

THE UNDERGROUND FEATURES AND INFORMATION THAT APPEARS ON THE DRAWINGS WERE OBTAINED FROM THE PUBLIC UTILITY COMPANIES AND OR FROM THE CITY EACH RESPECTIVELY.

ALL INFORMATION UNDER THE LEGEND 'EXISTING' IS FOR INFORMATION ONLY. COMPLETE OR EXACT LOCATION AND ELEVATION OF UNDERGROUND SERVICES ARE NOT GUARANTEED.

CERTAIN UNDERGROUND FEATURES ON PRIVATE PROPERTY ARE NOT SHOWN ON THE CURRENT DRAWING.

ANYONE WHO PROCEEDS WITH EXCAVATION WORK SHALL VERIFY THE EXACT LOCATION OF ALL UNDERGROUND FEATURES, BY EXPLORATORY EXCAVATIONS, AND SHALL ASSUME FULL RESPONSIBILITY IF THERE IS ANY DAMAGE THAT OCCURS DURING WORK.

THE CONTRACTOR WILL HAVE THE RESPONSIBILITY AND THE OBLIGATION TO VALIDATE, BY EXPLORATORY EXCAVATION, THE SIZE OF THE PUBLIC UTILITIES UNDERGROUND SERVICES AND TO WARN THE ENGINEER OF ANY CONFLICT WITH THE PROJECTED WORK.

BUILDING AREA DATA	TOTAL m <sup>2</sup>	OCCUPANCY
2.1 WAREHOUSE (CROSS-DOCK)	1,292.37 m <sup>2</sup>	5 PERSONS
2.2 WAREHOUSE	6,610.36 m <sup>2</sup>	6 PERSONS
2.3 E-COMMERCE OFFICES	276.09 m <sup>2</sup>	8 PERSONS
2.1 MAIN OFFICE	309.47 m <sup>2</sup>	7 PERSONS
2.5 WAREHOUSE (AMENITIES)	153.15 m <sup>2</sup>	10 PERSONS
<b>TOTAL BUILDING AREA</b>	<b>8,641.44 m<sup>2</sup></b>	<b>36 PERSONS</b>

SITE APPLICATION DATA	REQUIRED, CITY OF OTTAWA	PROPOSED
1.0 LAND USE REQUIREMENTS		
1.1 ZONE	RH	RH
1.2 MAXIMUM HEIGHT	15m	12.4m
1.3 FRONT YARD SETBACK	15m	60.5m
1.4 CORNER SIDE YARD SETBACK	15	16.2m
1.5 SIDE YARD SETBACK	3m	46.7m
1.6 REAR YARD SETBACK	15m	15.2m
1.7 MINIMUM LOT WIDTH	50m	N/A
1.8 MINIMUM LOT AREA	8,000m <sup>2</sup>	40,665.3m <sup>2</sup>
1.9 MAXIMUM LOT COVERAGE	50% (20,332.65m <sup>2</sup> )	21.25% (8,641.43m <sup>2</sup> )
1.10 TOTAL LANDSCAPED AREA ON PROPERTY	33% (13,419.55m <sup>2</sup> )	33% (13,419.55m <sup>2</sup> )
1.11 TOTAL LANDSCAPED OUTSIDE OF PROPERTY	11.2% (4,554.51m <sup>2</sup> )	

2.0 PARKING REQUIREMENTS		
2.1 WAREHOUSE - FIRST 5000m <sup>2</sup>	5000m <sup>2</sup> x (0.8/100m <sup>2</sup> ) = 40 SPACES	40 SPACES
2.1.1 WAREHOUSE (CROSS-DOCK)	1292.37m <sup>2</sup>	
2.1.2 WAREHOUSE	6610.36m <sup>2</sup>	
2.1.3 WAREHOUSE (AMENITIES)	153.15m <sup>2</sup>	
2.1.4 TOTAL WAREHOUSE	8055.88m <sup>2</sup>	
2.1.5 WAREHOUSE REMAINING PARKING SPACES	8,055.88m <sup>2</sup> - 5,000m <sup>2</sup> = 3,055.88m <sup>2</sup> x (0.4/100m <sup>2</sup> )	13 SPACES
2.2 E-COMMERCE OFFICES	276.10m <sup>2</sup> x (2.4/100m <sup>2</sup> ) = 6.6 SPACES	8 SPACES
2.3 MAIN OFFICE	309.47m <sup>2</sup> x (2.4/100m <sup>2</sup> ) = 7.42 SPACES	16 SPACES
2.4 TOTAL PARKING REQUIRED		77 SPACES
2.5 PARKING PROVIDED BREAKDOWN		
2.5.1 PARKING LOT A PROVISION		8 SPACES
2.5.2 PARKING LOT B PROVISION		30 SPACES
2.5.3 PARKING LOT C PROVISION		31 SPACES
2.5.4 PARKING LOT D PROVISION		8 SPACES
2.5.5 TOTAL PARKING PROVIDED		77 SPACES
2.6 ACCESSIBLE PARKING SPACES		1 SPACE
2.7 BICYCLE PARKING - OFFICE	585.56m <sup>2</sup> x (1/250m <sup>2</sup> ) = 2.34 SPACES	3 SPACES
2.8 BICYCLE PARKING - WAREHOUSE	8,055.88m <sup>2</sup> x (1/2000m <sup>2</sup> ) = 4.03 SPACES	5 SPACES

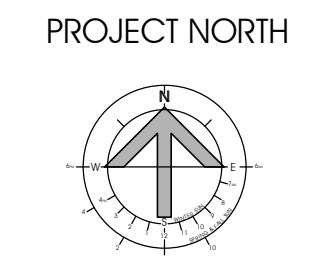
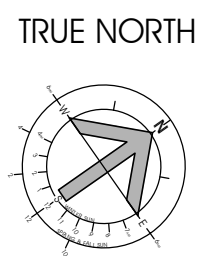
3.0 OTHER PARKING REQUIREMENTS		
3.1 LOADING FACILITIES	1 LOADING SPACE	1 LOADING SPACE
3.2 LOADING BAYS	N/A	48 LOADING SPACE

**DRAWING LEGEND:**

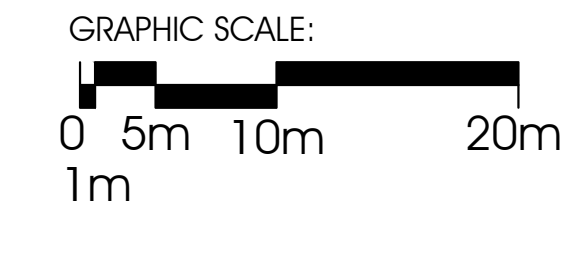
- PROPERTY LINE
- SETBACK LINES
- FENCE LINE
- [Hatched Box] PROPOSED BUILDING FOOTPRINT
- [Stippled Box] ROLLED CONCRETE
- [Grid Pattern Box] HEAVY DUTY PAVEMENT
- [Wavy Line Box] CONCRETE SIDEWALK
- [Dotted Box] GRANULAR PAD
- [Cross-hatched Box] GRANULAR PAD COVERED WITH GRASS
- [Stippled Box] RIP RAP
- [Solid Grey Box] SAND MANTLE
- [Green Box] GRASS AREAS
- [Dashed Line] CURB C/W DEPRESSION
- [Arrow] BUILDING ENTRANCES & EXITS
- [Circle with X] ELECTRICAL FIXTURES,
  - SITE AREA LIGHT
  - DOWNLIGHT
  - WALL MOUNTED LIGHT
- [Vertical Line] BIKE RACK
- [Horizontal Line] BENCH
- [Diamond] BARRIER FREE ACCESSIBLE PARKING
- [Square] PARKING COUNT.
- [Circle with X] FIRE HYDRANT
- [Circle with X] STANDALONE SIAMEZE CONNECTION
- [Circle with X] BOLLARD
- [Circle with X] NEW CONIFEROUS TREE
- [Circle with X] NEW DECIDUOUS TREE
- [Square] SHRUBS

**DRAWING NOTES:**

1. WET POND.
2. FIRE POND.
3. SNOW REMOVAL AREA. (TBD)
4. FENCE.
5. FENCE GATE.
6. TRUCK LOADING AND UNLOADING.
7. TRAILER STORAGE AREA 14-17 TRAILERS.
8. TRUCK PARKING AREA.
9. SEPTIC SYSTEM.
10. SEPTIC SYSTEM ACCESS AREA.
11. SEPTIC SYSTEM SAND MANTLE.
12. SHORT TERM PARKING.
13. STORM WATER SWALE.
14. EXIT STAIRS, 7 RISERS.
15. GARBAGE BINS.
16. PROPOSED LOCATION FOR EXTERIOR ELECTRICAL BOX.
17. TRUCK MANEUVERING AREA.
18. MIN. INTERIOR SIDE YARD SETBACK (3m).
19. MIN. FRONT YARD SETBACK (15m).
20. MIN. CORNER SIDE YARD SETBACK (15m)
21. MIN. REAR YARD SETBACK (15m)
22. EXIT STAIRS, 6 RISERS.
23. ELECTRICAL GENERATOR.
24. TREE CONSERVATION AREA.
25. RETAINING WALL.
26. ELECTRICAL MANHOLE C/W TRANSFORMER.
27. STANDALONE SIAMEZE CONNECTION



SCALE: 1:500  
 DATE: 2021.08.13



**SITE PLAN**