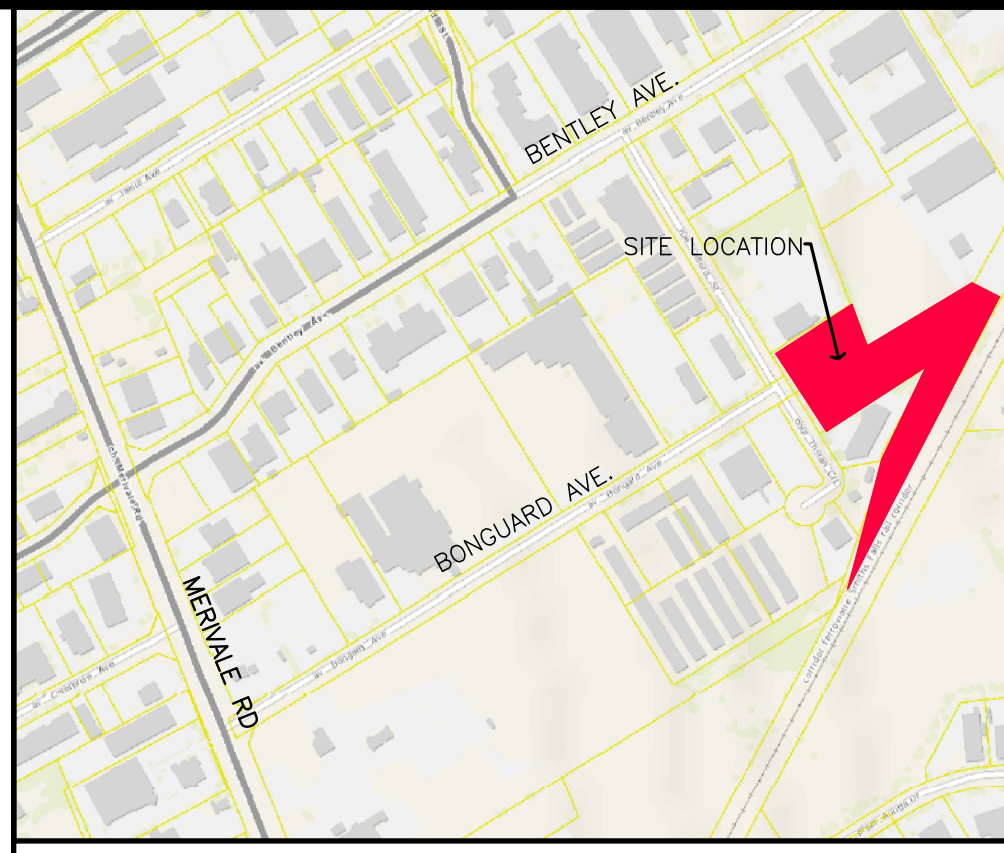


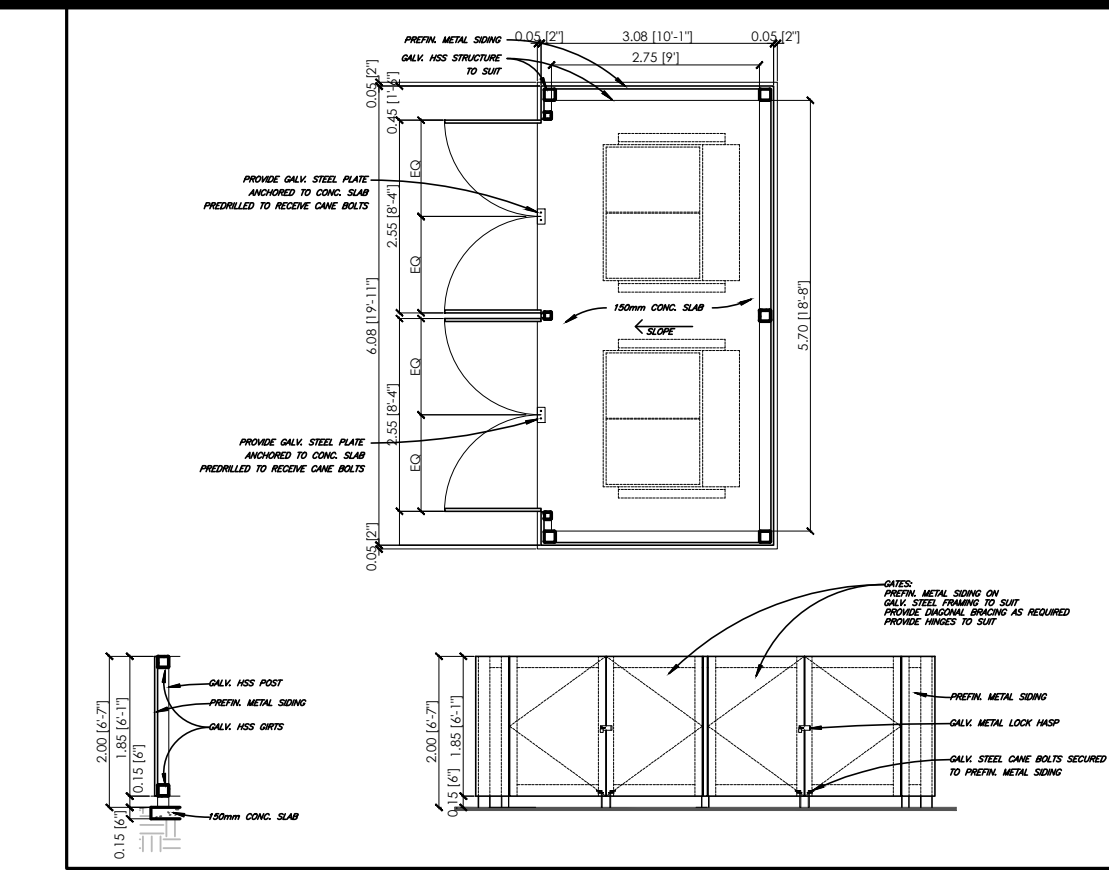
**Legal Description:**  
**LOT 6**  
**REGISTERED PLAN 4M-615**  
**AND PART OF LOT 27**  
**CONCESSION "A" (RIDEAU FRONT)**

GEOGRAPHIC TOWNSHIP OF NEPEAN  
 CITY OF OTTAWA

Survey Prepared by:  
 Farley, Smith & Denis Surveying Ltd.  
 July 25, 2012



**2** SITE KEY MAP  
 SP1 SCALE: NTS



**3** GARBAGE ENCLOSURE DETAILS  
 SP1 SCALE: 1:100

**1** SITE PLAN  
 SP1 SCALE: 1:300



**ZONING PROVISIONS:**  
 ZONE: IHT - HEAVY INDUSTRIAL ZONE - 1

**EXISTING BUILDINGS:**  
 1,248m<sup>2</sup> - WAREHOUSE  
 1,852m<sup>2</sup> - WAREHOUSE  
 -675m<sup>2</sup> - OFFICE  
 -3,778m<sup>2</sup> GFA TOTAL

**NEW BUILDINGS:**  
 1,259 m<sup>2</sup> WAREHOUSE  
 -35 m<sup>2</sup> WAREHOUSE ADDITION  
 -229 m<sup>2</sup> 1-STOREY OFFICE ADDITION

NEW TOTAL GFA: 5,300m<sup>2</sup>

MECHANISM	REQUIRED	PROPOSED
MIN LOT AREA	4000m <sup>2</sup>	18,928m <sup>2</sup>
MIN LOT WIDTH	18.0m	20.0m
MIN. FRONT SETBACK	7.5m	8.21m (EX.)
MIN. CORNER YARD	7.5m	n/a
INT. YARD SETBACK	3.0m	3.0m
MIN. REAR YARD SETBACK	3.0m	3.0m
MAX. BUILDING HEIGHT	22m	9,14m
MAX FLOOR SPACE INDEX	2	2
MIN. LANDSCAPE WIDTH	3.0m	3.0m

**PARKING:**  
 MIN REQUIRED SPACES WAREHOUSE (0.8/100m<sup>2</sup>) 2,410  
 OFFICE (2.4/100m<sup>2</sup>) 57  
 TOTAL PARKING 2,467 (2,410 REQUIRED) 66  
 TOTAL BARRIER FREE SPACES 57  
 3.7m X 5.2m 2  
 1  
 1  
 2

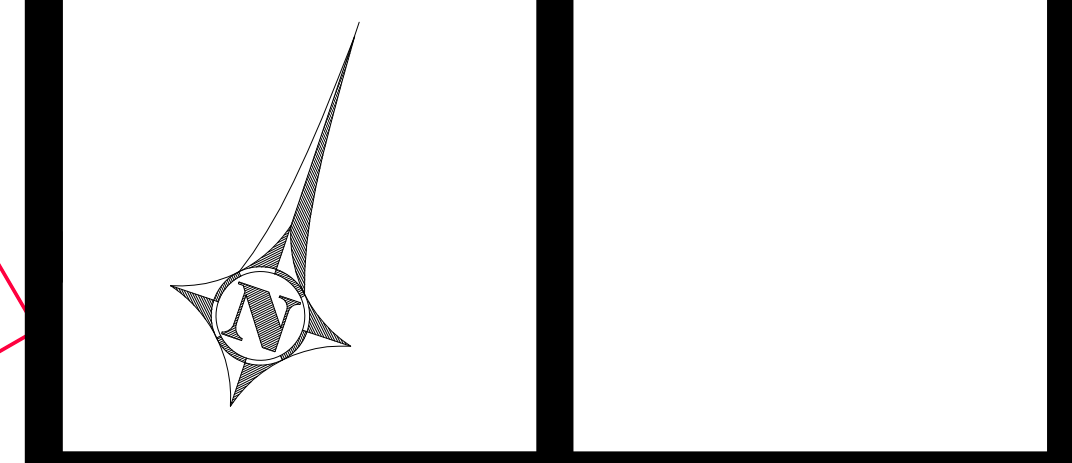
**SEE PARKING:**  
 MIN. REQUIRED SPACES WAREHOUSE (1 / 2000m<sup>2</sup>) 1  
 OFFICE (1 / 250m<sup>2</sup>) 6  
 TOTAL REQ'D 0.6m x 1.8m 6

- NOTES & LEGEND**
- TOP OF FOUNDATION
  - TOP OF FINISH
  - UNDERSE OF FOOTING
  - EXTENT OF AREA OF WORK
  - MAIN ENTRANCE
  - LOCATION OF OVERHEAD DOOR
  - EXIT LOCATIONS
  - BOLLARD
  - DEPRESSED CURB
  - PROPERTY LINE
  - LINE OF SETBACKS
  - FIRE HYDRANT
  - CATCH BASIN MAN HOLE
  - CATCH BASIN
  - LANDSCAPE CATCH BASIN
  - EXTERIOR LIGHT FIXTURE
  - GAS METER
- NOTICE OF AMENDMENT GRANTED:** File No. D08-02-19/A-00250
- (A) TO PERMIT REDUCED NORTHERLY, EASTERN AND SOUTHERLY INTERIOR SIDE YARD SETBACKS OF 3m FOR THE EXISTING BUILDINGS AND THE PROPOSED ADDITION, WHEREAS THE BY-LAW REQUIRES A MINIMUM INTERIOR SIDE YARD SETBACK OF 7.5m.
  - (B) TO PERMIT REDUCED NORTHERLY AND SOUTHERLY INTERIOR SIDE YARD SETBACK OF 3m FOR THE NEW WAREHOUSE, WHEREAS THE BY-LAW REQUIRES A MINIMUM INTERIOR SIDE YARD SETBACK OF 7.5m.
  - (C) TO PERMIT REDUCED REAR YARD SETBACK OF 3m FOR THE NEW WAREHOUSE, WHEREAS THE BY-LAW REQUIRES A MINIMUM REAR YARD SETBACK OF 7.5m.

**APPROVED**  
 By Colette Gorni at 1:41 pm, Sep 29, 2020

**REVISION**

NO.	DATE	REVISION
1	JAN.21.2020	ISSUED FOR SPA
2	MAY.14.2020	Response to Planning Comments
3	JUN.23.2020	Response to Planning Comments
4	AUG.11.2020	Response to Planning Comments
5		



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 BUILDING A REPUTATION ON EXCELLENCE  
 BBS CONSTRUCTION (ONTARIO) LTD.  
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 www.bbsconstruction.ca

**OWNER:**  
 MORIN BROS. INC.  
  
 Building Supplies

**PROJECT:**  
 7 TRISTAN CRT. WAREHOUSE PROJECT

**DRAWING TITLE:**  
 SITE PLAN

<b>PROJECT N°:</b>	480	<b>DRAWING NO.</b>	SP1
<b>SCALE:</b>	AS NOTED		
<b>DRAWN BY:</b>	MK / AK		
<b>DATE:</b>	1/21/2020		

D07-12-17-0063