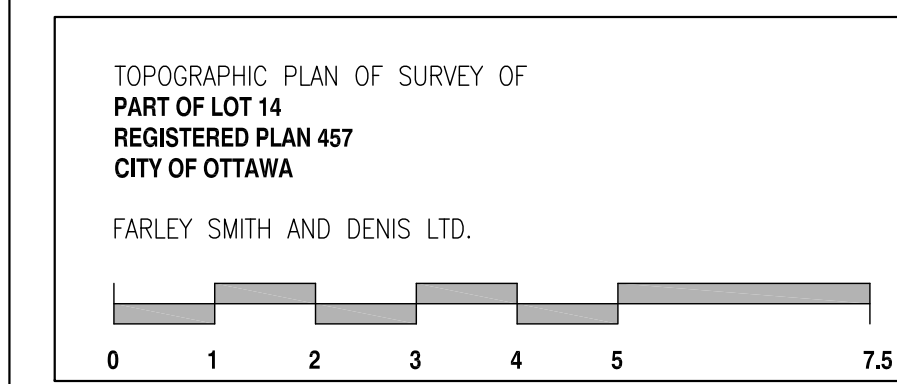


LOCATION PLAN
SCALE: NTS



SURVEY INFO
SCALE: NTS

SITE & PROJECT STATISTICS		
Zoning By-law	R4M	
Lot Width	25.02 m	
Lot Area	1421 m ²	
Number of Units	30	
Zoning Mechanism	Requirements	Proposed
Min. Front Yard Setback	3m	3m
Min. Interst. Side Yard	3m	3m
Min. Rear Yard Setback	7.5m	6m
Max. Building Height	14.5m	11.79m
Vehicle Parking (Area C)	Resident Parking (As per Section 101)	30 spaces
	Visitor Parking (As per section 102)	3 spaces
	Total Parking	33 spaces
Bicycle Parking (Table 111A)	15 spaces (0.5 spaces/unit)	15 spaces
Amenity Area (Table 137)	Total Amenity	339 m ²
	Communal Amenity	181 m ²
	Private Amenity	122 m ²

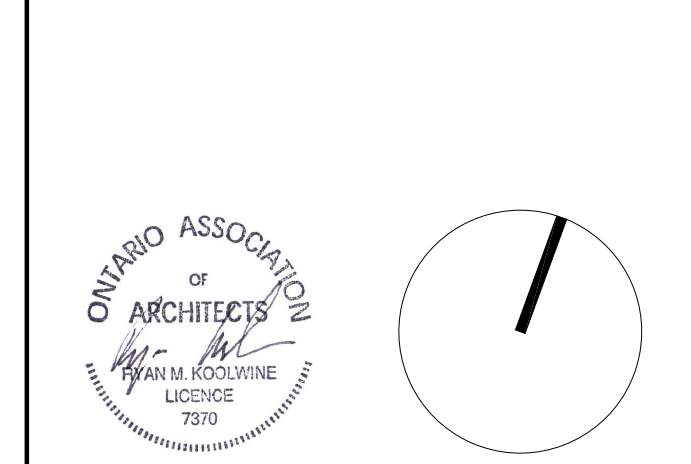
PROJECT STATISTICS
SCALE: NTS

- GENERAL ARCHITECTURAL NOTES:
- This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
 - Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
 - Upon notice in writing, the Architect will provide written/verbal clarification or supplementary information regarding the intent of the Contract Documents.
 - The Architectural drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
 - Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
 - These documents are not to be used for construction unless specifically noted for such purpose.

REVISION RECORD

REVISION	DATE
RE-ISSUED FOR SITE PLAN CONTROL	2020-09-15
RE-ISSUED FOR SITE PLAN CONTROL	2020-01-08
RE-ISSUED FOR SITE PLAN CONTROL	2019-12-20
RE-ISSUED FOR SITE PLAN CONTROL	2019-10-28
ISSUED FOR COORDINATION	2019-10-02
ISSUED FOR COORDINATION	2019-08-21
ISSUED FOR COORDINATION	2019-07-18
ISSUED FOR SITE PLAN CONTROL	2019-01-28
ISSUED FOR COORDINATION	2018-12-20

ISSUE RECORD



1 SITE PLAN
SP01 SCALE: 1:100

APPROVED REFUSED

THIS 27 DAY OF October, 2020

Erin O'Connell

ERIN O'CONNELL, MCIP, RPP, MANAGER (A)
DEVELOPMENT REVIEW, WEST
PLANNING, INFRASTRUCTURE AND ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA



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841 - 845 GRENON AVE
Ottawa, ON

PROJ	SCALE	DRAWN	REVIEWED
1849	NOTED	SE	RMK

SITE PLAN & STATISTICS

SP-01