

2 DETAIL AT SEPTIC SYSTEM
A101 1:300

THE UNDERGROUND FEATURES AND INFORMATION THAT APPEARS ON THE DRAWINGS WERE OBTAINED FROM THE PUBLIC UTILITY COMPANIES AND OR FROM THE CITY EACH RESPECTIVELY.

ALL INFORMATION UNDER THE LEGEND 'EXISTING' IS FOR INFORMATION ONLY. COMPLETE OR EXACT LOCATION AND ELEVATION OF UNDERGROUND SERVICES ARE NOT GUARANTEED.

CERTAIN UNDERGROUND FEATURES ON PRIVATE PROPERTY ARE NOT SHOWN ON THE CURRENT DRAWING.

ANYONE WHO PROCEEDS WITH EXCAVATION WORK SHALL VERIFY THE EXACT LOCATION OF ALL UNDERGROUND FEATURES, BY EXPLORATORY EXCAVATIONS, AND SHALL ASSUME FULL RESPONSIBILITY IF THERE IS ANY DAMAGE THAT OCCURS DURING WORK.

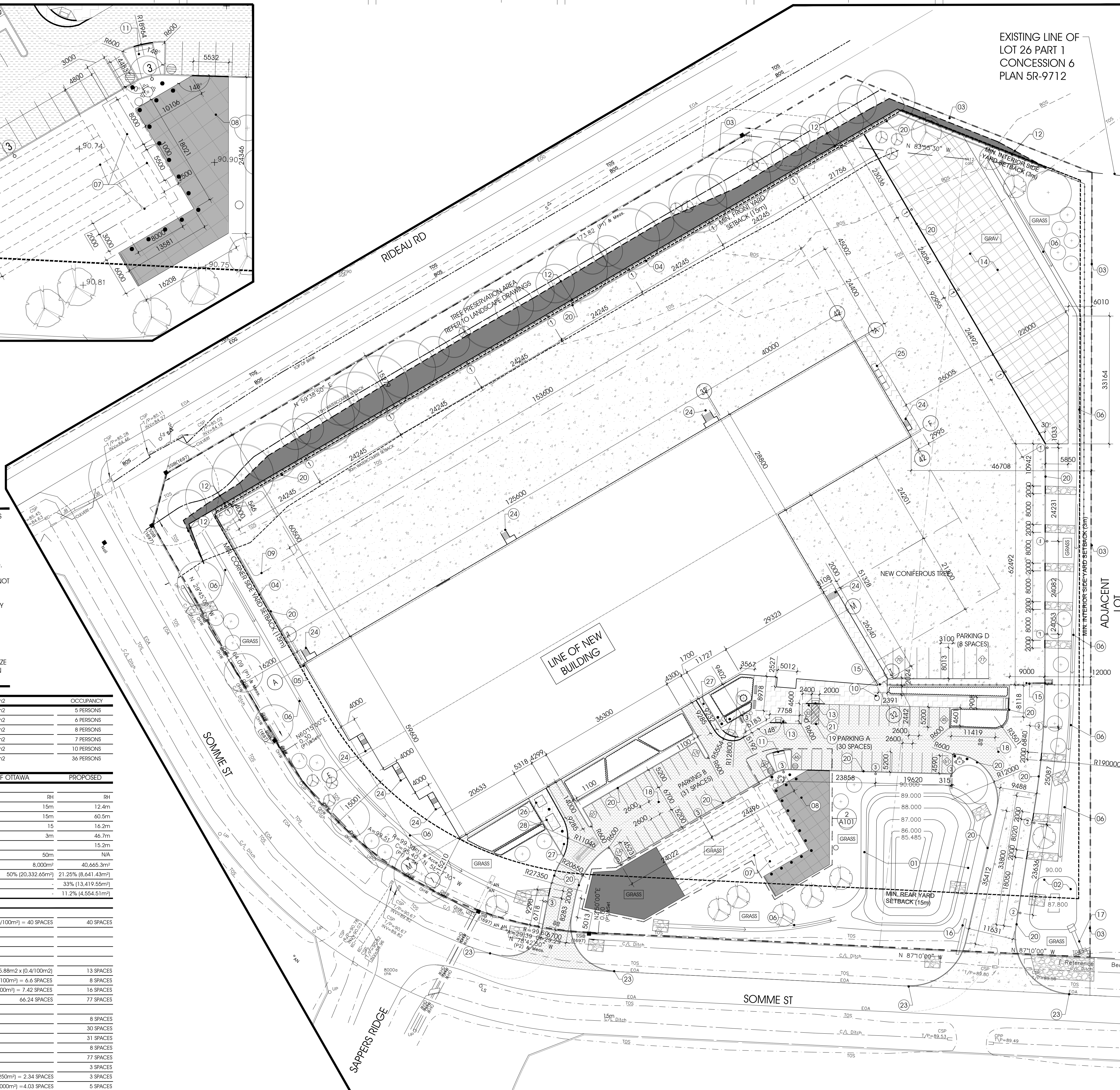
THE CONTRACTOR WILL HAVE THE RESPONSIBILITY AND THE OBLIGATION TO VALIDATE, BY EXPLORATORY EXCAVATION, THE SIZE OF THE PUBLIC UTILITIES UNDERGROUND SERVICES AND TO WARN THE ENGINEER OF ANY CONFLICT WITH THE PROJECTED WORK.

BUILDING AREA DATA		TOTAL m2	OCCUPANCY
2.1 WAREHOUSE (CROSS-DOCK)		1,292.37 m2	5 PERSONS
2.2 WAREHOUSE		6,610.36 m2	6 PERSONS
2.3 E-COMMERCE OFFICES		276.09 m2	8 PERSONS
2.1 MAIN OFFICE		309.47 m2	7 PERSONS
2.5 WAREHOUSE (AMENITIES)		153.15 m2	10 PERSONS
TOTAL BUILDING AREA		8,641.44 m2	36 PERSONS

SITE APPLICATION DATA		REQUIRED, CITY OF OTTAWA	PROPOSED
1.0 LAND USE REQUIREMENTS			
1.1 ZONE		BH	BH
1.2 MAXIMUM HEIGHT		15m	12.4m
1.3 FRONT YARD SETBACK		15m	60.5m
1.4 CORNER SIDE YARD SETBACK		15	16.2m
1.5 SIDE YARD SETBACK		3m	46.7m
1.6 REAR YARD SETBACK			15.2m
1.7 MINIMUM LOT WIDTH		50m	N/A
1.8 MINIMUM LOT AREA		8,000m ²	40,665.3m ²
1.9 MAXIMUM LOT COVERAGE		50% (20,332.65m ²)	21.25% (8,641.43m ²)
1.10 TOTAL LANDSCAPED AREA ON PROPERTY		33% (11,341.95m ²)	
1.11 TOTAL LANDSCAPED OUTSIDE OF PROPERTY		11.2% (4,554.51m ²)	

2.0 PARKING REQUIREMENTS			
2.1 WAREHOUSE - FIRST 5000m ²	5000m ² x (0.8/100m ²) = 40 SPACES		40 SPACES
2.1.1 WAREHOUSE (CROSS-DOCK)	1292.37m ²		
2.1.2 WAREHOUSE	6610.36m ²		
2.1.3 WAREHOUSE (AMENITIES)	153.15m ²		
2.1.4 TOTAL WAREHOUSE	8055.88m ²		
2.1.5 WAREHOUSE REMAINING PARKING SPACES	8,055.88m ² - 5,000m ² = 3,055.88m ² x (0.4/100m ²)		13 SPACES
2.2 E-COMMERCE OFFICES	276.10m ² x (2.4/100m ²) = 6.6 SPACES		8 SPACES
2.3 MAIN OFFICE	309.47m ² x (2.4/100m ²) = 7.42 SPACES		16 SPACES
2.4 TOTAL PARKING REQUIRED			77 SPACES
2.5 PARKING PROVIDED BREAKDOWN			
2.5.1 PARKING LOT A PROVISION			8 SPACES
2.5.2 PARKING LOT B PROVISION			30 SPACES
2.5.3 PARKING LOT C PROVISION			31 SPACES
2.5.4 PARKING LOT D PROVISION			8 SPACES
2.5.5 TOTAL PARKING PROVIDED			77 SPACES
2.6 ACCESSIBLE PARKING SPACES	3 SPACES		3 SPACES
2.7 BICYCLE PARKING - OFFICE	585.56m ² x (1/250m ²) = 2.34 SPACES		3 SPACES
2.8 BICYCLE PARKING - WAREHOUSE	8,055.88m ² x (1/2000m ²) = 4.03 SPACES		5 SPACES

3.0 OTHER PARKING REQUIREMENTS			
3.1 LOADING FACILITIES	1 LOADING SPACE		1 LOADING SPACE
3.2 LOADING BAYS	NA		48 LOADING SPACE



TOPOGRAPHICAL PLAN OF SURVEY
OF
BLOCK 5
REGISTERED PLAN 4M-1388
CITY OF OTTAWA
Prepared by Annis, O'Sullivan, Vollebæk Ltd.

DRAWING LEGEND, A101

- PROPERTY LINE
- SETBACK LINES
- FENCE LINE
- FIRE ROUTE
- ▨ PROPOSED BUILDING FOOTPRINT
- ▨ ROLLED CONCRETE
- ▨ HEAVY DUTY PAVEMENT
- ▨ CONCRETE SIDEWALK
- ▨ GRANULAR PAD
- ▨ GRANULAR PAD COVERED WITH GRASS
- ▨ RIP RAP
- ▨ SAND MANTLE
- GRASS GRASS AREAS
- ⬇ CURB C/W DEPRESSION
- ⬆ BUILDING ENTRANCES & EXITS
- ⊕ ELECTRICAL POLE LIGHTING
- ⊕ BIKE RACK
- ⊕ BENCH
- ⊕ WASTE RECEPTACLE
- ⊕ BARRIER FREE ACCESSIBLE PARKING
- ⊕ PARKING COUNT
- ⊕ FIRE HYDRANT
- ⊕ STANDALONE SIAMEZE CONNECTION
- ⊕ CATCHBASIN
- ⊕ MANHOLE
- ⊕ BOLLARD REFER TO CIVIL DRAWINGS FOR DETAIL
- ⊕ BOLLARD REFER TO LATEST HydroOttawa DETAIL UFS0001
- ⊕ PARKING STALL COUNT
- ⊕ NEW DECIDUOUS TREE
- ⊕ SHRUBS
- BOS --- BOTTOM OF SWALE
- TOS --- TOP OF SWALE

DRAWING NOTES, A240

1. WET POND.
2. FIRE POND.
3. FENCE ON PROPERTY LINE. REFER TO LANDSCAPE DRAWINGS.
4. FENCE ON SETBACK. REFER TO LANDSCAPE DRAWINGS.
5. FENCE TERMINATES AT BUILDING EDGE REFER TO LANDSCAPE DRAWINGS.
6. STORM WATER SWALE 1m FLAT BOTTOM.
7. SEPTIC TANKS & TREATMENT UNITS EL=91.325.
8. N/A
9. SNOW REMOVAL AREA.
10. WELL
11. SHORT TERM PARKING.
12. RETAINING WALL REFER TO CIVIL DRAWINGS.
13. CURB RAMP WITH FLARED SIDES. REFER LANDSCAPE DRAWINGS.
14. TRAILER STORAGE 14-17 TRAILERS
15. FENCE GATE. REFER TO LANDSCAPE DRAWINGS.
16. SG-01 PEDESTAL SIGN WITH INTERNAL LIGHTING.
17. POND OUTLET STRUCTURE.
18. FIRE ROUTE.
19. PROVIDE NEW PAVEMENT MARKING TO SIGNAL ACCESS AISLE AND PARKING SPACES. MARKINGS PER CITY OF OTTAWA.
20. CONCRETE CURB REFER TO CIVIL DRAWINGS
21. PROVIDE AND INSTALL POST AND SIGNAGE. REFER TO LANDSCAPING DRAWINGS.
22. N/A
23. CONCRETE CURB TO TERMINATE AT EDGE OF EXISTING ROADSIDE GRAVEL. REFER TO CIVIL DRAWINGS
24. CONCRETE STAIR COMPLETE WITH HAND RAIL. REFER TO PLANS AND DETAILS
25. DUMPSTER BINS.
26. ELECTRICAL GENERATOR PAD.
27. DEPRESSED CURB AND DEPRESSED SIDEWALK.
28. ELECTRICAL MANHOLE. REFER TO latest HydroOttawa DETAIL UCS0025.



REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR SITE PLAN APPROVAL	08.11.2021
2	33% REVIEW	21-08-11

PROFESSIONAL STAMP

CIVITAS GROUP
ARCHITECTURE & LANDSCAPE ARCHITECTURE

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PROJECT TITLE:
NEW WAREHOUSE & CROSS DOCK FACILITY

301 SOMME STREET, OTTAWA, ON

DRAWING TITLE:
ARCHITECTURAL SITE PLAN

DRAWN BY: PI
DATE: 21.08.11
REVIEWED BY: D.RANCIER
APPROVED BY: D.RANCIER
PRINT DATE:
ISSUED DATE: 21.08.11

DRAWING NUMBER:
A101

CLIENT PROJECT #:
2001

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