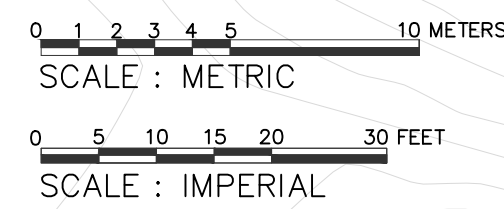


LOCATION PLAN

1 SITE PLAN
1 : 200



GENERAL NOTES
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS AND OMISSIONS TO THE ARCHITECT. ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS. DO NOT SCALE DRAWINGS. THESE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF COLIZZA BRUNI ARCHITECTURE INCORPORATED. COPYRIGHT RESERVED.

NO.	REV DATE	REV DESCRIPTION
1	MAY 21, 2021	ISSUED FOR SITE PLAN CONTROL

DEVELOPER/OWNER:
MAPLE LEAF CUSTOM HOMES
144 CONSTANCE CREEK DR
DUNROBIN, ON
K0A 1T0

ARCHITECT:
COLIZZA BRUNI ARCHITECTURE INC.
76 CHAMBERLAIN AVE.
OTTAWA, ON.
K1S 1V9

SURVEYOR:
ANNIS O'SULLIVAN VOLLEBEKK LTD
14 CONCOURSE GATE, SUITE 500
OTTAWA, ON
K2E 7S6

CIVIL ENGINEER:
NOVATECH ENGINEERING CONSULTANTS
240 MICHAEL COWPLAND DR.
KANATA, ON.
K2M 1P6

LANDSCAPE ARCHITECT:
NOVATECH ENGINEERING CONSULTANTS
240 MICHAEL COWPLAND DR.
KANATA, ON.
K2M 1P6

PLANNER:
Q9 PLANNING + DESIGN
24 KIRKSTALL AVE,
NEPEAN, ON.
K2G3M5

COLIZZA BRUNI
architecture

76 CHAMBERLAIN AVE • OTTAWA • ONTARIO • K1S 1V9
T 613.236.2944 • F 613.236.6777 • www.colizzabruni.com

PROJECT NAME

1055 KLONDIKE ROAD
53 UNIT APARTMENT
BUILDING

OTTAWA, ON

DRAWING TITLE
SITE PLAN

SCALE
AS NOTED

DRAWN BY
EA

DATE
5/21/21

PROJECT NO.
02920

DRAWING NO.
SP1

ABBREVIATIONS:

U-1	UNIT TYPE 1	GR	GARBAGE ROOM
U-2	UNIT TYPE 2	J	JANITOR CLOSET
U-3	UNIT TYPE 3	M	MAINTENANCE ROOM
U-4	UNIT TYPE 4	MC	MECHANICAL CHASE
U-5	UNIT TYPE 5	MP	MECHANICAL PENTHOUSE
A-1	AMENITY 1	SR	SPRINKLER ROOM
A-2	AMENITY 2	ST	STORAGE ROOM
B	BIKE PARKING & STORAGE	UR	UTILITIES ROOM
E	ELECTRICAL ROOM	UWR	UNIVERSAL WASHROOM
EL	ELEVATOR MACHINE ROOM	V	VESTIBULE

1055 KLONDIKE ROAD
53 UNIT APARTMENT BUILDING

DEVELOPMENT INFORMATION

ZONING: R4S
LOT AREA: 5,249 Sq.M. (56,496 Sq.Ft.)
LOT WIDTH: 25 MIN.;
FRONT SETBACK: 3M MIN.; PROVIDED-49.6M
REAR SETBACK: 7.5M MIN.; PROVIDED-7.6M
SIDE SETBACK: 3M MIN.; PROVIDED-3.9M
LOT COVERAGE: 30.8%
AVERAGE GRADE: ELEVATION: 77.56M
BUILDING HEIGHT: 14.5M MAX; 14.1M PROVIDED
LANDSCAPE AREA: 2998M²

PARKING

PARKING REQUIRED: 75 SPACES (1.2/UNIT + 0.2/UNIT VISITOR)
PARKING PROVIDED: 68 SPACES (1.1/UNIT + 0.2/UNIT VISITOR)
INDOOR PARKING: 47 SPACES
OUTDOOR PARKING: 21 SPACES
VISITOR PARKING: 10 SPACES
BARRIER-FREE PARKING: 3 SPACES
BICYCLE PARKING REQUIRED: 5/UNIT = 27 SPACES
BICYCLE PARKING PROVIDED: 27 SPACES (8 OUTDOOR, 19 INDOOR)

AMENITY AREA

AMENITY AREA REQUIRED: 318M²
AMENITY AREA PROVIDED: 490M²
COMMUNAL AMENITY AREA INDOOR (A1): 101.5M²
COMMUNAL AMENITY AREA OUTDOOR (A2): 58.2M²
INDIVIDUAL AMENITY AREA (BALCONIES): 246.7M² (31 BALCONIES)
INDIVIDUAL AMENITY AREA (AT-GRADE TERRACES): 83.6M² (6 AT-GRADE TERRACES)

PROGRAM

BUILDING AREA (GROSS) : 5755M²
UNIT AREA (GROSS) : 4267M²
CIRCULATION/ COMMON/ SERVICE AREAS (GROSS): 1396M²
UNDERGROUND GARAGE : 1477M²

UNIT BREAKDOWN

UNIT TYPE	# OF UNITS	Sq.METRES (Ft ²)
UNIT 1	20	83.9 M ² (904 F ²)
UNIT 1 BF	8	83.9 M ² (904 F ²)
UNIT 2	7	91.7 M ² (987 F ²)
UNIT 3	12	77.8 M ² (838 F ²)
UNIT 4	3	67.0 M ² (721 F ²)
UNIT 5	3	77.6 M ² (835 F ²)
TOTAL UNITS	53	4359 M ² (46,920 F ²)