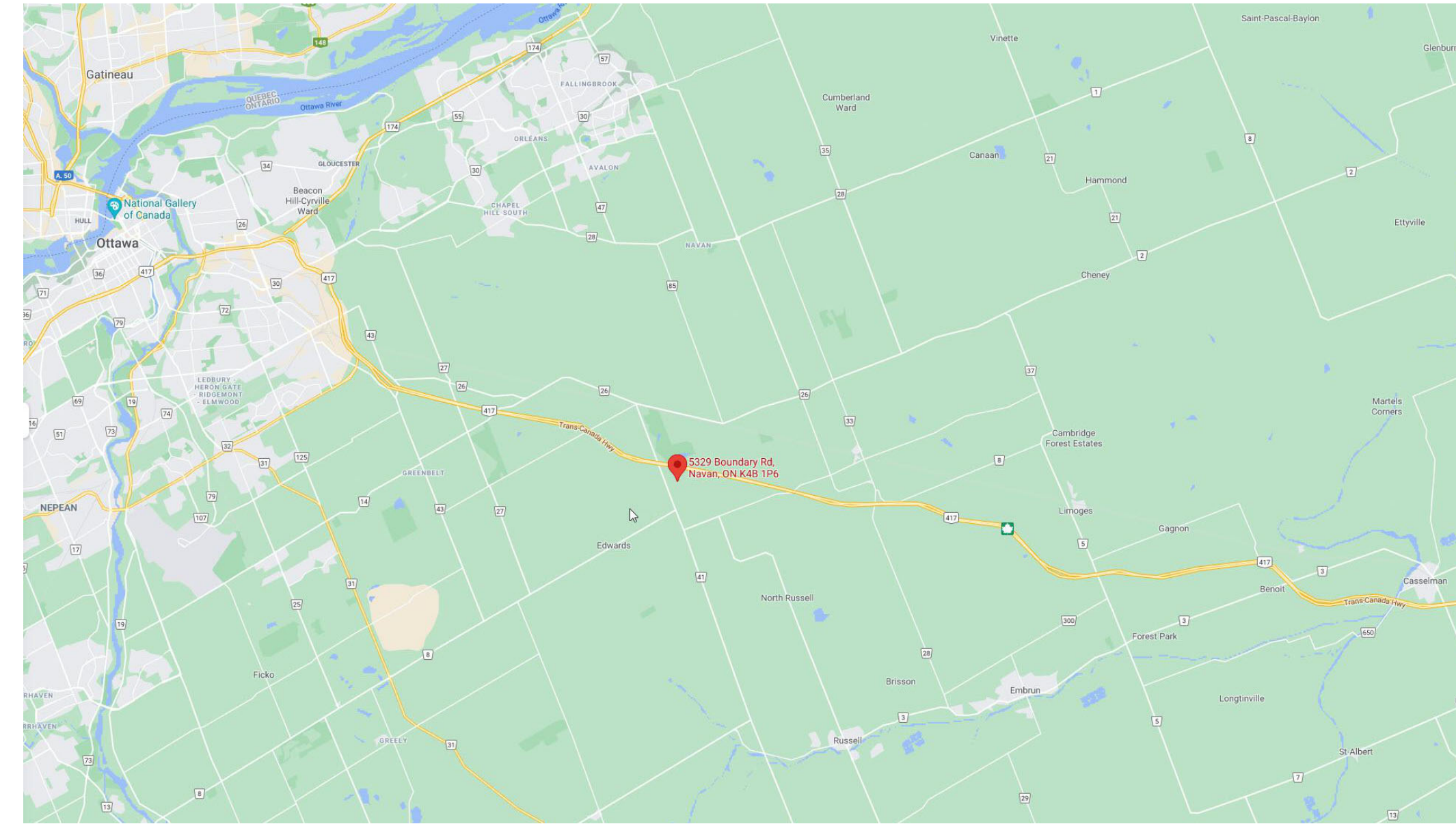


# 5329 BOUNDARY ROAD OTTAWA, ON , K4B 1P6

## ABBREVIATIONS

3PL	THIRD PARY LOGISTICS
A/C	AIR CONDITIONING
ACT	ACOUSTICAL CEILING TILE
ADJ	ADJUSTABLE
AFF	ABOVE FINISHED FLOOR
AMP	AMPERE
ARCH	ARCHITECT
BOH	BACK OF HOUSE
CAB	CABINET
CL	CENTER LINE
CLG	CEILING
CM	STARBUCKS CONSTRUCTION MANAGER
CTR	CENTER
CX	COMMISSIONING
CXA	COMMISSIONING AGENT
DEG	DEGREE
DET	DETAIL
DIA	DIAMETER
DIM	DIMENSION
DM	STARBUCKS DESIGN MANAGER
DN	DOWN
EA	EACH
EL	ELEVATION
EQ	EQUAL
EXIST	EXISTING
EXT	EXTERIOR
FF&E	FURNITURE, FIXTURE, AND EQUIPMENT
FLR	FLOOR
FOH	FRONT OF HOUSE
FT	FOOT/FEET
G	GROUND
GC	GENERAL CONTRACTOR
HC	HOLLOW CORE
HDW	HARDWARE
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HR	HOUR
HT	HEIGHT
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING
I.D.	INSIDE DIAMETER
LEED	LEADERSHIP IN ENERGY AND ENVIRONMENTAL DESIGN
LL	LANDLORD
MAX	MAXIMUM
MEP	"MECHANICAL, ELECTRICAL, AND PLUMBING"
MFR	MANUFACTURER
MIN	MINIMUM
NIC	NOT IN CONTRACT
NL	NIGHT LIGHT
NTS	NOT TO SCALE
OC	ON CENTER
O.D.	OUTSIDE DIAMETER
PLC	PLACE
R	RADIUS
REF	REFERENCE
REQD	REQUIRED
REV	REVISION
RND	ROUND
SB	STARBUCKS
SC	SOLID CORE
SF	SQUARE FEET
SHT	SHEET
SIM	SIMILAR
SPEC	SPECIFICATION
SQ	SQUARE
TEMP	TEMPORARY
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VD	VENDOR DIRECT
VERT	VERTICAL
VIF	VERIFY IN FIELD

## VICINITY PLAN



## AERIAL MAP



## ARCHITECTURAL SYMBOL LEGEND

NORTH ARROW	DATUM POINT		
EXTERIOR ELEVATION CALL-OUT	INTERIOR ELEVATION CALL-OUT	SECTION CALL-OUT	DETAIL CALL-OUT
SHEET NOTE CALLOUT	ABOVE FINISH FLOOR HEIGHT TAG	FINISH FACE TO FINISH FACE DIMENSION	REVISION CLOUD
REVISION TAG	PAINT TAG	DESIGN ID TAG	DOOR TAG
WINDOW TAG			



## PROJECT INFORMATION

PROJECT DESCRIPTION: 5329 BOUNDARY RD COMMERCIAL DEVELOPMENT, SITE PLAN APPROVAL.  
 LEGAL DESCRIPTION: LOT 21 AND LOT 22 CONCESSION 11  
 ZONING CLASSIFICATION: RH - RURAL HEAVY INDUSTRIAL ZONE

## PROJECT CONTACTS

OWNER: **RKK DEVELOPMENTS INC.**  
 13 SWEET PEA WAY,  
 OTTAWA, ON, K2T 0P2  
 CONTACT: RAJIV MAINI  
 PH: (613)-717-4496  
 EM: KMPETROLEUM@GMAIL.COM

ARCHITECT OF RECORD: **DANIEL JOHNSON ARCHITECT INC.**  
 25 ISABELLA STREET  
 TORONTO, ON, M4Y 1M7  
 CONTACT: AWAIS HAMID  
 PH: (416) 920-0040, (647) 339-6894  
 EM: AHAMID@J-N-ARCH.COM

CIVIL ENGINEERING: **EVB ENGINEERING LTD.**  
 800 SECOND ST. W CORNWALL, ON K6J 1H6  
 CONTACT: JAMIE BAKER / FRANCOIS LAFLEUR  
 PH: (613) 935-3775, EXT. 220 / EXT. 240  
 EM: JAMIE.BAKER@EVBENGINEERING.COM /  
 EM: FRANCOIS.LAFLEUR@EVBENGINEERING.COM

LANDSCAPE ARCHITECT: **LASHLEY + ASSOCIATES CORPORATION**  
 SUITE 202, 950 GLADSTONE AVENUE  
 OTTAWA, ON K1Y 3E6  
 CONTACT: RYAN PAIGE  
 PH: (613) 233 8579  
 EM: RPAIGA@LASHLEYLA.COM

TRANSPORTATION PLANNER: **CASTLEGLENN CONSULTANTS**  
 SUITE 200, 2460 LANCASTER ROAD  
 OTTAWA, ON K1B 4S5  
 PH: (613) 731 4052  
 EM: AKIRILLOV@CASTLEGLENN.CA

## DRAWINGS LIST

SHEET	SHEET TITLE
00 SPA	TITLE PAGE
A000	SURVEY PLAN
A000.1	SITE PLAN
A001	FLOOR PLAN - A&W / CONVENIENCE STORE
A002.0	FLOOR PLANS - STARBUCKS
A002.1	GAS STATION
A002.2	BUILDING SECTION
A003	BUILDING SECTION
A003.1	EXTERIOR ELEVATIONS - A&W / CONVENIENCE STORE
A004	EXTERIOR ELEVATION - STARBUCKS
A004.1	PYLON SIGNAGE
A004.2	PERSPECTIVE VIEWS - CONVENIENCE / A&W
A005.1	PERSPECTIVE VIEWS STARBUCKS
A005.2	PERSPECTIVE - GAS STATIONS
A005.3	
01 CIVIL	
C1.1	SITE REMOVALS PLAN
C1.2	GENERAL SITE PLAN
C1.3	SITE SERVICING PLAN
C1.4	SITE GRADING PLAN
C2.1	SITE SEWAGE WORKS PLANS & DETAILS
C2.2	SITE SEWAGE WORKS DETAILS
C2.3	SITE SEWAGE WORKS PLAN & DETAILS
C2.4	SITE FIRE WATER PLAN & DETAILS
C2.5	SITE SERVICE WATER PLAN & DETAILS
C3.1	DETAILS
C3.2	DETAILS
C3.3	DETAILS - CITY OF OTTAWA
C4.1	O.P.S.D.'S
C4.2	O.P.S.D.'S
02 LANDSCAPE	
L1-1	LANDSCAPE PLAN
L-TP1	PRE-DEVELOPMENT VEGETATION
L-TP2	POST - DEVELOPMENT VEGETATION

## PROJECT STATISTICS

**ZONING BY LAW:** RURAL HEAVY INDUSTRIAL ZONE [RH]

**AREA OF THE SITE:** 93384.59 SQ-FT (8675.71 SQ-M)

ZONING MECHANISMS	PROVISIONS REQUIRED	PROVISION PROVIDED
MINIMUM LOT WIDTH (M)	50	8675
MINIMUM LOT AREA (M2)	8,000	PROVIDED, REFER TO THE DRAWING
MINIMUM FRONT YARD SETBACK (M)	15	PROVIDED, REFER TO THE DRAWING
MINIMUM REAR YARD SETBACK (M)	15	PROVIDED, REFER TO THE DRAWING
MINIMUM INTERIOR SIDE YARD SETBACK (M)	3	PROVIDE, REFER TO THE DRAWING
-ABUTTING AN INDUSTRIAL ZONE	10	NOT APPLICABLE
-OTHER CASES	15	NOT APPLICABLE
MINIMUM CORNER SIDE YARD SETBACK (M)	15	PROVIDED, REFER TO ELEVATIONS
MAXIMUM PRINCIPAL BUILDING HEIGHT (M)	15	10% COVERED
MAXIMUM LOT COVERAGE (%)	50	

**OUTDOOR STORAGE**  
 (A) OUTSIDE STORAGE IS NOT PERMITTED WITHIN ANY REQUIRED FRONT YARD OR CORNER SIDE YARD.

(B) OUTSIDE STORAGE MUST BE SCREENED FROM ABUTTING RESIDENTIAL USES AND PUBLIC STREETS BY AN OPAQUE SCREEN AT LEAST 1.8 METRES IN HEIGHT FROM FINISHED GRADE

### REQUIRED PARKING:

USE	AREA	RATES [AREA C ON SCHEDULE]	SPACES
QUICK-SERVE RESTAURANT (CRU1)	167 M2	10 SPACES/100M2	17
CONVENIENCE STORE (CRU2)	274 M2	3.4 SPACES/100M2	10
QUICK-SERVE RESTAURANT (CRU3)	167 M2	10 SPACES/100M2	17

TOTAL PARKING SPACES REQUIRED = 44  
 (RATES TAKEN FROM CITY OF OTTAWA ZONING BY-LAW 2008-250, SECTION 100-114)

ACCESSIBLE PARKING REQUIRED\* = 2 REQUIRED, PROVIDED 3 [1 \*TYPE A\* + 2 \*TYPE B\*]  
 (AS PER O. REG. 191/11 — ITEM 80.38)

\* ACCESSIBLE PARKING IS INCLUDED IN REQUIRED TOTAL PARKING.

### PROVIDED PARKING:

PARKING PROVIDED = 44

PARKING SPACE DIMENSIONS ARE 2.6 M X 5.2 M, EXCEPT WHERE OTHERWISE INDICATED.

Rev	Date	By	Description
2	21-10-22	AW	ISSUED FOR SPA
3	22-03-21	AW	ISSUED FOR SPA REV 1

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CONSULTANTS

**Castleglenn Consultants**  
 Engineers, Project Managers & Planners

**LASHLEY + ASSOCIATES**  
 LANDSCAPE ARCHITECTURE AND SITE ENGINEERING

**EVB ENGINEERING**  
 800 2nd Street West  
 Cornwall, Ontario  
 K6J 1H6

STAMP

ONTARIO ASSOCIATION OF ARCHITECTS  
 DANIEL RICHARD JOHNSON  
 LICENCE 5265

ARCHITECT OF RECORD

**DJA** Daniel Johnson Architect Inc.  
 25 Isabella Street  
 Toronto, Ontario, M4Y 1M7  
 P 416-920-0040

PROJECT NAME:  
**5329 BOUNDARY RD. COMMERCIAL DEVELOPMENT**

PROJECT ADDRESS:  
**5329 BOUNDARY RD.  
 OTTAWA, ON K4B 1P6**

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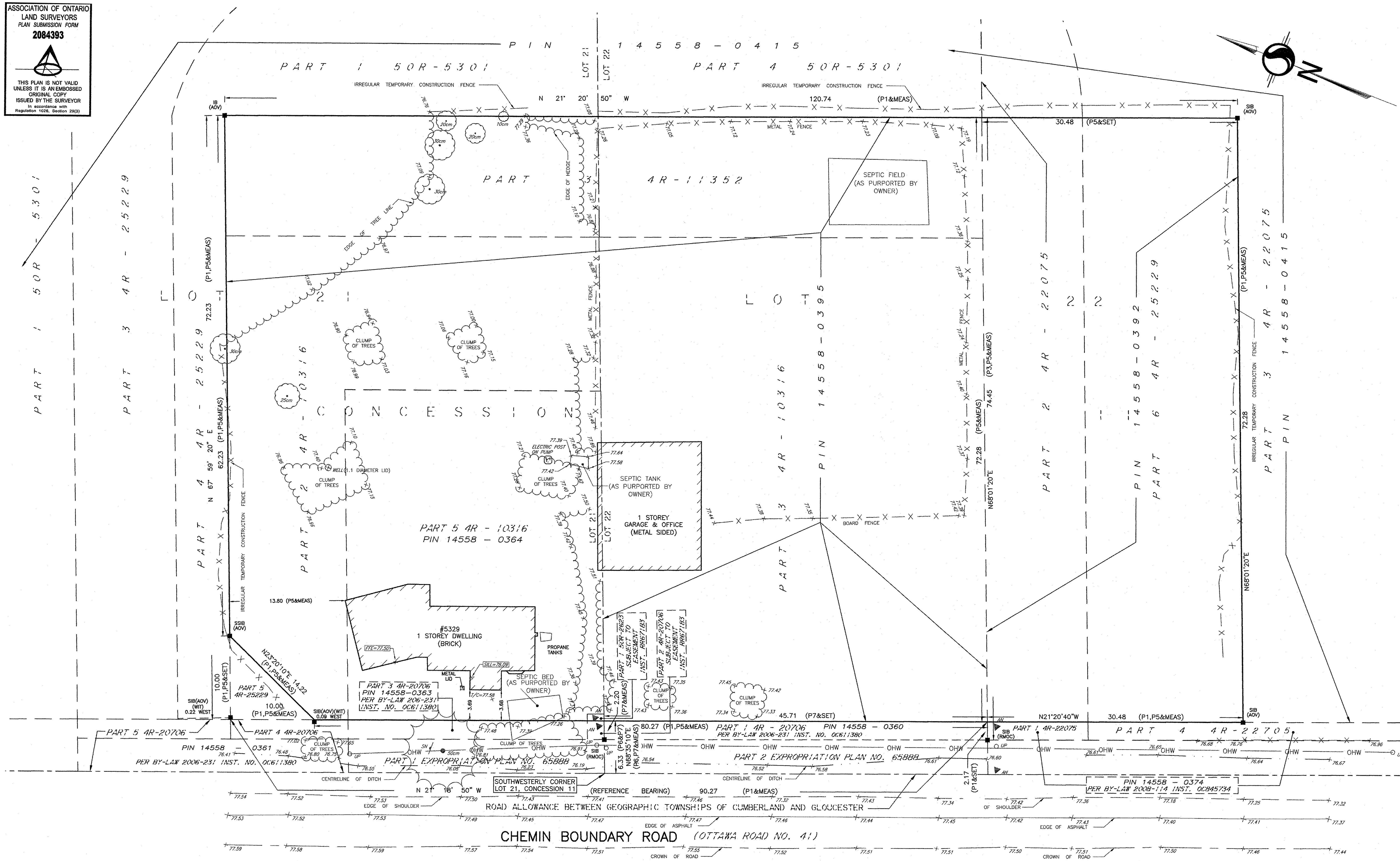
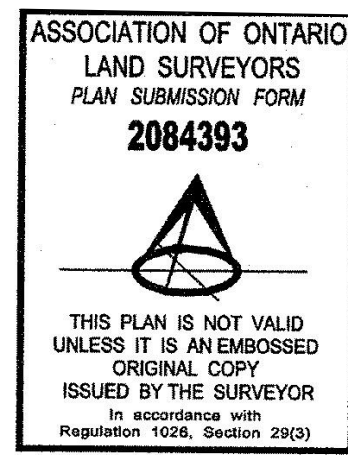
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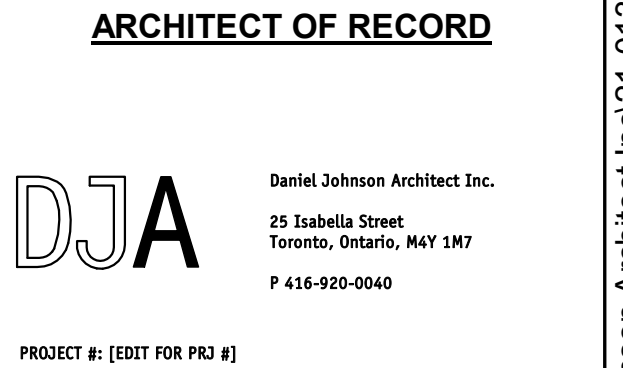
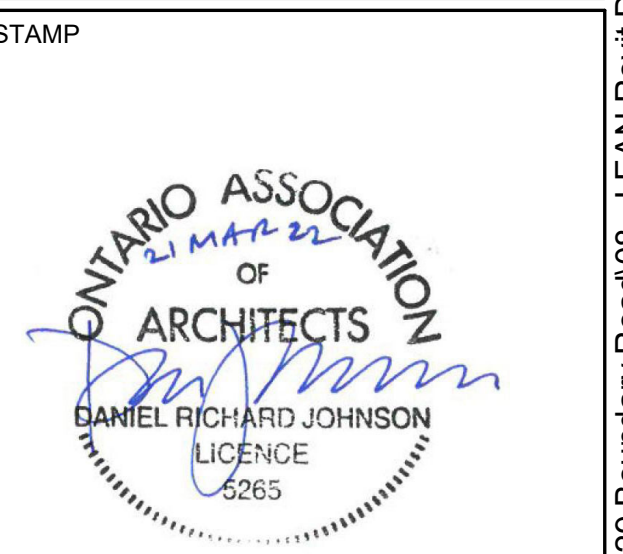
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1 SURVEY PLAN  
SCALE: 1/2" = 1'-0"

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SHEET TITLE:  
**SURVEY PLAN**

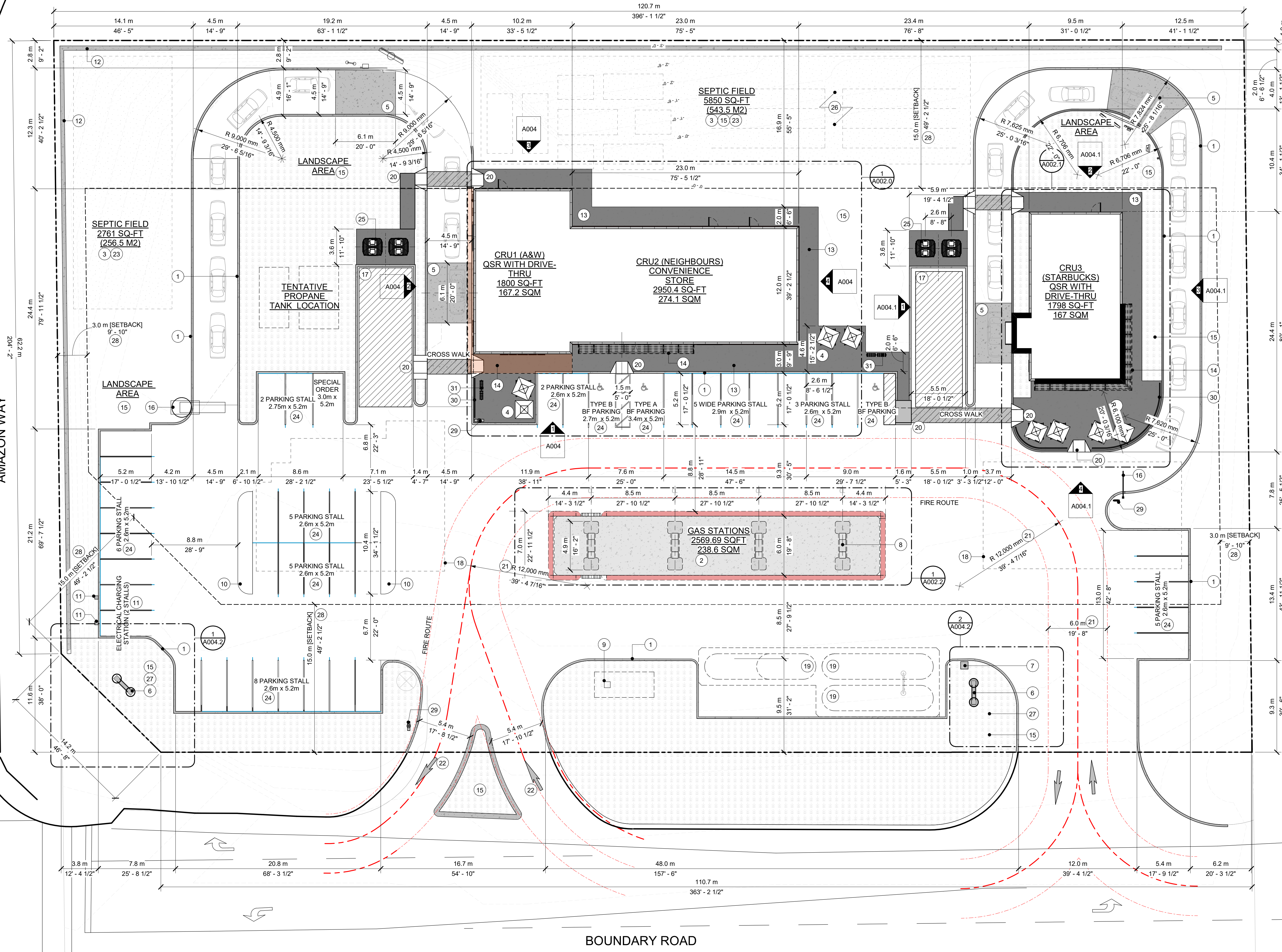
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SHEET NUMBER:  
**A000.1**



**KEYED NOTES**

1. CONCRETE CURB.
2. GAS STATION CANOPY.
3. SEPTIC FIELD AS INDICATED. REFER C2.1 FOR MORE INFORMATION.
4. OUTDOOR PATIO SEATING.
5. DRIVE THRU CONCRETE PAD.
6. PYLON SIGNAGE.
7. TIRE INFLATOR.
8. GAS STATIONS.
9. NEW FIRE HYDRANT AND FIRE TANK. REFER TO C2.4 FOR MORE INFORMATION.
10. PAINTED ASPHALT. REFER TO C1.2 FOR MORE INFORMATION.
11. DEDICATED PARKING FOR CHARGING STATIONS 2 QTY.
12. NEW CONCRETE CAST IN PLACE RETAINING WALLS. REFER TO C1.2 FOR MORE INFORMATION.
13. CONCRETE SIDE WALK AROUND THE BUILDING.
14. STEEL CANOPY.
15. LANDSCAPE AREA. REFER TO LANDSCAPE DRAWING FOR MORE INFORMATION.
16. DRIVE THRU CLEARANCE BAR.
17. GARBAGE UNLOADING AREA.
18. UNDERGROUND STORMTECH SYSTEM. REFER TO C1.3 FOR MORE INFORMATION.
19. UNDERGROUND PETROLEUM TANK.
20. CURB RAMPS.
21. FIRE ROUTE COMPLIANT WITH 2012 OBC, DIV.B, 3.2.5.6(1)(E), FIRE TRUCK TURNING RADII TO BE 12M AT CENTER LINE, WIDTH TO BE 6M.
22. RIGHT-IN / RIGHT-OUT AT NORTH ENTRANCE.
23. NEW SEPTIC SYSTEM REFER TO DRAWING C2.1 FOR DETAILS.
24. PARKING AREAS DIMENSIONED.
25. GARBAGE / EARTH BIN RECYCLING SYSTEMS.
26. NATIVE WILD FLOWERS AREA. REFER TO LANDSCAPE PLAN FOR MORE INFORMATION.
27. SHRUB PLANTATION, REFER TO LANDSCAPE PLAN L1-1 FOR MORE INFORMATION.
28. ZONING SETBACK IDENTIFIED IN THE SITE PLAN VIEW.
29. DIRECTIONAL SIGNS.
30. GUARD RAIL AS INDICATED.
31. BIKE STAND.

Revision Schedule			
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800 2nd Street West  
Cornwall, Ontario  
K6J 1H6

ONTARIO ASSOCIATION OF ARCHITECTS  
DANIEL RICHARD JOHNSON  
LICENCE 5265

ARCHITECT OF RECORD

**DJA** Daniel Johnson Architect Inc.  
25 Isabella Street  
Toronto, Ontario, M4Y 1K7  
P 416-910-0640

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OTTAWA, ON K4B 1P6**

SHEET TITLE:  
**SITE PLAN**

SCALE: AS SHOWN

ISSUE DATE: 21-10-07

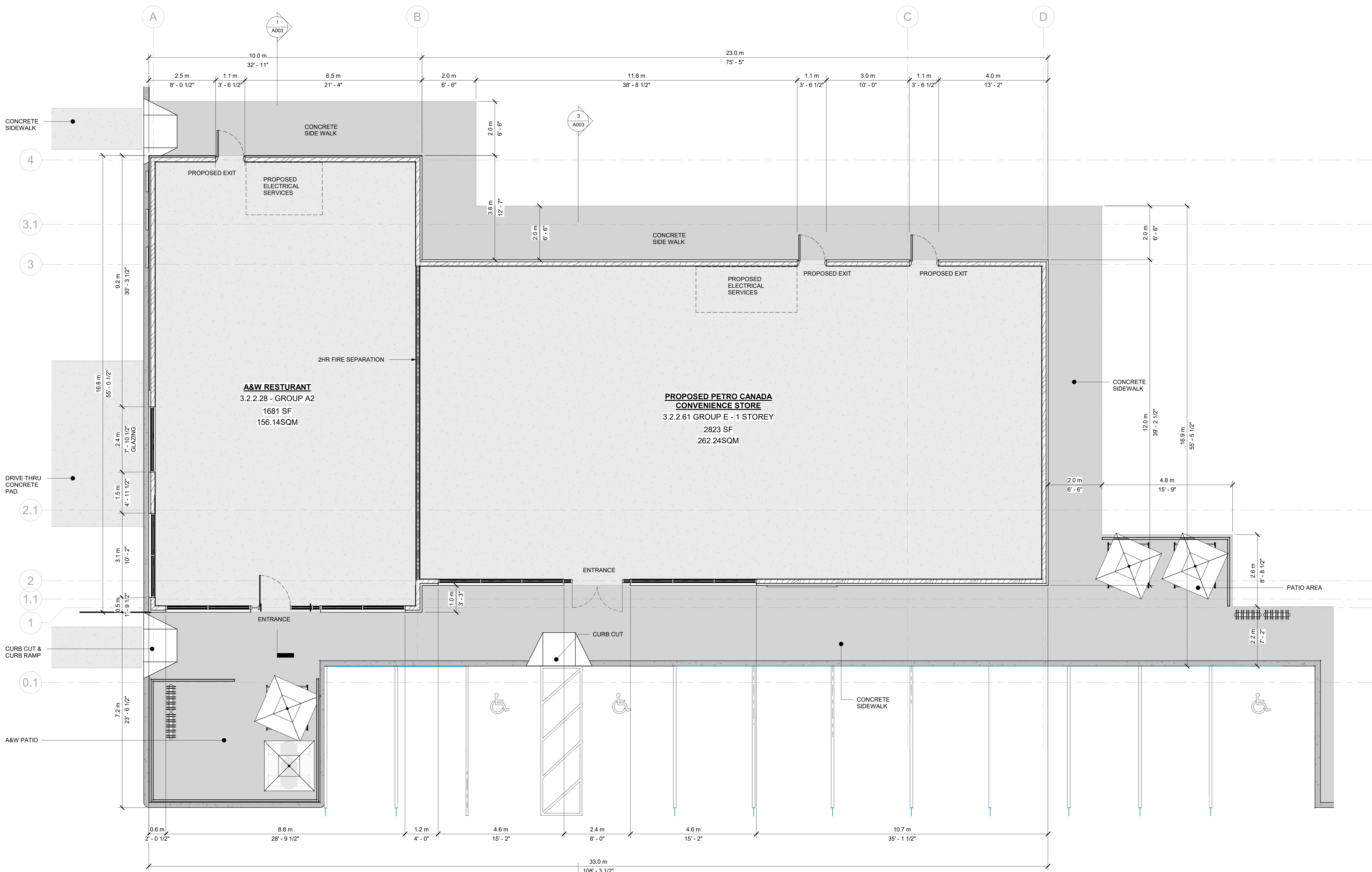
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**A001**

**1 SITE PLAN**  
SCALE: 1/16" = 1'-0"

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**1 1ST FLOOR - PROPOSED FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

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**EVB ENGINEERING**  
890 2nd Street West  
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OTTAWA, ON K4B 1P6**

SHEET TITLE:  
**FLOOR PLAN - A&W /  
CONVENIENCE STORE**

SCALE: AS SHOWN

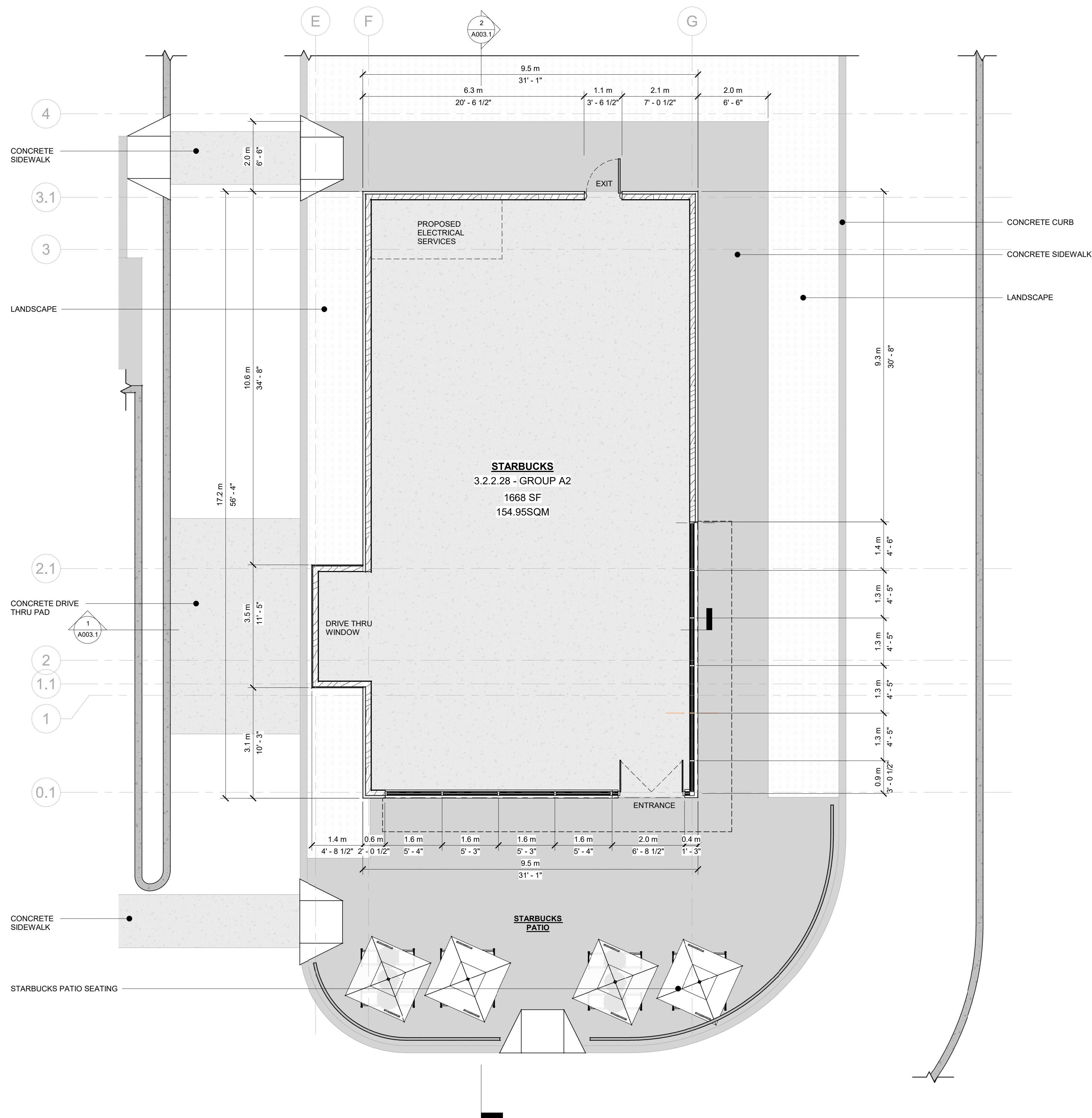
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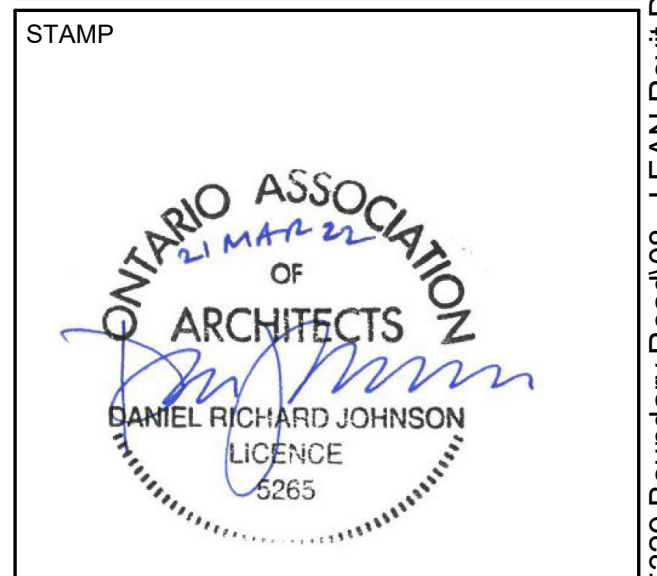


**1** 1ST FLOOR - PROPOSED FLOOR PLAN  
SCALE: 3/16" = 1'-0"

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 25 Isabella Street  
 Toronto, Ontario, M4Y 1M7  
 P 416-920-0640  
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SHEET TITLE:  
**FLOOR PLANS - STARBUCKS**

SCALE: AS SHOWN

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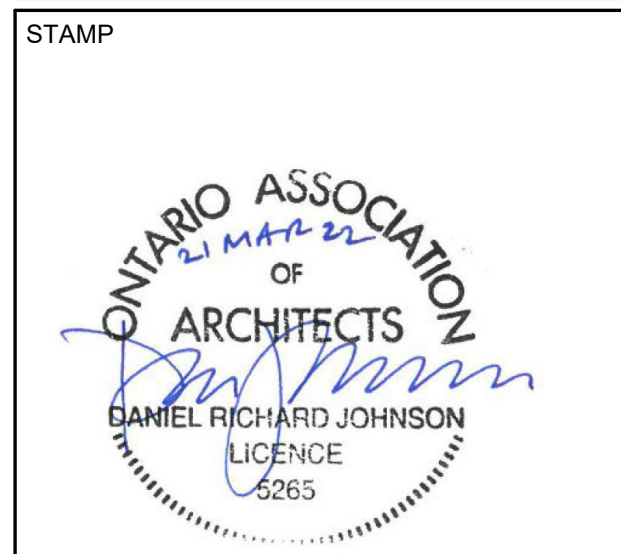
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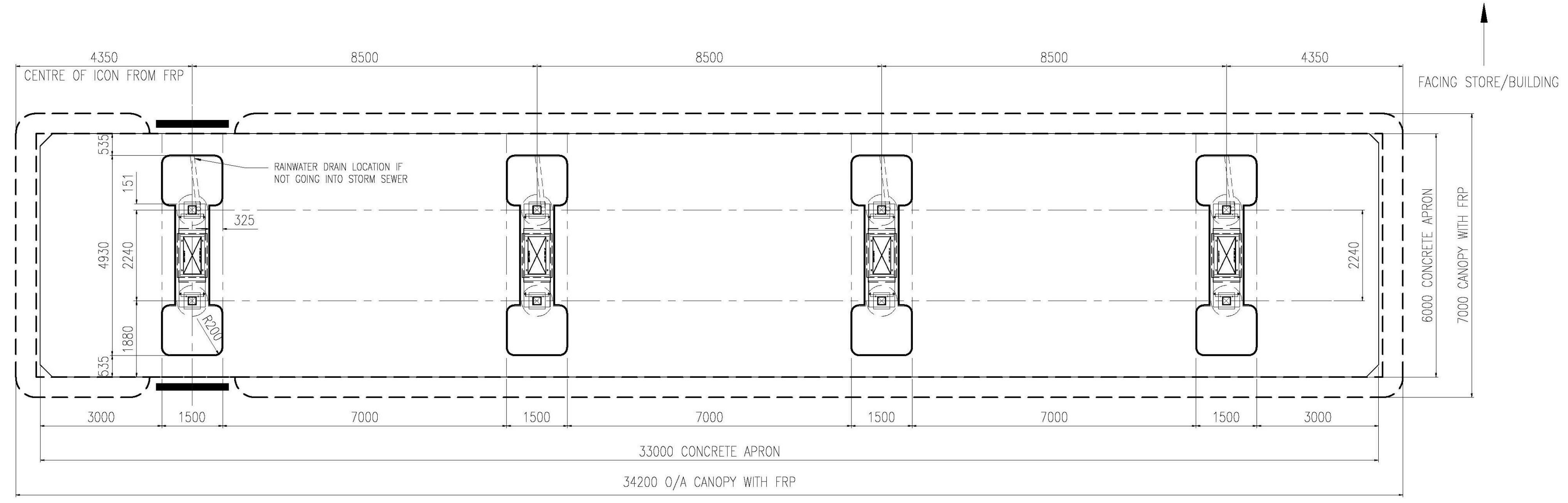
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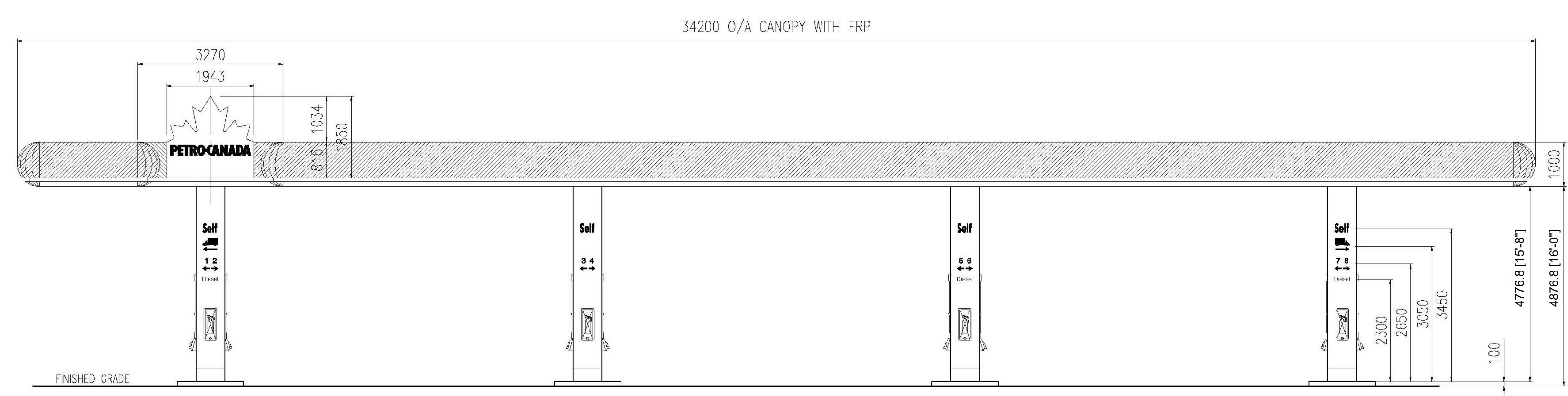
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**GAS STATION**  
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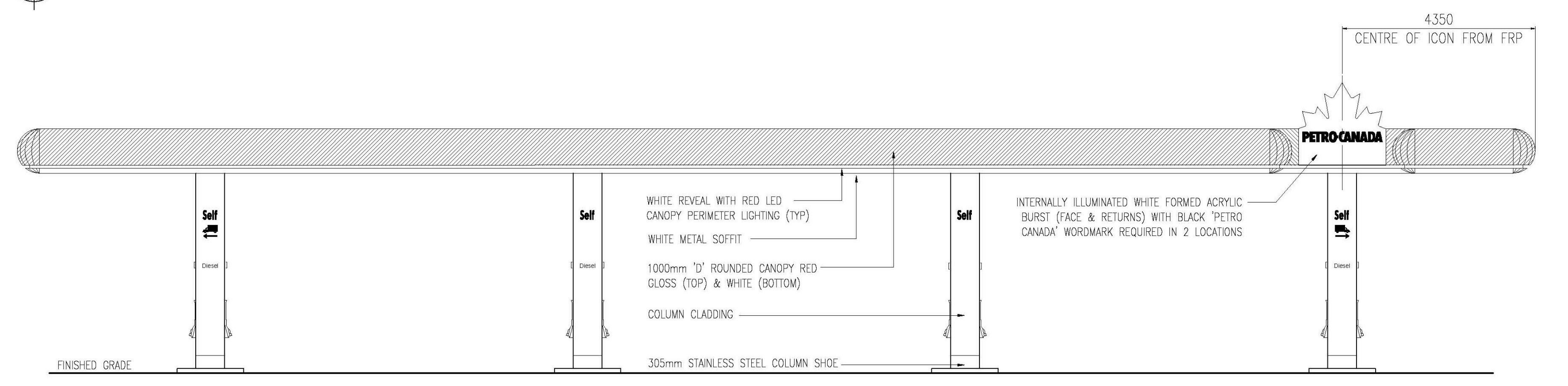
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1 CANOPY PLAN VIEW  
 scale 1:75

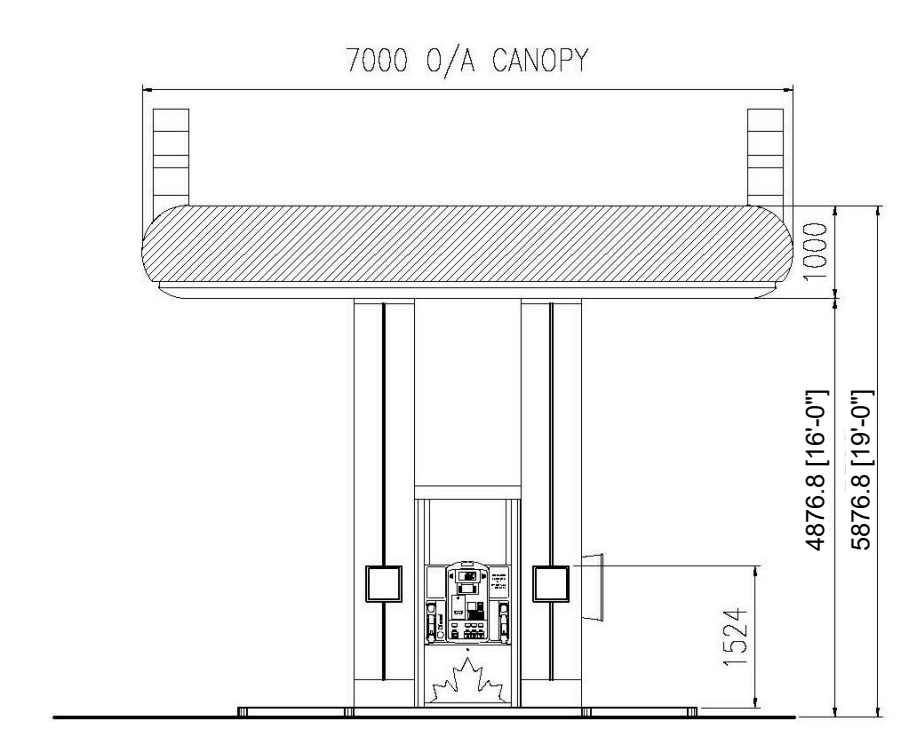


2 WEST ELEVATION  
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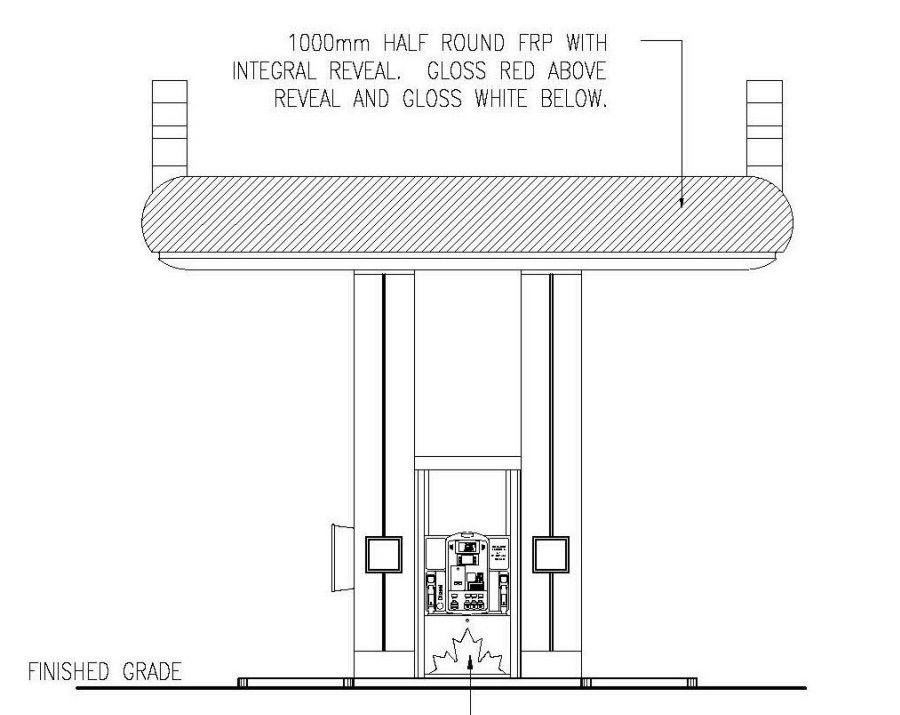


3 EAST ELEVATION  
 scale 1:75

1 GAS STATION LAYOUT  
 SCALE: 1/2" = 1'-0"

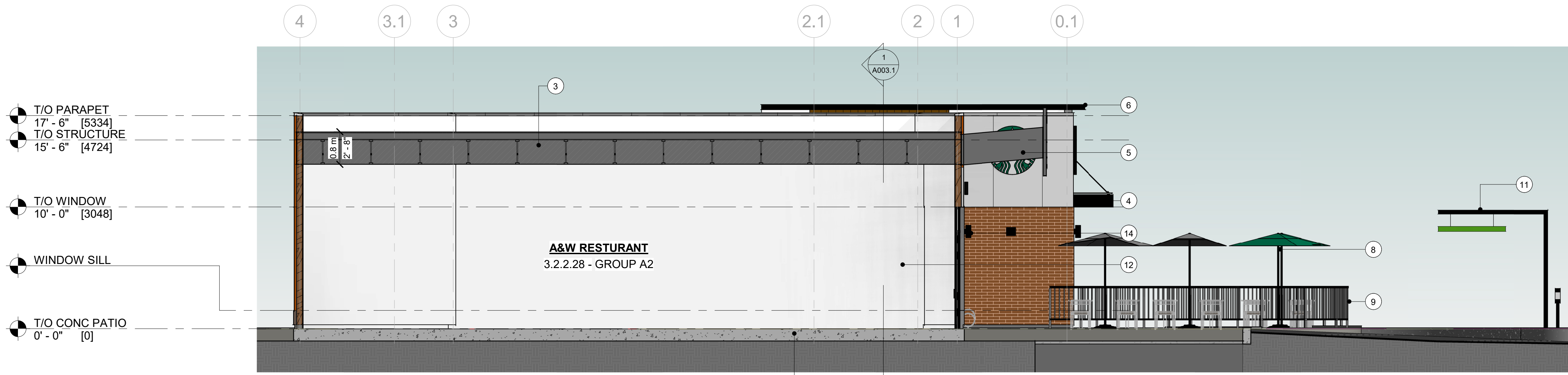


4 NORTH ELEVATION  
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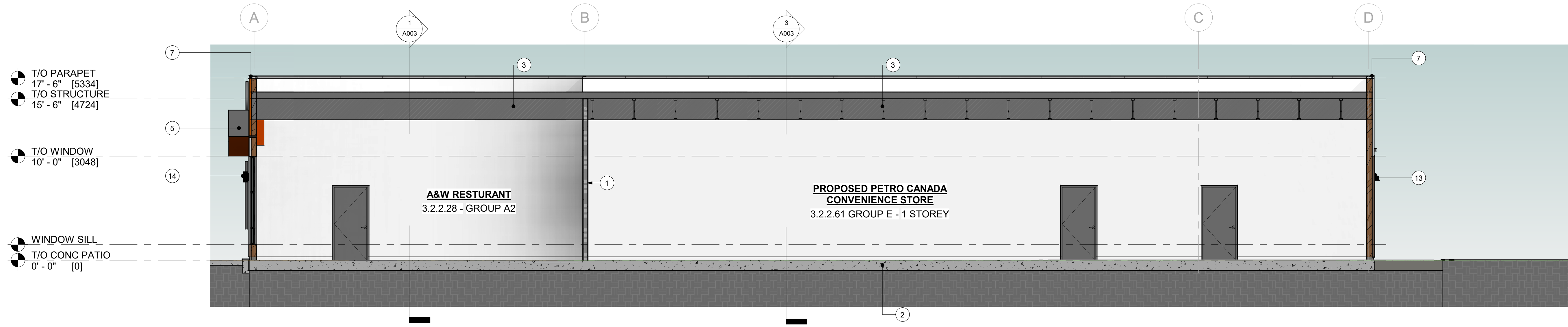


5 SOUTH ELEVATION  
 scale 1:75

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**1 CROSS SECTION**  
SCALE: 3/16" = 1'-0"



**2 LONGITUDINAL SECTION**  
SCALE: 3/16" = 1'-0"



**3 CROSS SECTION 2**  
SCALE: 3/16" = 1'-0"

**KEYED NOTES**

1. 2 HR FIRE RATED WALL.
2. CONCRETE SLAB ON GRADE.
3. FLAT ROOF WITH I JOIST FRAMING.
4. STEEL CANOPY STRUCTURE, FINISH BLACK.
5. PREFINISHED SHEET METAL FRAMING TO FORM A&W BOOMERANG, FINISH: ORANGE.
6. PARAPET WITH INTEGRATED LED POT LIGHTING.
7. PARAPET WITH SHEET METAL COPING.
8. SITE FURNITURE.
9. PATIO GUARD RAILING.
10. CURTAIN WALL GLAZING.
11. DRIVE THRU CLEARANCE BAR.
12. ENTRANCE DOOR.
13. SECURITY LIGHT FIXTURES 8'-0" O.C.
14. WALL SCONCES AT 8'-0" O.C.

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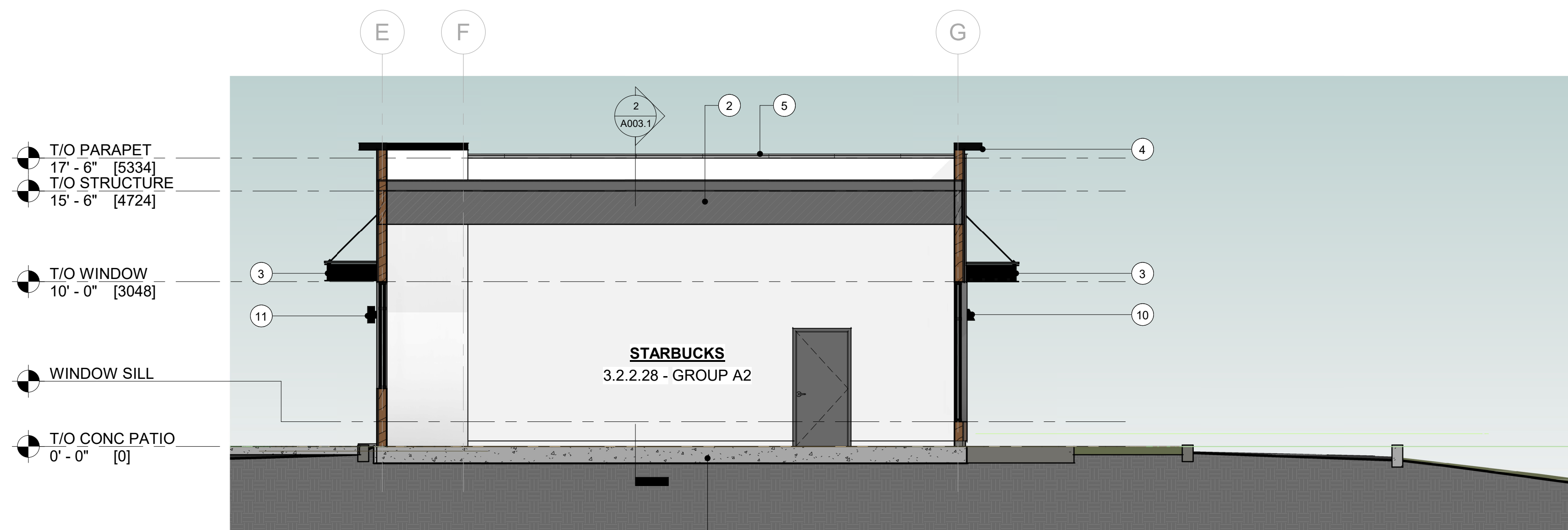
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OTTAWA, ON K4B 1P6**

SHEET TITLE:  
**BUILDING SECTION**

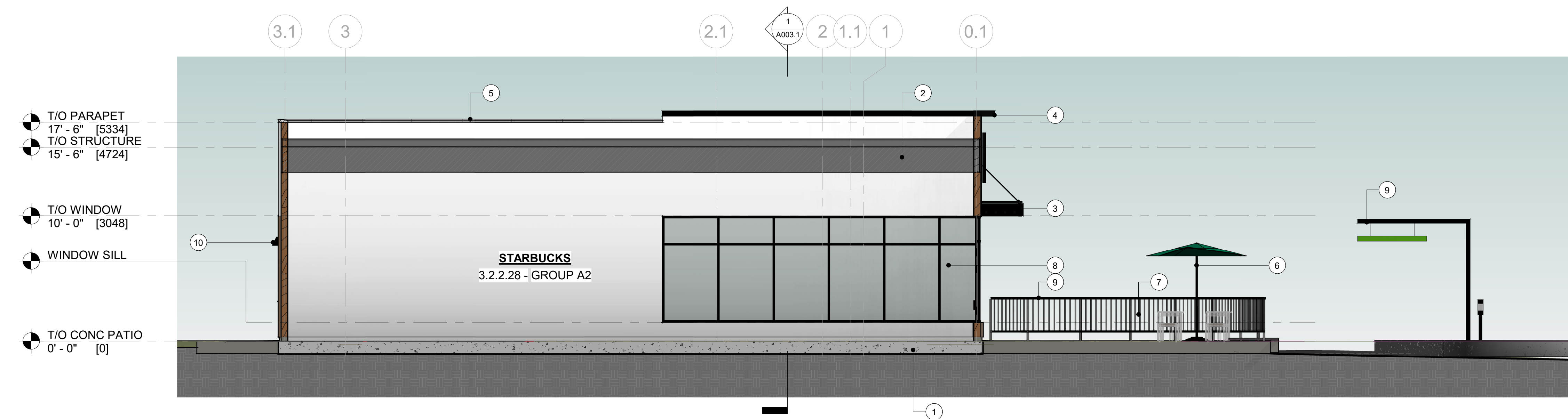
SCALE: AS SHOWN

ISSUE DATE: 21-10-07  
DRAWN: AW  
CHECKED BY: DJ

SHEET NUMBER:  
**A003**



**1 CROSS SECTION**  
SCALE: 3/16" = 1'-0"



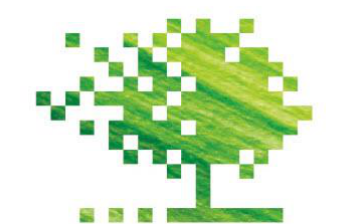
**2 LONGITUDINAL SECTION**  
SCALE: 3/16" = 1'-0"

**KEYED NOTES**

1. SLAB ON GRADE.
2. FLAT ROOF WITH I JOIST FRAMING.
3. STEEL CANOPY STRUCTURE WITH GLAZING, FINISH BLACK.
4. PARAPET WITH INTEGRATED LED POT LIGHTING.
5. PARAPET WITH SHEET METAL COPING.
6. SITE FURNITURE.
7. PATIO GUARD RAILING.
8. CURTAIN WALL GLAZING.
9. DRIVE THRU CLEARANCE BAR.
10. SECURITY LIGHT FIXTURES 8'-0" O.C.
11. WALL SCONCES AT 8'-0" O.C.

Revision Schedule			
Rev	Date	By	Description
2	21-10-22	AW	ISSUED FOR SPA
3	22-03-21	AW	ISSUED FOR SPA REV 1

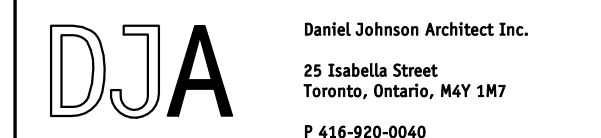
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ARCHITECT OF RECORD



PROJECT #: [EDIT FOR P&I #]

PROJECT NAME:  
**5329 BOUNDARY RD. COMMERCIAL DEVELOPMENT**

PROJECT ADDRESS:  
**5329 BOUNDARY RD. OTTAWA, ON K4B 1P6**

SHEET TITLE:  
**BUILDING SECTION**

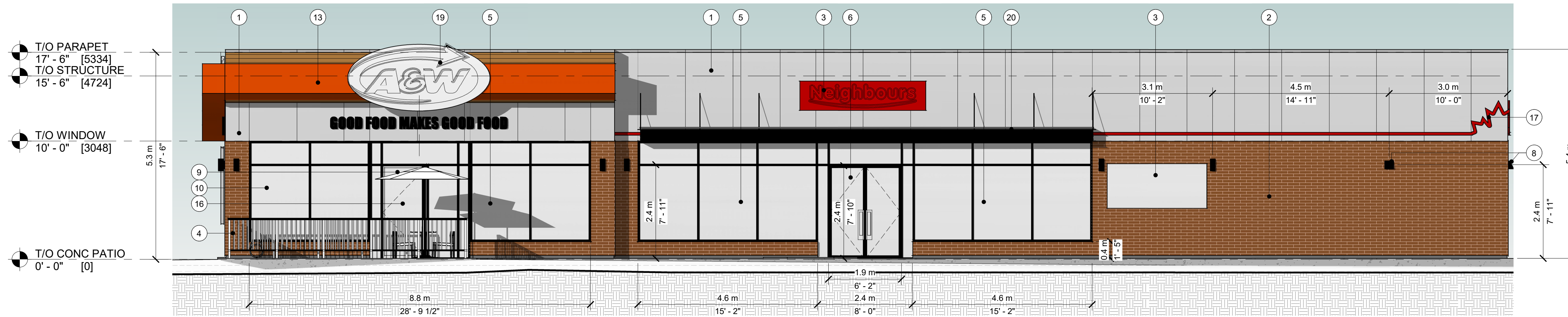
SCALE: AS SHOWN

ISSUE DATE: 21-10-07

DRAWN: AW

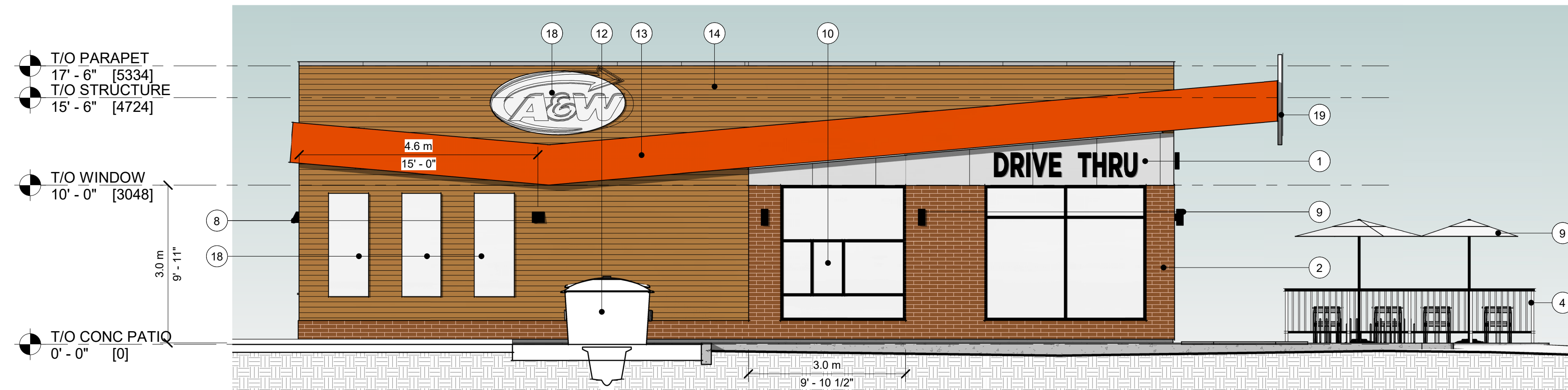
CHECKED BY: DJ

SHEET NUMBER:  
**A003.1**



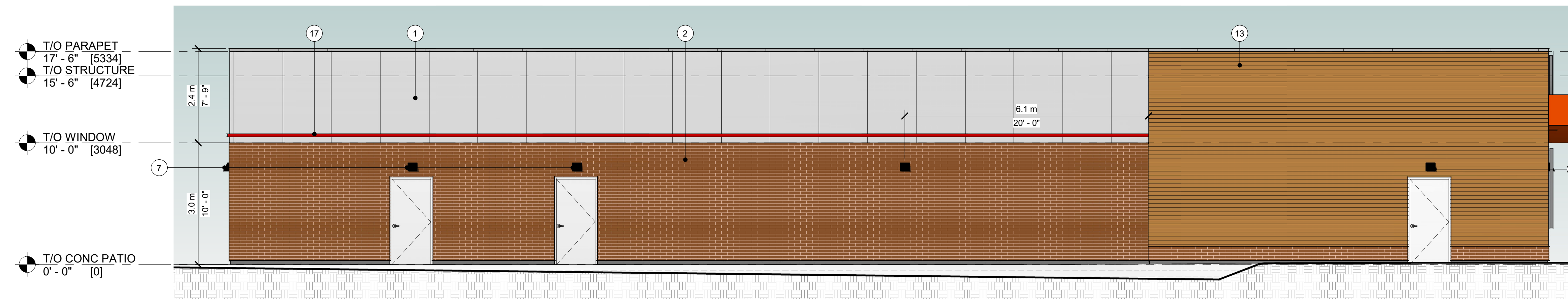
1 WEST ELEVATION - CONVENIENCE STORE

SCALE: 3/16" = 1'-0"



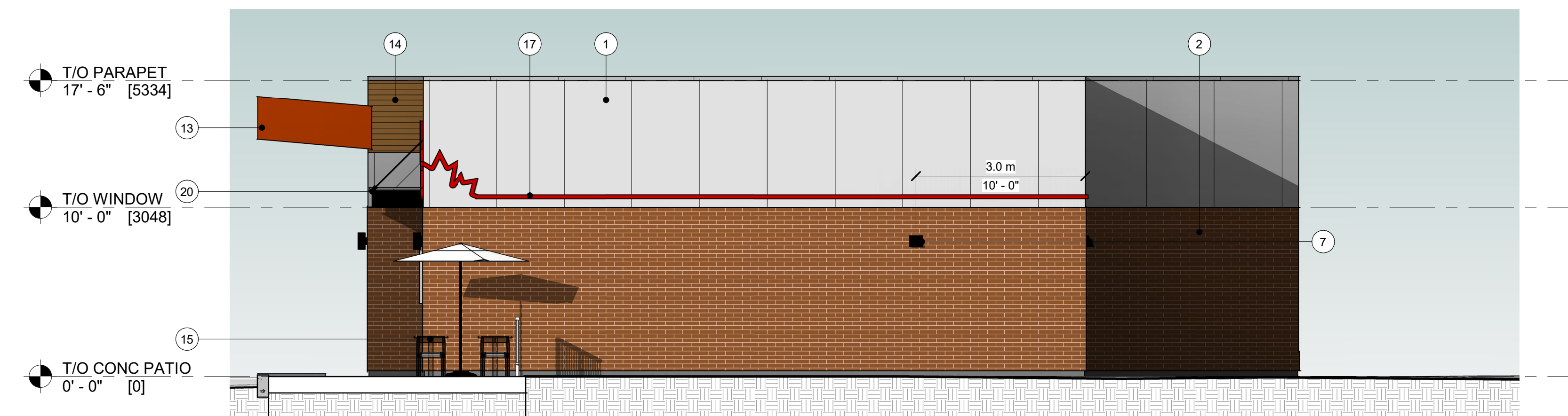
2 NORTH ELEVATION - CONVENIENCE STORE

SCALE: 3/16" = 1'-0"



3 EAST ELEVATION - CONVENIENCE STORE

SCALE: 3/16" = 1'-0"



4 SOUTH ELEVATION - CONVENIENCE STORE

SCALE: 3/16" = 1'-0"

**KEYED NOTES**

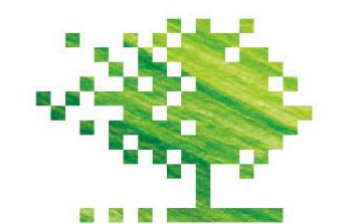
1. ALUMINUM CLADDING, FINISH PCP WHITE.
2. EXTERIOR BRICK FINISH.
3. NEIGHBOURS ILLUMINATED SIGNAGE.
4. PATIO GUARD RAILING.
5. CURTAIN WALL GLAZING.
6. ENTRANCE DOOR TO THE CONVENIENCE STORE.
7. SECURITY LIGHT FIXTURES 8'-0" O/C.
8. WALL SCONCES AT 8'-0" O/C.
9. SITE FURNISHING.
10. DRIVE THRU WINDOW.
11. SITE GUARD RAIL.
12. EARTH BINS.
13. A&W BOOMERANG, PRE FINISHED ALUMINUM COMPOSITE MATERIAL WITH HIDDEN FASTENER.
14. A&W EXTERIOR PANEL, PRE FINISHED ALUMINUM COMPOSITE MATERIAL WITH HIDDEN FASTENER.
15. PATIO SEATING.
16. ENTRANCE DOOR TO A&W RESTAURANT.
17. PETRO CANADA RED BAND SIGNAGE.
18. A&W WALL MOUNTED GRAPHICS ILLUMINATED SIGNAGE.
19. A&W BOOMERANG MOUNTED GRAPHICS ILLUMINATED SIGNAGE.
20. STEEL CANOPY SHADING STRUCTURE WITH GLAZING FOR WEATHER PROTECTION.

**Revision Schedule**

Rev	Date	By	Description
2	21-10-22	AW	ISSUED FOR SPA
3	22-03-21	AW	ISSUED FOR SPA REV 1

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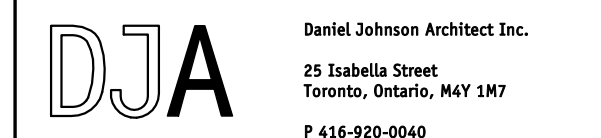
**CONSULTANTS**



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**ARCHITECT OF RECORD**



PROJECT #: (EDIT FOR PRJ #)

PROJECT NAME:

**5329 BOUNDARY RD. COMMERCIAL DEVELOPMENT**

PROJECT ADDRESS:  
**5329 BOUNDARY RD. OTTAWA, ON K4B 1P6**

SHEET TITLE:

**EXTERIOR ELEVATIONS - A&W / CONVENIENCE STORE**

SCALE: AS SHOWN

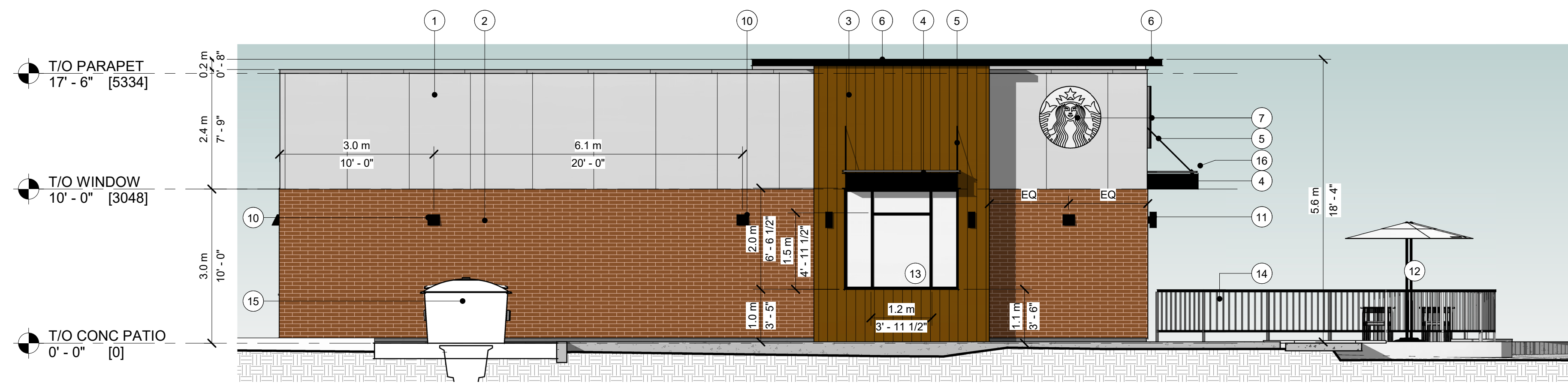
ISSUE DATE: 21-10-07

DRAWN: AW

CHECKED BY: DJ

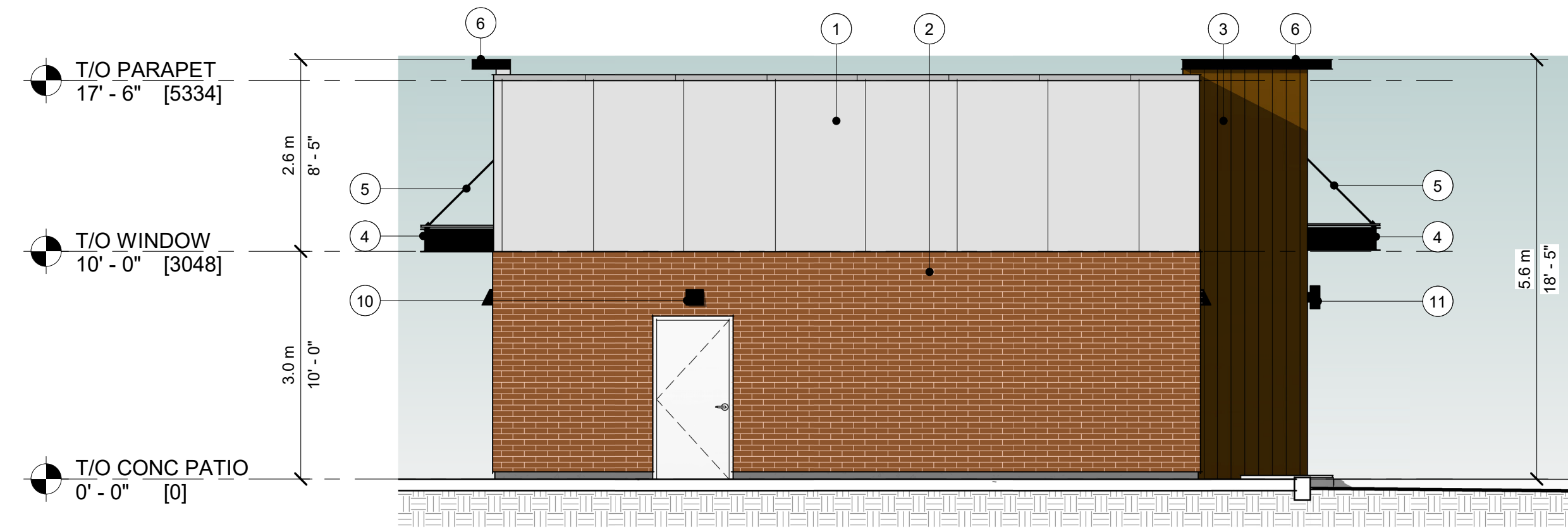
SHEET NUMBER:

**A004**



1 NORTH ELEVATION - STARBUCKS

SCALE: 3/16" = 1'-0"



2 EAST ELEVATION - STARBUCKS

SCALE: 3/16" = 1'-0"



3 SOUTH ELEVATION - STARBUCKS

SCALE: 3/16" = 1'-0"



4 WEST ELEVATION - STARBUCKS

SCALE: 3/16" = 1'-0"

**KEYED NOTES**

1. ALUMINUM CLADDING, FINISH PCP WHITE.
2. EXTERIOR BRICK FINISH.
3. VERTICAL WOODEN SLATS, FINISH GOBI - SHOU SUGI BAN.
4. STEEL CANOPY SHADING STRUCTURE WITH GLAZING FOR WEATHER PROTECTION.
5. STEEL CANOPY CABLE CONNECTIONS.
6. PARAPET WITH INTEGRATED LED POT LIGHTING.
7. STARBUCKS ILLUMINATED SIGNAGE.
8. CURTAIN WALL GLAZING.
9. ENTRANCE DOOR.
10. SECURITY LIGHT FIXTURES 8'-0" O/C.
11. WALL SCONCES AT 8'-0" O/C.
12. SITE FURNISHING.
13. DRIVE THRU WINDOW, 3' 6" FROM EXTERIOR FINISH GRADE.
14. SITE GUARD RAIL.
15. EARTH BINS.
16. DRIVE THRU DIRECTIONAL SIGN ON THE CANOPY.

**Revision Schedule**

Rev	Date	By	Description
2	21-10-22	AW	ISSUED FOR SPA
3	22-03-21	AW	ISSUED FOR SPA REV 1

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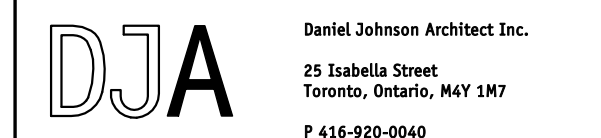
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**ARCHITECT OF RECORD**



PROJECT #: (EDIT FOR PRJ #)

PROJECT NAME:

**5329 BOUNDARY RD. COMMERCIAL DEVELOPMENT**

PROJECT ADDRESS:

**5329 BOUNDARY RD. OTTAWA, ON K4B 1P6**

SHEET TITLE:

**EXTERIOR ELEVATION - STARBUCKS**

SCALE: AS SHOWN

ISSUE DATE: 21-10-07

DRAWN: AW

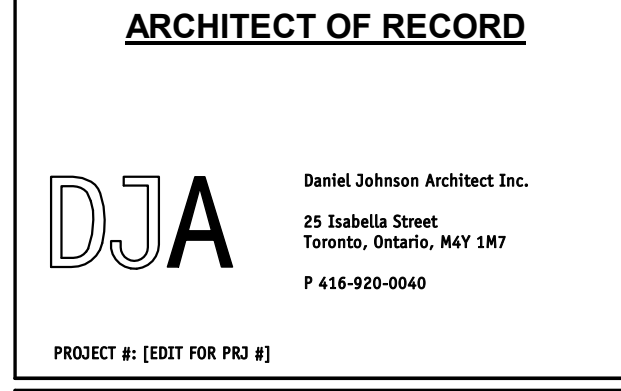
CHECKED BY: DJ

SHEET NUMBER:

**A004.1**

Revision Schedule			
Rev	Date	By	Description
2	21-10-22	AW	ISSUED FOR SPA

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**5329 BOUNDARY RD. COMMERCIAL DEVELOPMENT**

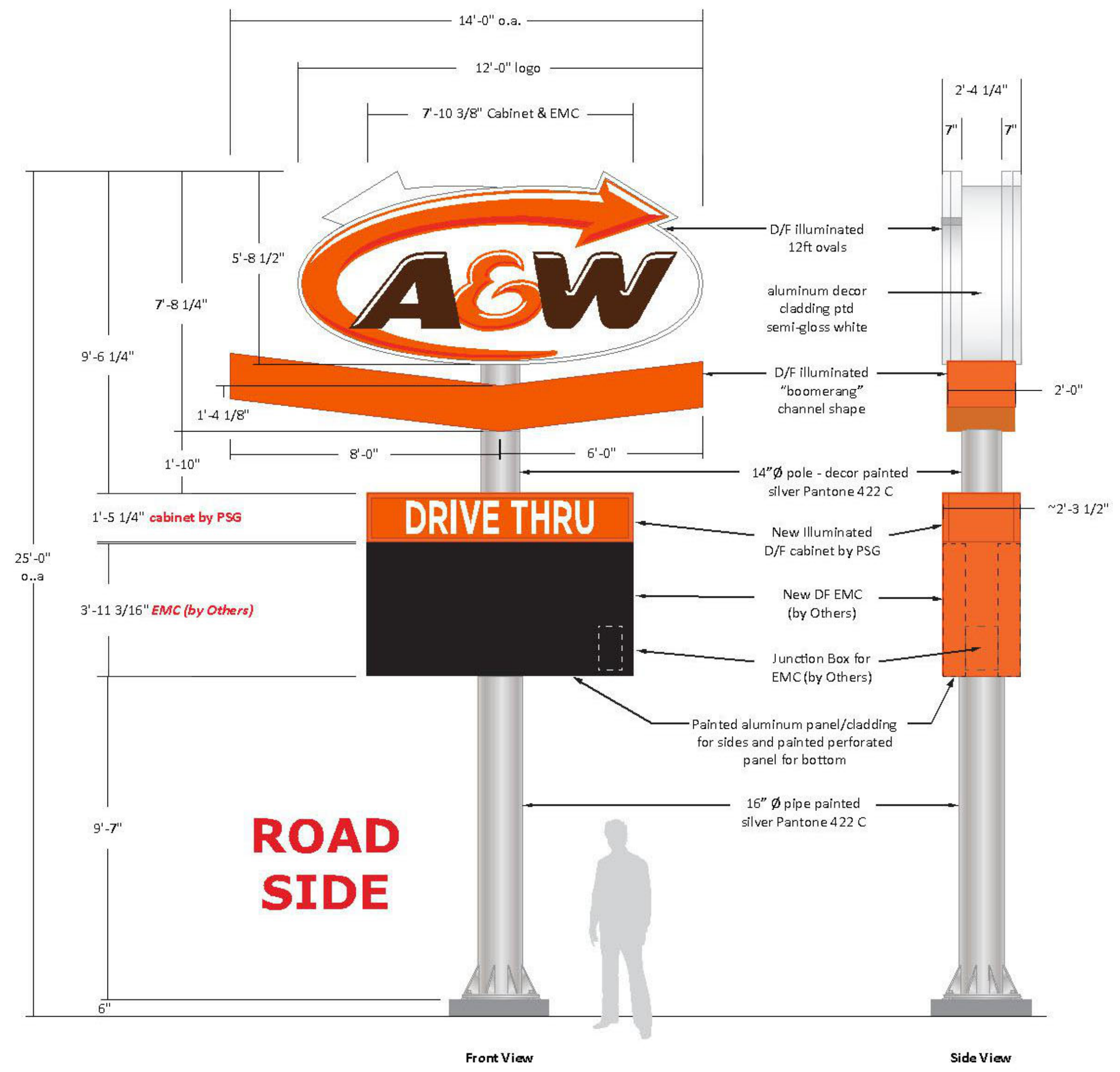
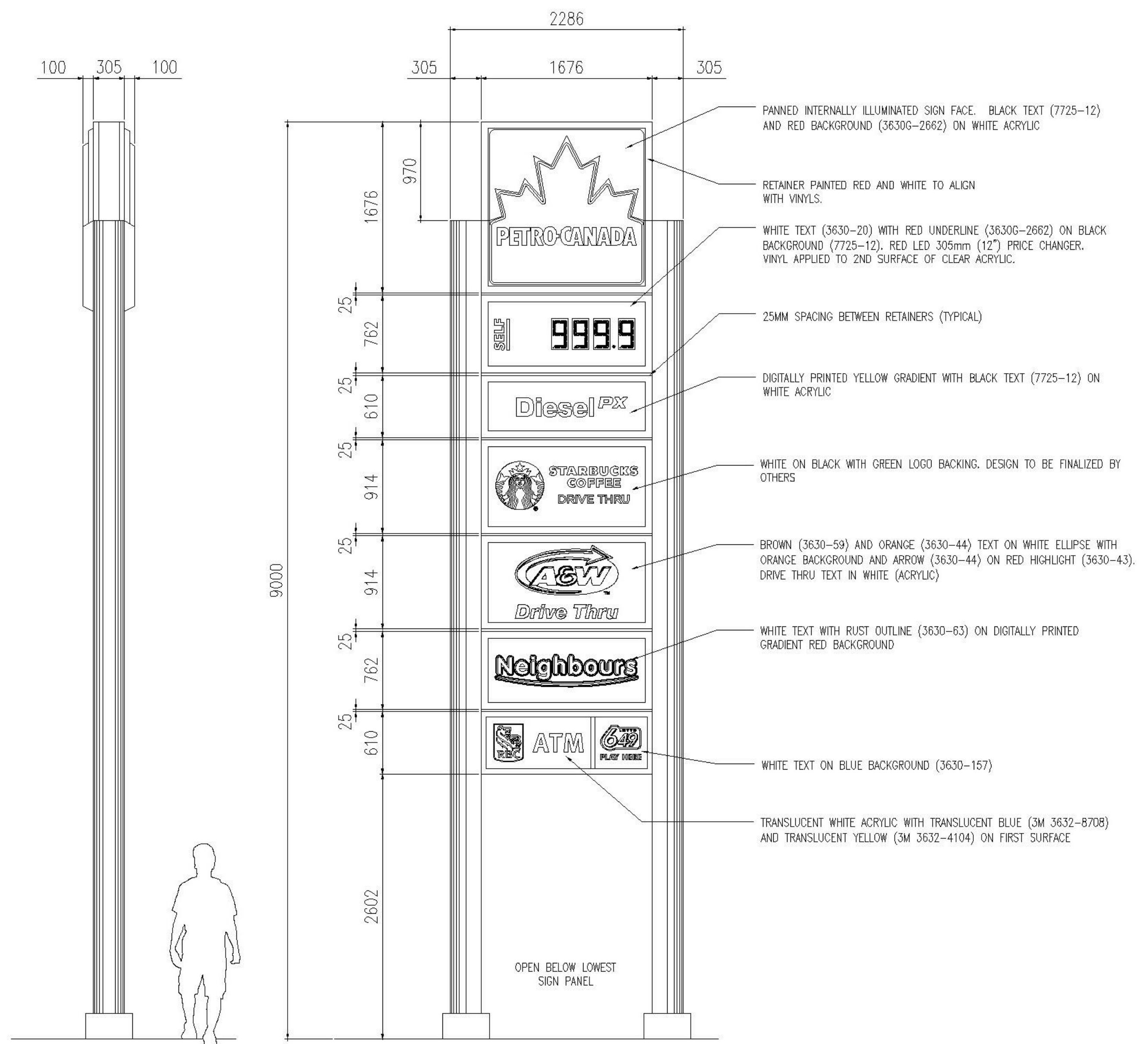
PROJECT ADDRESS:  
**5329 BOUNDARY RD. OTTAWA, ON K4B 1P6**

SHEET TITLE:  
**PYLON SIGNAGE**

SCALE: AS SHOWN

ISSUE DATE: 21-10-07  
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SHEET NUMBER:  
**A004.2**



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1 CONVENIENCE / A&W - PERSPECTIVE 1  
SCALE: 1 1/2" = 1'-0"



2 CONVENIENCE / A&W - PERSPECTIVE 2  
SCALE: 1 1/2" = 1'-0"




Revision Schedule			
Rev	Date	By	Description
2	21-10-22	AW	ISSUED FOR SPA
3	22-03-21	AW	ISSUED FOR SPA REV 1


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CONSULTANTS  
 **Castleglen Consultants**  
 Engineers, Project Managers & Planners

  
**LASHLEY + ASSOCIATES**  
 LANDSCAPE ARCHITECTURE AND SITE ENGINEERING

 **EVB ENGINEERING**  
 890 2nd Street West  
 Cornwall, Ontario  
 K6J 1H6

STAMP  
  
 ONTARIO ASSOCIATION OF ARCHITECTS  
 DANIEL RICHARD JOHNSON  
 LICENCE 5265

**ARCHITECT OF RECORD**  
 Daniel Johnson Architect Inc.  
 25 Isabella Street  
 Toronto, Ontario, M4Y 1M7  
 P 416-920-0040  
 PROJECT #: (EDIT FOR PRJ #)

PROJECT NAME:  
**5329 BOUNDARY RD. COMMERCIAL DEVELOPMENT**  
 PROJECT ADDRESS:  
**5329 BOUNDARY RD.  
 OTTAWA, ON K4B 1P6**

SHEET TITLE:  
**PERSPECTIVE VIEWS - CONVENIENCE / A&W**  
 SCALE: AS SHOWN

ISSUE DATE: 21-10-07  
 DRAWN: AW  
 CHECKED BY: DJ

SHEET NUMBER:  
**A005.1**

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1 STARBUCKS PERSPECTIVE 1  
SCALE: 1 1/2" = 1'-0"



2 STARBUCKS PERSPECTIVE 2  
SCALE: 1 1/2" = 1'-0"

Revision Schedule			
Rev	Date	By	Description
2	21-10-22	AW	ISSUED FOR SPA
3	22-03-21	AW	ISSUED FOR SPA REV 1


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CONSULTANTS  

**Castleglenn Consultants**  
 Engineers, Project Managers & Planners

  
**LASHLEY + ASSOCIATES**  
 LANDSCAPE ARCHITECTURE AND SITE ENGINEERING


**EVB ENGINEERING**  
 890 2nd Street West  
 Cornwall, Ontario  
 K6J 1H6

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 DANIEL RICHARD JOHNSON  
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**ARCHITECT OF RECORD**  

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 Toronto, Ontario, M4Y 1M7  
 P 416-920-0060  
 PROJECT #: (EDIT FOR PRJ #)

PROJECT NAME:  
**5329 BOUNDARY RD. COMMERCIAL DEVELOPMENT**  
 PROJECT ADDRESS:  
**5329 BOUNDARY RD.  
 OTTAWA, ON K4B 1P6**

SHEET TITLE:  
**PERSPECTIVE VIEWS  
 STARBUCKS**  
 SCALE: AS SHOWN

ISSUE DATE: 21-10-07  
 DRAWN: AW  
 CHECKED BY: DJ

SHEET NUMBER:  
**A005.2**

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1 GAS STATION PERSPECTIVE 1  
SCALE: 1 1/2" = 1'-0"



2 GAS STATION - PERSPECTIVE 2  
SCALE: 1 1/2" = 1'-0"


Revision Schedule			
Rev	Date	By	Description
2	21-10-22	AW	ISSUED FOR SPA
3	22-03-21	AW	ISSUED FOR SPA REV 1


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CONSULTANTS  
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 Engineers, Project Managers & Planners

  
**LASHLEY + ASSOCIATES**  
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 P 416-920-0040  
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PROJECT NAME:  
**5329 BOUNDARY RD. COMMERCIAL DEVELOPMENT**  
 PROJECT ADDRESS:  
**5329 BOUNDARY RD.  
 OTTAWA, ON K4B 1P6**

SHEET TITLE:  
**PERSPECTIVE - GAS STATIONS**  
 SCALE: AS SHOWN

ISSUE DATE: 21-10-07  
 DRAWN: AW  
 CHECKED BY: DJ

SHEET NUMBER:  
**A005.3**

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