

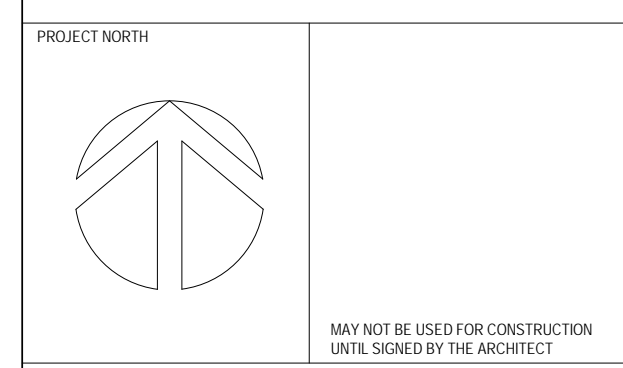
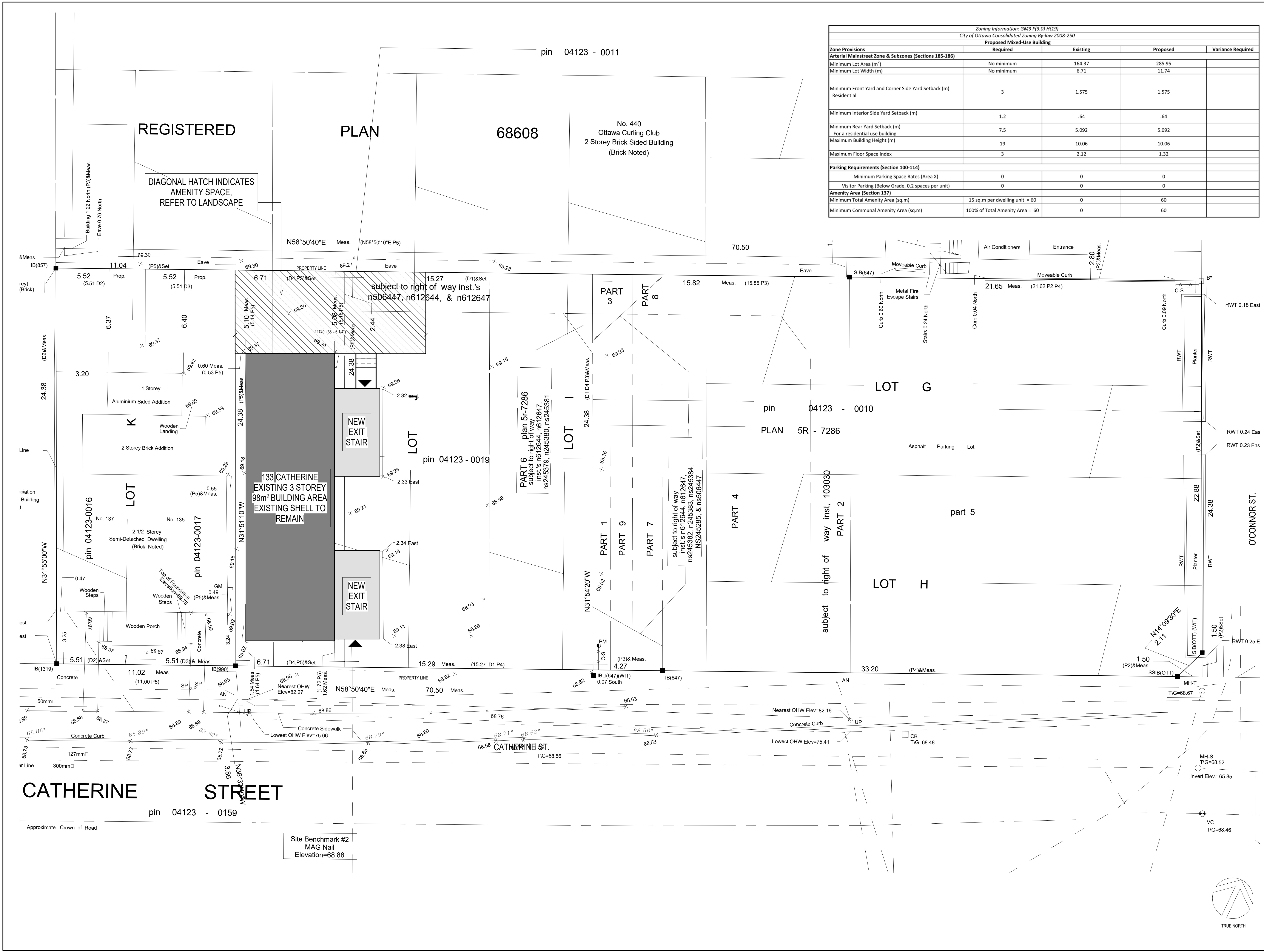
NOTE: THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED OR USED WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY OMISSIONS OR DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

DO NOT SCALE THE DRAWINGS

RELEASE / REVISION RECORD

No.	Description	Date
1	FOR INFORMATION	2020-05-12
2	FOR PERMIT	2020-05-14
3	ISSUED TO LANDSCAPE	20-08-31
4	ISSUED FOR COORDINATION	20-09-01
5	ISSUED FOR COORDINATION	20-09-15
6	REVISION TO PERMIT	20-09-29
7	ISSUED FOR SPC & ZA	20-10-01

Zoning Information: GM3 F(3.0) H(19) City of Ottawa Consolidated Zoning By-law 2008-250			
Zone Provisions	Proposed Mixed-Use Building		
	Required	Existing	Proposed
<b>Arterial Mainstreet Zone &amp; Subzones (Sections 185-186)</b>			
Minimum Lot Area (m <sup>2</sup> )	No minimum	164.37	285.95
Minimum Lot Width (m)	No minimum	6.71	11.74
Minimum Front Yard and Corner Side Yard Setback (m)	3	1.575	1.575
Minimum Interior Side Yard Setback (m)	1.2	.64	.64
Minimum Rear Yard Setback (m) For a residential use building	7.5	5.092	5.092
Maximum Building Height (m)	19	10.06	10.06
Maximum Floor Space Index	3	2.12	1.32
<b>Parking Requirements (Section 100-114)</b>			
Minimum Parking Space Rates (Area X)	0	0	0
Visitor Parking (Below Grade, 0.2 spaces per unit)	0	0	0
<b>Amenity Area (Section 137)</b>			
Minimum Total Amenity Area (sq.m)	15 sq.m per dwelling unit = 60	0	60
Minimum Communal Amenity Area (sq.m)	100% of Total Amenity Area = 60	0	60



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PROJECT NO: 19-1848  
 DRAWN: MD  
 SCALE: 1:100  
 CHECKED: RAC

DRAWING TITLE: **SITE PLAN**

DRAWING NO: **SP-001**