [58354.45 SF] (30.31% OF LANDSCAPING)	N/A
AMENITY:			
TOTAL AMENITY AREA: (6.5M PER METRO UNIT INCLUDES PRIVATE + COMMUNAL)	284 UNITS X 6 SM = 1704 SM	LOWER PATIO = -16 SM X 132 UNITS = 2112 SM BALCONY AREA = 6 SM X 132 = 792 SM TOTAL PRIVATE AREA = 2904 SM PRIVATE (2904 SM) + COMMUNAL (1714 SM) = 4618 SM TOTAL AMENITY	YES
COMMUNAL AMENITY AREA: (50% OF REQUIRED)	284 UNITS X 3 SM = 852 SM	AREA BETWEEN MT-11 TO MT-14 (475 SM) AREA BETWEEN MT-09 & MT-10 (308 SM) AREA BEHIND BLOCK 15 & 16 (687 SM) AREA SOUTH OF MT-01 (244 SM) = 1714 SM TOTAL COMMUNAL AREA	YES