

# Architectural Design Brief Section 2\*

June 26, 2023

For a 96 Unit Low-rise Townhome Planned Unit Development

by Patten Homes,

80, 110, 140 & 151 Cope Drive, Ottawa

Prepared by M. David Blakely Architect Inc.

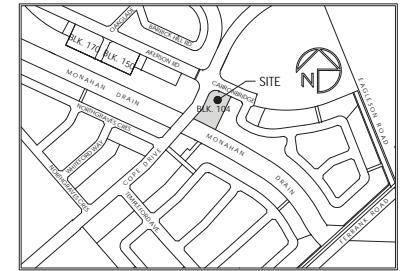
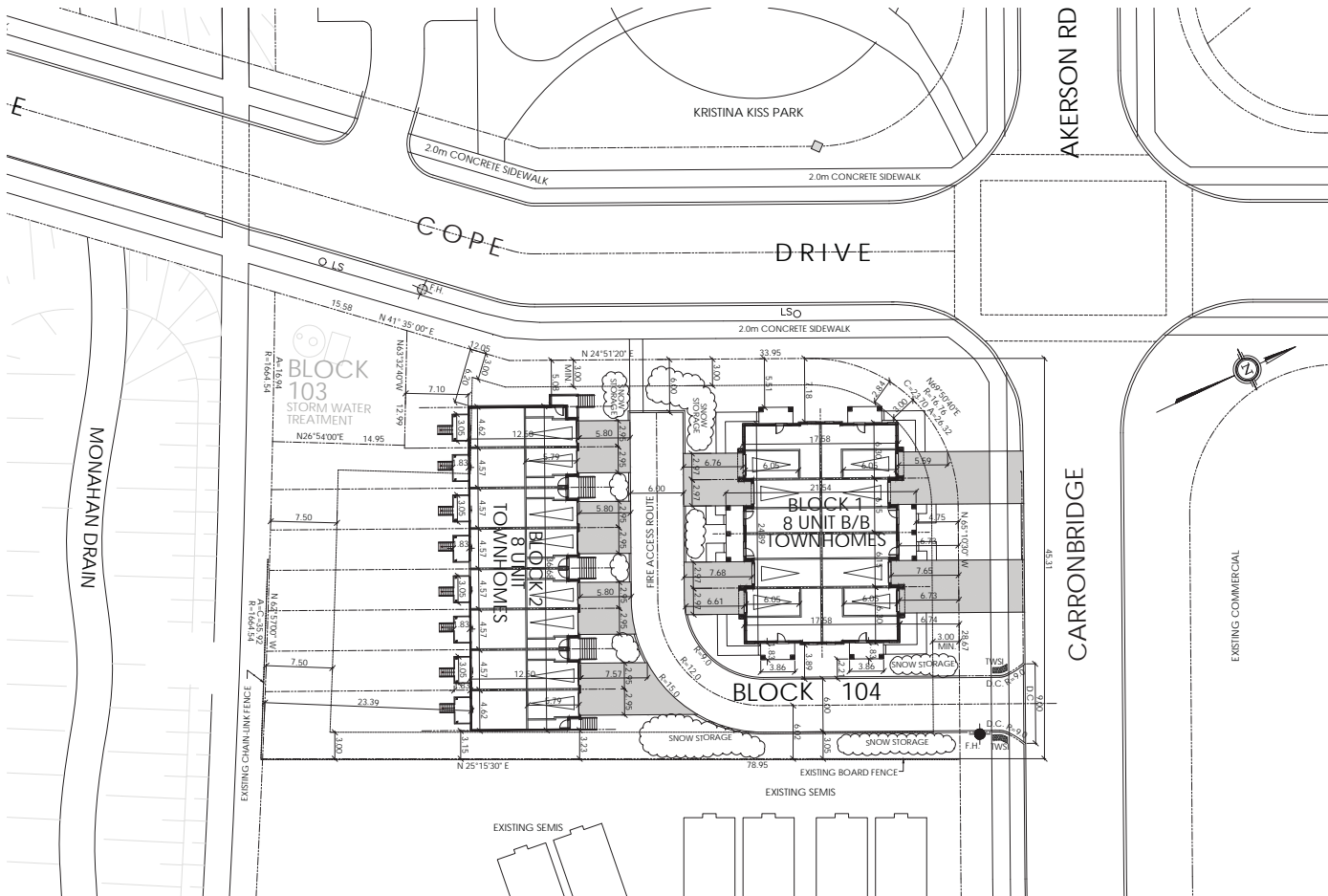
\* Section 1 is to be part of the Planning Rationale Submission.

Cope Drive



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KEY PLAN  
NOT TO SCALE

**SITE INFORMATION - 80 COPE DRIVE - BLOCK 104**

PROPOSED ZONING:	R32 (XXXX) H (14)	PERMITTED USES:	PLANNED UNIT DEVELOPMENT
TOWN BUILDING AREA:	8882 m <sup>2</sup>	TOWNHOUSE DWELLING:	
TOTAL FLOORED FLOOR AREA:	2,312.0 m <sup>2</sup>		
FS (MAX 2):	1.2		

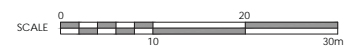
ZONING:	R32(XXXX)H(14)	PROVIDED:
LOT AREA (MIN):	1,400.0 m <sup>2</sup>	3,345.46 m <sup>2</sup>
TOWNHOUSE LOT AREA (MIN):	80.0 m <sup>2</sup> (MAX)	16.46 m <sup>2</sup>
SEMI DETACHED & TOWNHOUSE LOT WIDTH (MIN):	4.5 m	4.5 m
FRONT YARD (MIN):	3.0 m	3.0 m
CORNER SIDE YARD (MIN):	2.0 m (MAX)	2.0 m
REAR SIDE YARD (MIN):	6.0 m (MAX)	3.15 m
REAR YARD (MIN):	1.5 m (MAX)	1.5 m
		Back to back townhouse dwelling
		14.0 m (MAX)

BUILDING HEIGHT (MAX):	10.6 m	
LANDSCAPED AREA:	38.4%	
PARKING SPACES:	1 Space / UNIT 2.00 m x 5.20 m 2.0 m	1 Driveway / 1 Garage 5.20 m x 2.80 m 2.84 m
PORCH DEAR TO LOT LINE (SECTION 65):	2.0 m	
PRIVATE DRIVEWAY WIDTH (MIN):	2.6 m	Garage: 2.95 m
PRIVATE DRIVEWAY LENGTH (MIN):	5.5 m	Driveway: 5.29 m
WALL TO PRIVATE DRIVE:	1.6 m	3.92 m

BACK TO BACK TOWNHOMES & TOWNHOMES	BLOCK No.	BUILDING AREA: GROSS FLOOR AREA: No. UNITS
BLOCK 1 - BACK TO BACK TOWNHOMES	402.0 m <sup>2</sup>	1,152.0 m <sup>2</sup> 8 UNITS
BLOCK 2 - TOWNHOMES	488.0 m <sup>2</sup>	1,188.0 m <sup>2</sup> 8 UNITS
TOTAL:	890.0 m <sup>2</sup>	2,340.0 m <sup>2</sup> 16 UNITS



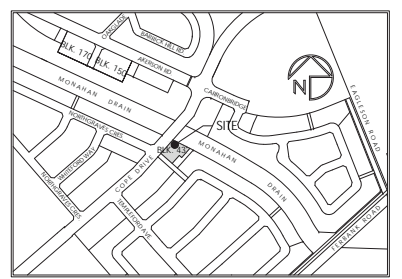
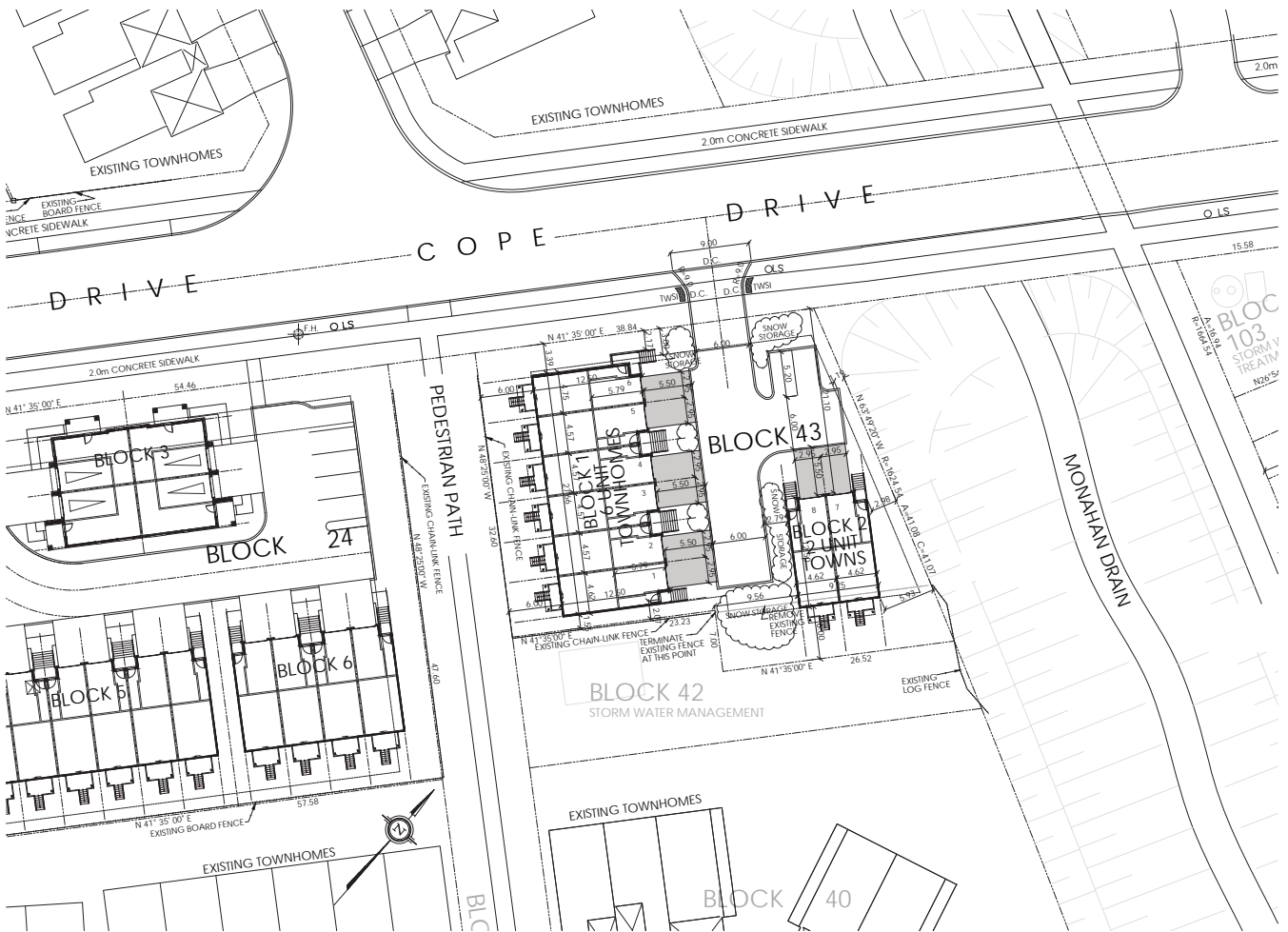
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**GENERAL NOTES:**

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NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY
1	17/11/22	REV. TO AN APPROVED SITE PLAN	SM	13			
2	07/10/22	REV. ENTRANCE AT CARRONBRIDGE	SM	14			
3	13/08/22	FOR INDIVIDUAL COPE SITE PLANS	SM	15			
4	18/06/22	REV. BLK 24 - BLOCK 1 TO 8 UNITS	SM	16			
5		REV. BLK 44 - BLOCK 1 TO 8 UNITS	SM	17			
6	30/03/22	COMBINING COPE SITE PLANS	SM	18			
7	28/09/21	ZONING INFO ADDED	SM	19			
8	29/07/21	FOR REVIEW	SM	20	26/06/23	FOR SITE PLAN CONTROL	SM
9	15/06/21	FOR REVIEW	SM	21	25/07/23	REVISED PROPOSED ZONINGS	SM
10	08/05/21	FOR REVIEW	SM	22	11/01/24	SNOW STORAGE ADDED TO PLAN	SM

PROJECT:	80 COPE DRIVE, BLOCK 104 16 UNIT - TOWNHOMES & BACK TO BACK TOWNHOMES OTTAWA, ONT.	DRAWING TITLE:	SITE PLAN
CLIENT:		DATE:	MAY, 2021
DRAWN BY:	SBM	SCALE:	1:250
CHECKED:	MDR	SHEET No.:	SP-1



KEY PLAN  
NOT TO SCALE

**SITE INFORMATION - 110 COPE DRIVE - BLOCK 43**

ZONING: GM (233) (H16) - PERMITTED USES: PLANNED UNIT DEVELOPMENT

SITE AREA: 1991.42 m<sup>2</sup>  
 TOTAL BUILDING AREA: 414.1 m<sup>2</sup>  
 TOTAL FINISHED FLOOR AREA: 2070.8 m<sup>2</sup>  
 FSI: (MARK 2): 1.2

ZONING:	GM233(H16)	PROVIDED:
LOT AREA (MIN):	400.0 m <sup>2</sup> (233)	1,991.42 m <sup>2</sup>
LOT FRONTAGE (MIN.):	20.0 m (233)	14.46 m
FRONT YARD (MIN.): (MAX):	3.0 m - 6.0 m (233)	3.50 m
CORNER SIDE YARD (MIN.): (MAX):	0.0 m - 4.0 m (233)	1.50 m
REAR YARD (MIN.):	1.5 m (233)	6.00 m
REAR YARD (MAX):	14.0 m	10.0 m
WIDTH OF LANDED AREA (MIN.):	9.0 m	3.0 m
MINIMUM STREET FRONTAGE:	NO MIN.	N/A
OTHER CASES:		

NOTE: (SECTION 233): If a building or use that is developed in compliance with this by-law is converted or abandoned into separate ownership, all zoning requirements shall not be maintained on the basis of the width of the original lot with the exception that each parcel of land created shall have a net lot frontage of 5m or a width of 5m along a driveway that acts as a street.

**PARKING SPACES:** 1 Space / UNIT, 1 Driveway / Garage

**PORCH DEPTH TO LOT LINE (SECTION 60):** 2.6m - 3.3m x 5.20m, Driveway: 2.95m x 5.80 m, 2.84 m

**PRIVATE DRIVEWAY WIDTH (MIN.):** 2.6 m, Garage: 2.95 m

**PRIVATE DRIVEWAY LENGTH (MIN.):** 5.5 m, Driveway: 5.90 m

**WALL TO PRIVATE DRIVE:** 5.6 m

**BACK TO BACK TOWNHOMES & TOWNHOMES:**

BLOCK No.	TOWNHOMES	BUILDING AREA	GROSS FLOOR AREA	No. UNITS
BLOCK 1 - TOWNHOMES	324	447	1,352.0	8 UNITS
BLOCK 2 - TOWNHOMES	111	447	2,068.8	8 UNITS
TOTAL	435	894	3,420.8	16 UNITS

NOTE: SITE PLAN TO BE READ IN CONJUNCTION WITH:  
 - SITE SERVICING PLAN PREPARED BY SANELI;  
 - LANDSCAPING PLAN PREPARED BY LESLIE CONSULTANTS;  
 - BOUNDARIES DERIVED FROM PLAN OF SURVEY OF PART OF 401381, DATED APRIL 27, 2009;  
 PLAN PREPARED BY ANDREW GUSTAFSON VOLKBECK LTD.



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CONSTRUCTION NORTH

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4	26/06/23	FOR SITE PLAN CONTROL	SM
3	11/01/22	SNOW STORAGE ADDED TO PLAN	SM
2	11/11/21	REVISION TO AN APPROVED SITE PLAN	SM
1	05/05/22	FOR REVIEW	SM
1	10/05/21	FOR REVIEW	JB
No.	DATE	DESCRIPTION	BY

**PROJECT:** 110 COPE DRIVE, BLOCK 43  
8 UNIT - TOWNHOMES  
OTTAWA, ONT.

**DRAWING TITLE:** SITE PLAN

**CLIENT:**

**DATE:** MAY, 2021

**SCALE:** 1:250

**CHECKED:** MDR

**SHEET No.:** SP-1





## Architectural Design Brief for 80 Cope Drive \*

\* The design rationale for 80 Cope Drive can be applied to 110, 140 & 151 Cope Drive designs.

### Project Description,

80 Cope Drive is a 16 Unit Planned Use Development at the south – east corner of Cope Drive and Carronbridge Circle.

Block 1 consists of 8 Back to Back three storey townhomes at the street corner. Block 2 is an 8 unit three storey townhome block accessed by private lane from Carronbridge Circle. All units have private garages and driveways to the garage.

Refer to page 6, SP-1 of this design brief.

Context – The Site is located in a residential community of semi-detached, linked singles and low-rise apartment buildings. Adjacent land uses;

- To the west across Cope – Kristina Kiss Park
- Across Connonbridge to the north – landscaped portion of office park, site [H 21.5].
- Adjacent to the east – backyards of two storey semi-detached.
- Adjacent to the south – Monahan Drain and pathway.

### Site Analysis and Site Plan

- A primary constraint of the site plan design was to limit access to Cope Drive. Private driveways and the private lane access are located on local streets such as Connonbridge Circle, Templeford Avenue and Northgraves Crescent. No access is provided from Cope Drive.
- Buildings are setback appropriately from the street lot lines to create an edge along the public realm of sufficient depth for a continuous landscaping space along Cope Drive. The building setback adjacent to local streets allow for driveway parking consistent with the established neighbourhood pattern.
- The internal private lane driveways are screened from Cope Drive by small tree and shrub planting.
- Site lighting is from building wall scones with controlled light distribution.
- Percent of landscaped area is on average achieving 35%.
- The internal private lanes are shared pedestrian and vehicle drive/walkway with pedestrian access directly to Cope Drive which leads to the public pathway system. The pathway system is maintainable, supervised and well illuminated. Internal sidewalks are not required

based on unit number, low traffic, and speed, which leaves more area for soft landscaping and less maintenance cost for the homeowners.

- The internal side yard setback exceeds the existing zoning requirement.
- Access to the internal private lane is from the least travelled street and as far as possible from the intersection.
- Blocks are located to minimize the impact on the private amenity areas.
- Buildings are intentionally sighted with living area windows and balconies overlooking naturalized features such as the Monahan Drain walkway.
- Finished grades are level around building and consistent with the grades relative to the street and sidewalk in the surrounding area.

### Use

- The previously approved site plan was a 3 storey apartment building with possible live / work units ½ level above grade facing Cope Drive. The proposed site plan is for ground oriented compact and more affordable townhomes.

### Compatibility / Massing / Scale

- The proposed residential townhomes are the same housing form as the existing neighbourhood. (low-rise residential)
- Three storey townhomes have a building height compatible with other low-rise uses on the street and surrounding neighbourhood. The proposed townhomes have a building height that is less than the typical low-rise maximum height
- The buildings scale is comparable to that found within that of the neighbourhood. (semi-detached and blocks)
- The dominant building material is masonry. The secondary finish material is either vertical or horizontal siding. Both materials are extensively used in the surrounding streets of the neighbourhood.
- The hip roof design is compatible with the other shingled sloped roofs in the neighbourhood.
- Casement windows, doors and side light designs and column details are similar to those features found throughout the neighbourhood.

### Building Design

- All building facades facing the street incorporate entrances.
- All building elevations facing the public realm have windows and/or covered balconies.
- The covered balconies provide protection and highlight and identify the entrances. Balcony railing are well detailed with powder coated aluminum framing and glass panels.



- Masonry is used to form a strong building base, creating a horizontal datum line more or less in line with existing 2 storey homes / townhomes in the area. The masonry base steps down at the corners allowing the windows to wrap the corner, creating lower scale design from all viewpoints
- Garages are recessed into the building base.
- The ‘lighter’ siding material at the top floor coupled with larger overhangs has a visual of lowering the building height.
- The façade is well articulated. Projections and use of materials bring the design to a townhome scale.
- The hip roof is a simple shape, meant only to cover the form below, without peaks, gables or dormers that serve no function.
- Windows are in proportion to the wall elevations.
- The street end elevation of Block 2 has been designed to include the unit entrance and covered porch. Additional vertical patterned windows, wall projections, careful use of brick and shades of siding produce an attractive and complementary design.
- The building design is of its own and of its time. It does not try to replicate other styles.

#### Sustainability

- The design meets or exceeds OBC – SB-12 Energy Efficiency of Housing.



M. David Blakely

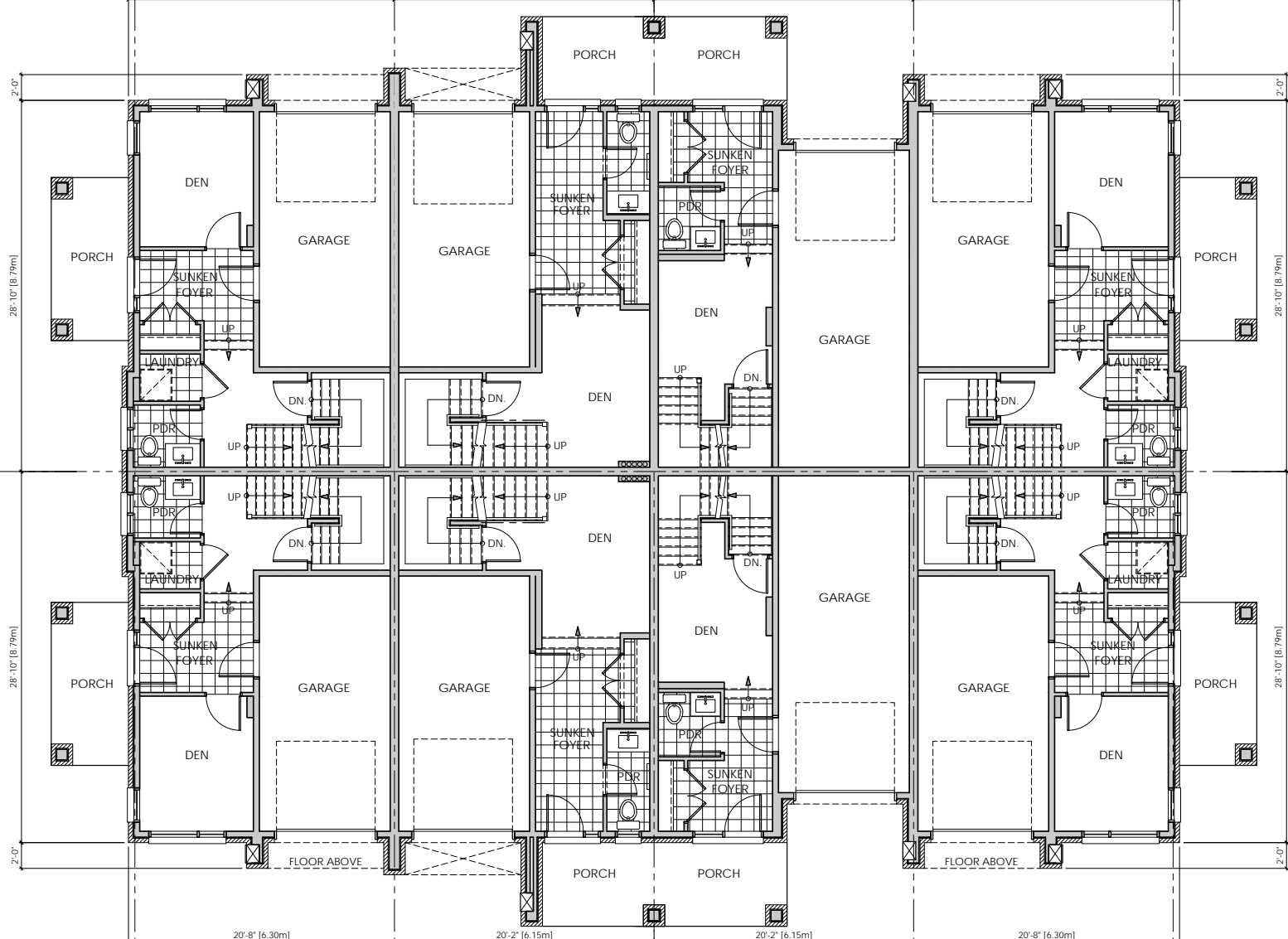
M. David Blakely Architect Inc.

DOVER END UNIT  
GROUND FLOOR PLAN  
20'-8" [6.30m]

BEDFORD MID UNIT REV.  
GROUND FLOOR PLAN  
20'-2" [6.15m]

ANGUS MID UNIT  
GROUND FLOOR PLAN  
20'-2" [6.15m]

DOVER END UNIT REV.  
GROUND FLOOR PLAN  
20'-8" [6.30m]



DOVER END UNIT REV.  
GROUND FLOOR PLAN

BEDFORD MID UNIT  
GROUND FLOOR PLAN

ANGUS MID UNIT REV.  
GROUND FLOOR PLAN

DOVER END UNIT  
GROUND FLOOR PLAN

BACK to BACK TOWNS - BLOCK 1 - GROUND FLOOR



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1	19/01/23	FOR REVIEW SM
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REVISIONS

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B	B - SHEET NUMBER (DETAIL REQUIRED)
C	C - SHEET NUMBER (DETAIL LOCATION)

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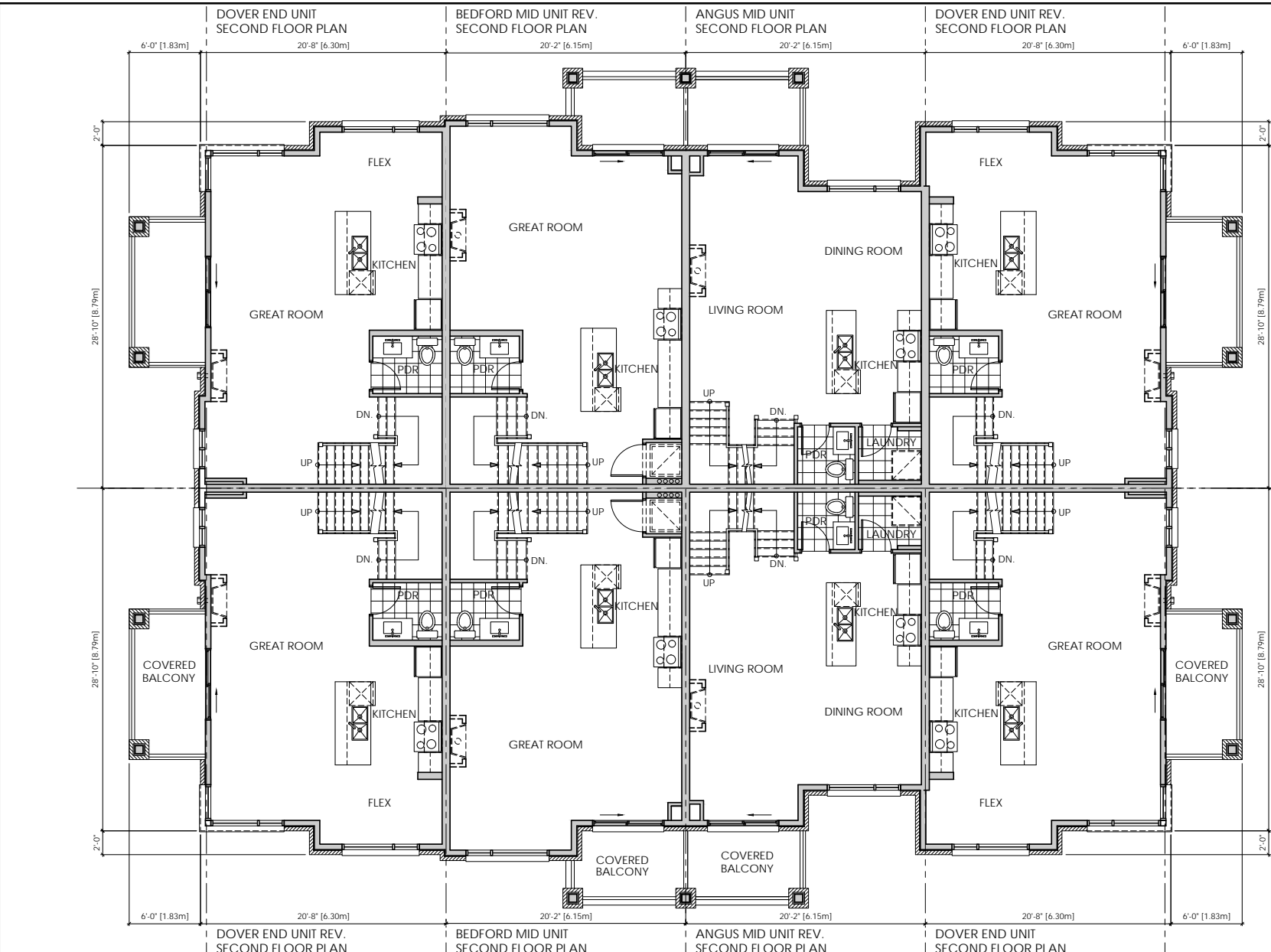
PROJECT:  
80, 110, 140 & 151 COPE DRIVE  
OTTAWA, ONT.

CLIENT:



DRAWING TITLE: TYPICAL BACK TO BACK TOWNS

DATE: DEC. 2022	SCALE: 1/8" = 1'-0"	SHEET #: A1
DRAWN BY: SBM	CHECKED: MDB	



**BACK to BACK TOWNS - BLOCK 1 - SECOND FLOOR**



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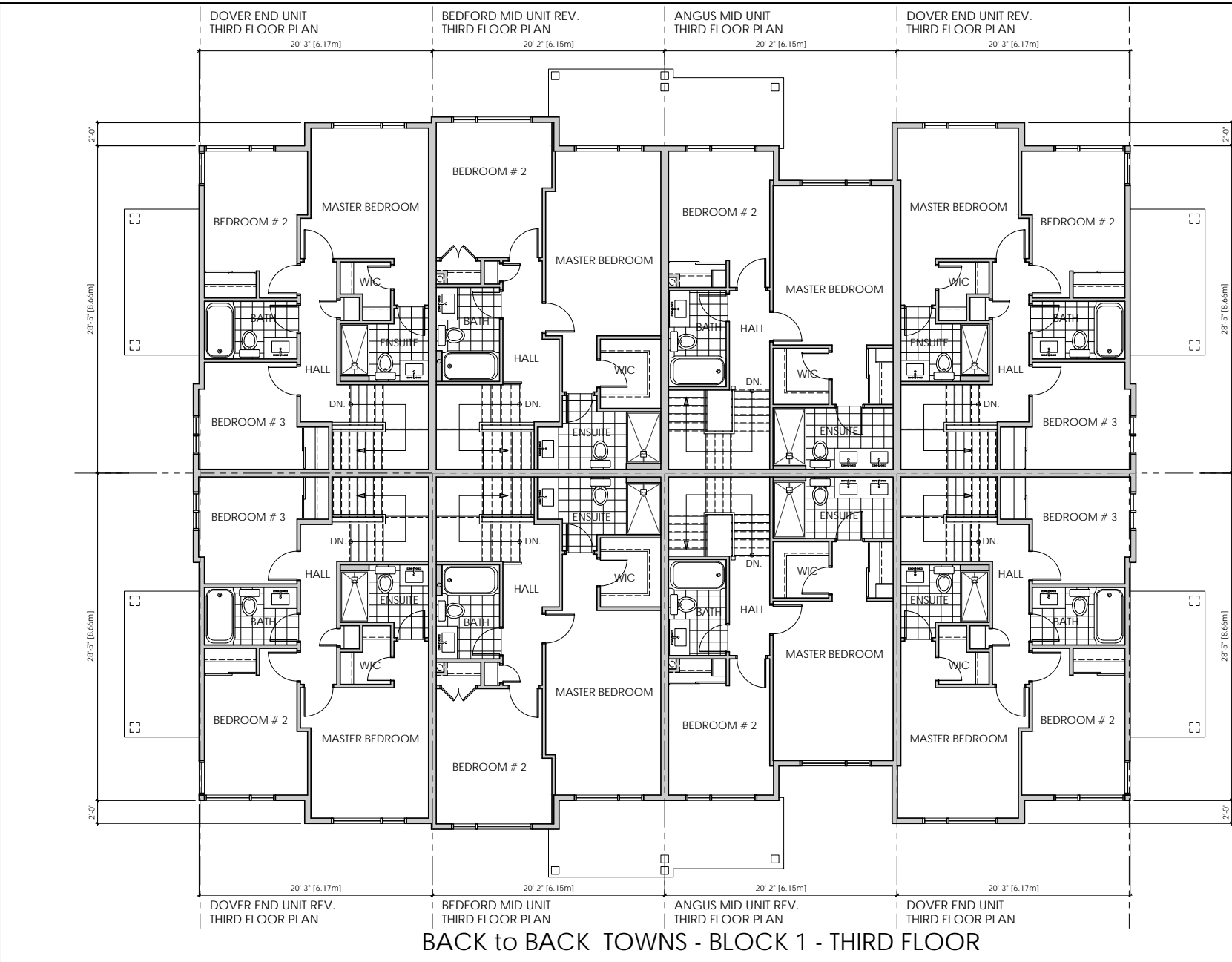
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PROJECT:  
**80, 110, 140 & 151 COPE DRIVE  
OTTAWA, ONT.**



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**TYPICAL  
BACK to BACK TOWNS**

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SEAL:

PROJECT:  
80, 110, 140 & 151 COPE DRIVE  
OTTAWA, ONT.



DRAWING TITLE:  
TYPICAL  
BACK TO BACK TOWNS

DATE:	DEC. 2022	SCALE:	1/8" = 1'-0"	SHEET #:	A3
DRAWN BY:	SBM	CHECKED:	MDB		



BACK to BACK TOWNS  
BLOCK 1  
FRONT ELEVATION

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PROJECT: 80, 110, 140 & 151 COPE DRIVE OTTAWA, ONT.

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BACK to BACK TOWNS  
 BLOCK 1  
 REAR ELEVATION

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A  
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A - DETAIL NUMBER  
 B - SHEET NUMBER (DETAIL REQUIRED)  
 C - SHEET NUMBER (DETAIL LOCATION)

PROJECT  
 80, 110, 140 & 151 COPE DRIVE  
 OTTAWA, ONT.

CLIENT

DRAWING TITLE  
 TYPICAL  
 BACK to BACK TOWNS

DATE  
 DEC. 2022

SCALE  
 1/8" = 1'-0"

DRAWN BY  
 SBM

CHECKED BY  
 MDB

SHEET #  
 A5



BACK to BACK TOWNS  
BLOCK 1  
SIDE ELEVATION



**M. David Blakely  
Architect Inc.**

2200 Prince of Wales Dr. - Suite 101  
Ottawa, Ontario - K2E 6Z9  
Phone (613) 226-8811 Fax (613) 226-7942

GENERAL NOTES:

- 1 - THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS. ANY DISCREPANCY MUST BE REPORTED TO M. DAVID BLAKELY ARCH. INC.
- 2 - ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS, & BY-LAWS
- 3 - ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST THE PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH THE PLANS IN CONTRACT DOCUMENTS
- 4 - DO NOT SCALE DRAWINGS.
- 5 - THIS DRAWING SHALL NOT BE USED OR COPIED WITHOUT THE AUTHORIZATION OF THE ARCHITECT
- 6 - THIS DRAWING SHALL NOT BE USED FOR PERMIT OR CONSTRUCTION UNLESS THE DRAWING BEARS THE ARCHITECT'S SEAL AND SIGNATURE
- 7 - THIS REPRODUCTION SHALL NOT BE ALTERED.

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2.	26/06/23	FOR SITE PLAN CONTROL	SM	
1.	19/01/23	FOR REVIEW	SM	
#	DATE	DESCRIPTION	INT.	
REVISIONS				



A - DETAIL NUMBER  
B - SHEET NUMBER  
(DETAIL REQUIRED)  
C - SHEET NUMBER  
(DETAIL LOCATION)

PROJECT  
80, 110, 140 & 151 COPE DRIVE  
OTTAWA, ONT.



DRAWING TITLE  
TYPICAL  
BACK to BACK TOWNS

DATE  
DEC. 2022

SCALE  
1/8" = 1'-0"

CHECKED BY  
MDB

SHEET #  
A6



BACK to BACK TOWNS  
BLOCK 1  
SIDE ELEVATION



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SEAL

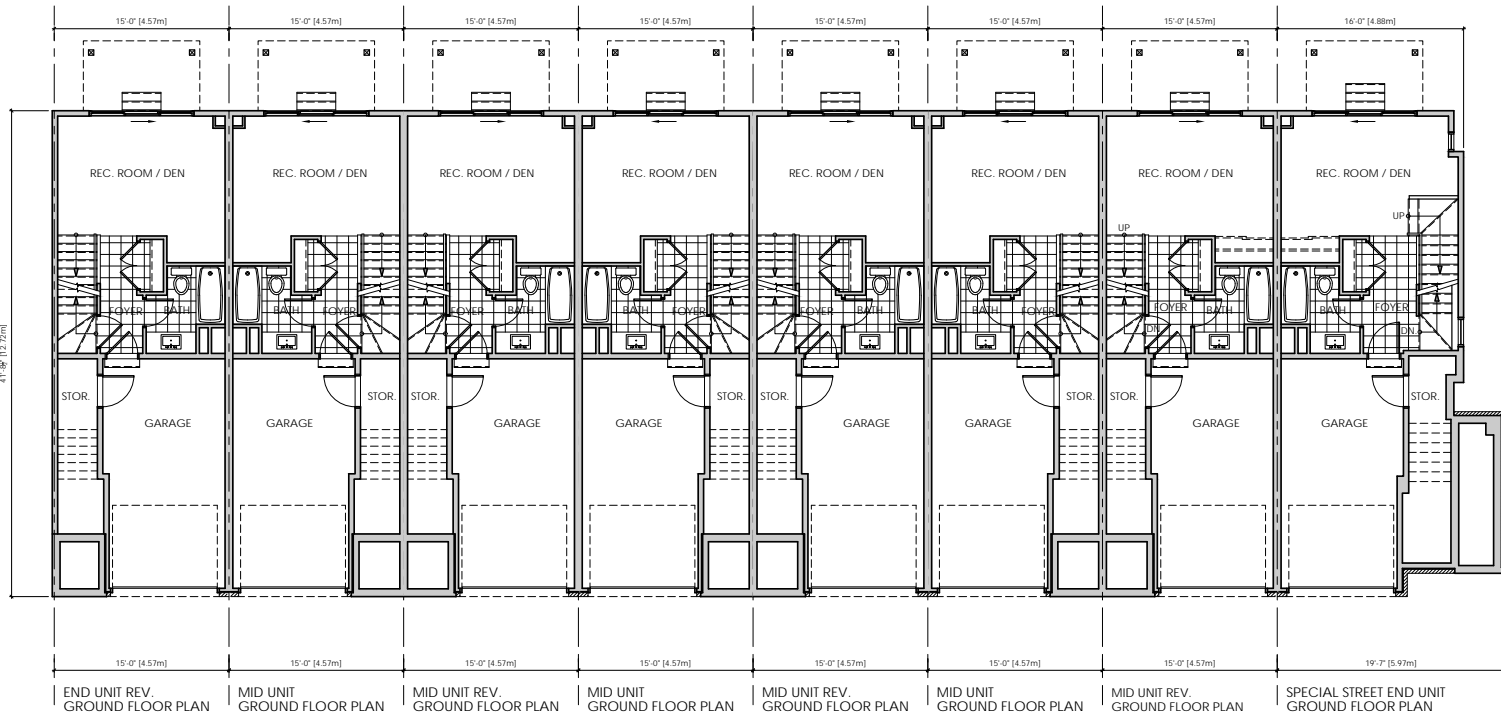
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1.	19/01/23	FOR REVIEW	SM
#	DATE	DESCRIPTION	INT.
REVISIONS			



A - DETAIL NUMBER  
B - SHEET NUMBER (DETAIL REQUIRED)  
C - SHEET NUMBER (DETAIL LOCATION)

PROJECT	80, 110, 140 & 151 COPE DRIVE OTTAWA, ONT.		
CLIENT			
DRAWING TITLE	TYPICAL BACK to BACK TOWNS		
DATE	DEC. 2022	SCALE	1/8" = 1'-0"
DRAWN BY	SBM	CHECKED BY	MDB
SHEET #	A7		





THREE STOREY TOWNS  
BLOCK 2  
GROUND FLOOR

**M. David Blakely  
Architect Inc.**  
2200 Prince of Wales Dr. - Suite 101  
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2. 26/06/23 FOR SITE PLAN CONTROL SM  
1. 19/01/23 FOR REVIEW SM  
# DATE DESCRIPTION Int.

#	DATE	DESCRIPTION	Int.
2	26/06/23	FOR SITE PLAN CONTROL	SM
1	19/01/23	FOR REVIEW	SM
#	DATE	DESCRIPTION	Int.

REVISIONS

A  
B  
C

A - DETAIL NUMBER  
B - SHEET NUMBER (DETAIL REQUIRED)  
C - SHEET NUMBER (DETAIL LOCATION)

PROJECT: 80, 110, 140 & 151 COPE DRIVE OTTAWA, ONT.

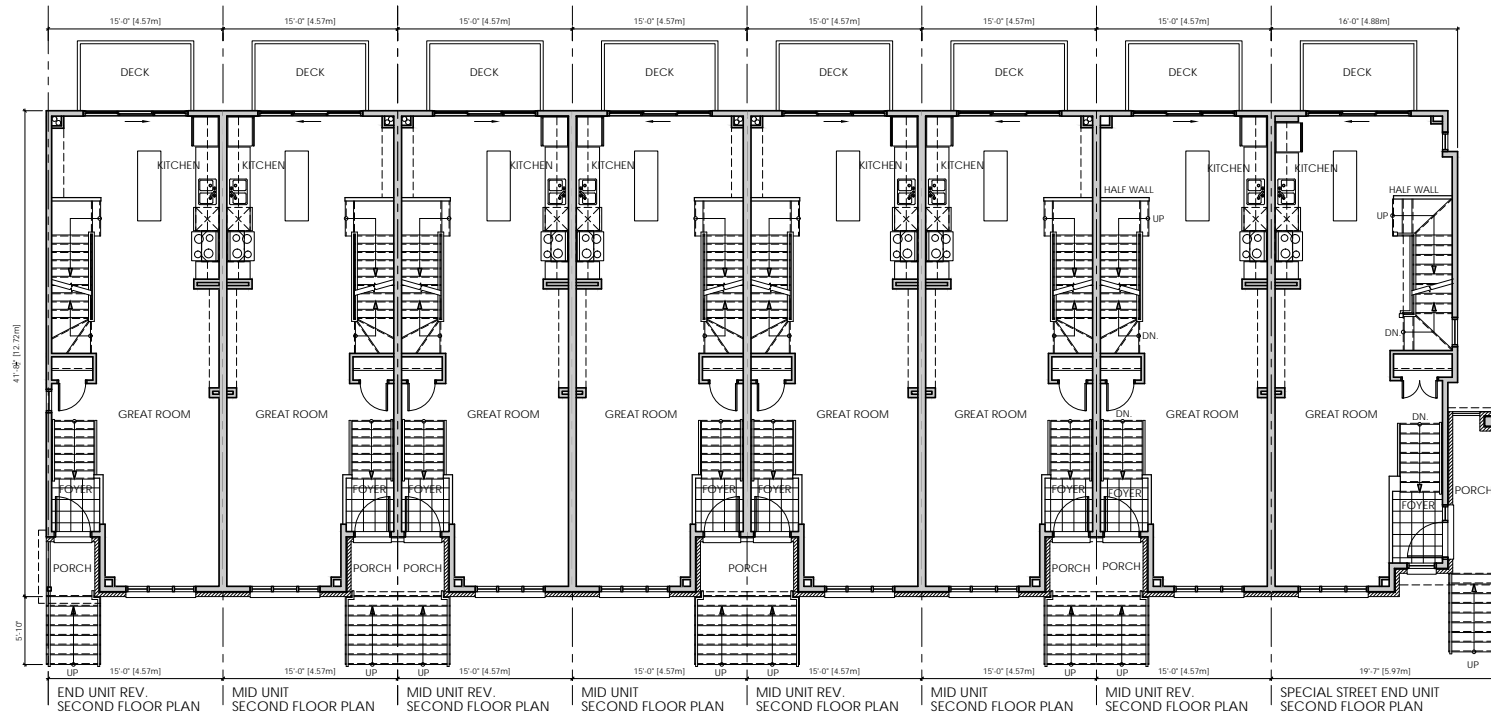
CLIENT: PATTEN HOMES 2000

DRAWING TITLE: TYPICAL THREE STOREY TOWNHOME

DATE: DEC. 2022 SCALE: 3/32" = 1'-0"

DRAWN BY: SBM CHECKED BY: MDB

SHEET # A8



THREE STOREY TOWNS  
BLOCK 2  
SECOND FLOOR



**M. David Blakely  
Architect Inc.**

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SCALE

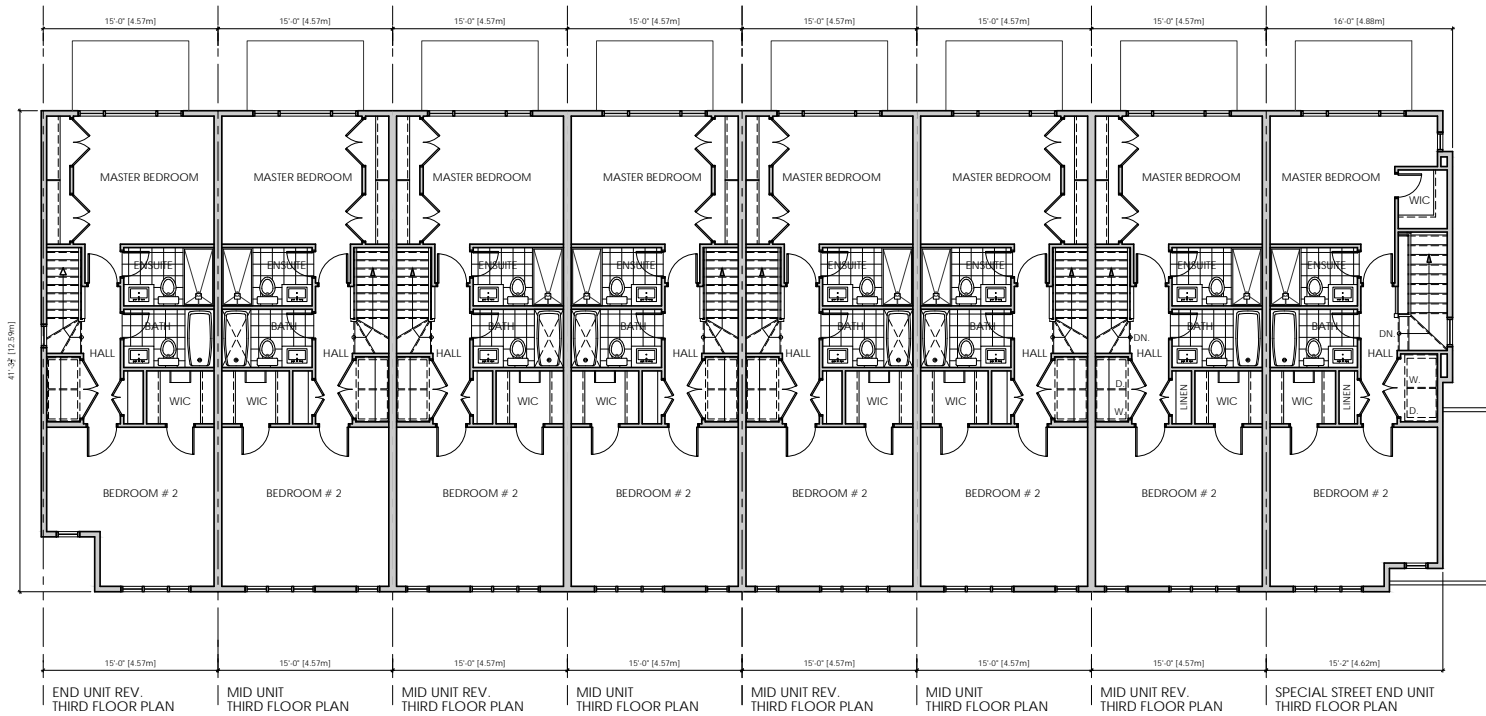
#	DATE	DESCRIPTION	INT.
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2	26/06/23	FOR SITE PLAN CONTROL	SM
1	19/01/23	FOR REVIEW	SM

REVISIONS



- A - DETAIL NUMBER
- B - SHEET NUMBER (DETAIL REQUIRED)
- C - SHEET NUMBER (DETAIL LOCATION)

PROJECT	80, 110, 140 & 151 COPE DRIVE OTTAWA, ONT.		
CLIENT			
DRAWING TITLE	TYPICAL THREE STOREY TOWNHOME		
DATE	DEC. 2022	SCALE	3/32" = 1'-0"
DRAWN BY	SBM	CHECKED BY	MDB
SHEET #	<b>A9</b>		



### THREE STOREY TOWNS BLOCK 2 THIRD FLOOR



**M. David Blakely  
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SEAL

#	DATE	DESCRIPTION	INT.
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2	26/06/23	FOR SITE PLAN CONTROL	SM
1	19/01/23	FOR REVIEW	SM

REVISIONS



A - DETAIL NUMBER  
B - SHEET NUMBER  
(DETAIL REQUIRED)  
C - SHEET NUMBER  
(DETAIL LOCATION)

PROJECT	80, 110, 140 & 151 COPE DRIVE OTTAWA, ONT.		
CLIENT			
DRAWING TITLE	TYPICAL THREE STOREY TOWNHOME		
DATE	DEC. 2022	SCALE	3/32" = 1'-0"
DRAWN BY	SBM	CHECKED BY	MDB
SHEET #	A10		



THREE STOREY TOWNS  
BLOCK 2  
FRONT ELEVATION

**M. David Blakely  
Architect Inc.**  
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Ottawa, Ontario K2E 6Z9  
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SEAL

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#	DATE	DESCRIPTION	INT.
2	26/06/23	FOR SITE PLAN CONTROL	SM
1	19/01/23	FOR REVIEW	SM

REVISIONS

A  
B  
C

A - DETAIL NUMBER  
B - SHEET NUMBER (DETAIL REQUIRED)  
C - SHEET NUMBER (DETAIL LOCATION)

PROJECT  
80, 110, 140 & 151 COPE DRIVE  
OTTAWA, ONT.

CLIENT

DRAWING TITLE  
TYPICAL THREE STOREY  
TOWNHOME

DATE  
DEC. 2022

SCALE  
3/32" = 1'-0"

DRAWN BY  
SBM

CHECKED BY  
MDB

SHEET #  
A11

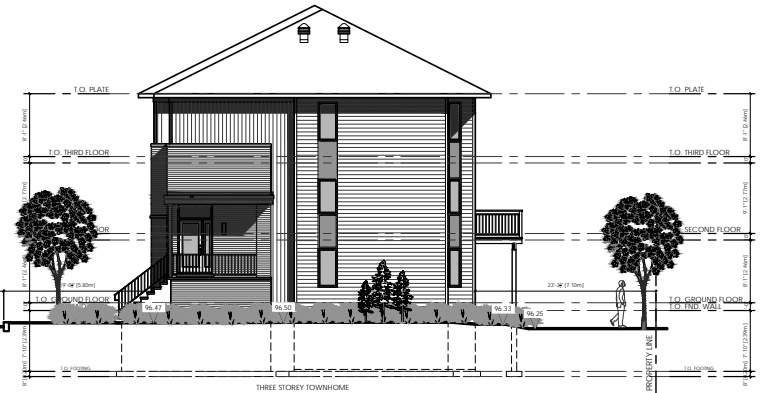




BLOCK 1 FRONT ELEVATION



BLOCK 1 END ELEVATION



BLOCK 2 SPECIAL STREET END ELEVATION

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SEAL

SCALE

#	DATE	DESCRIPTION	INT.
1	19/01/23	FOR REVIEW	SM
2	28/06/23	FOR SITE PLAN CONTROL	SM
REVISIONS			

A  
B  
C

A - DETAIL NUMBER  
B - SHEET NUMBER (DETAIL REQUIRED)  
C - SHEET NUMBER (DETAIL LOCATION)

PROJECT: 80 COPE DRIVE  
BLOCK 104  
OTTAWA, ONT.

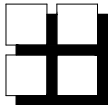
CLIENT:

DRAWING TITLE: **SITE ELEVATIONS**

DATE: DEC. 2022 SCALE: 1/16" = 1'-0"

DRAWN BY: SBM CHECKED BY: MDB

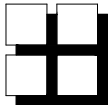
SHEET #: **A13**



**M. David Blakely  
Architect Inc.**

2200 Prince of Wales Dr., Suite 101 Ottawa On, Canada  
Phone (613) 226-8811 Fax (613) 226-7942 k2E 6Z9

**80 COPE DR.**  
FROM THE CORNER



**M. David Blakely  
Architect Inc.**

2200 Prince of Wales Dr. Suite 101 Ottawa On, Canada  
Phone (613) 226-8811 Fax (613) 226-7942 k2E 6Z9

**80 COPE DR.**  
LOOKING NORTH FROM COPE DR.