

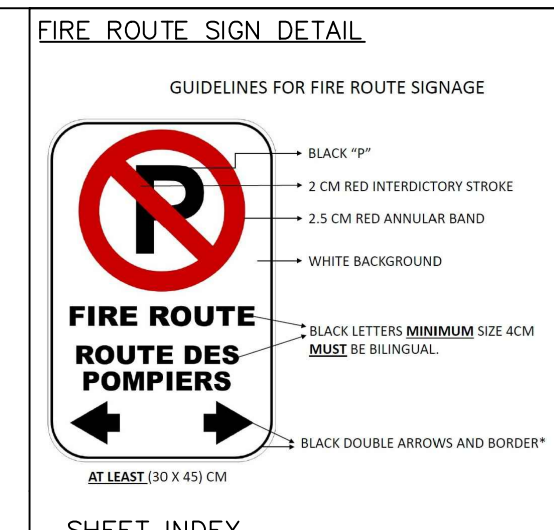


**LIGHTING LEGEND**

(A)	EXTERIOR WALL MOUNTED LIGHT SCOURCE
(B)	EXTERIOR SOFFIT LIGHT
(C)	EXTERIOR WALL MOUNTED LIGHT PACK
*REFER TO ELECTRICAL DRAWINGS	

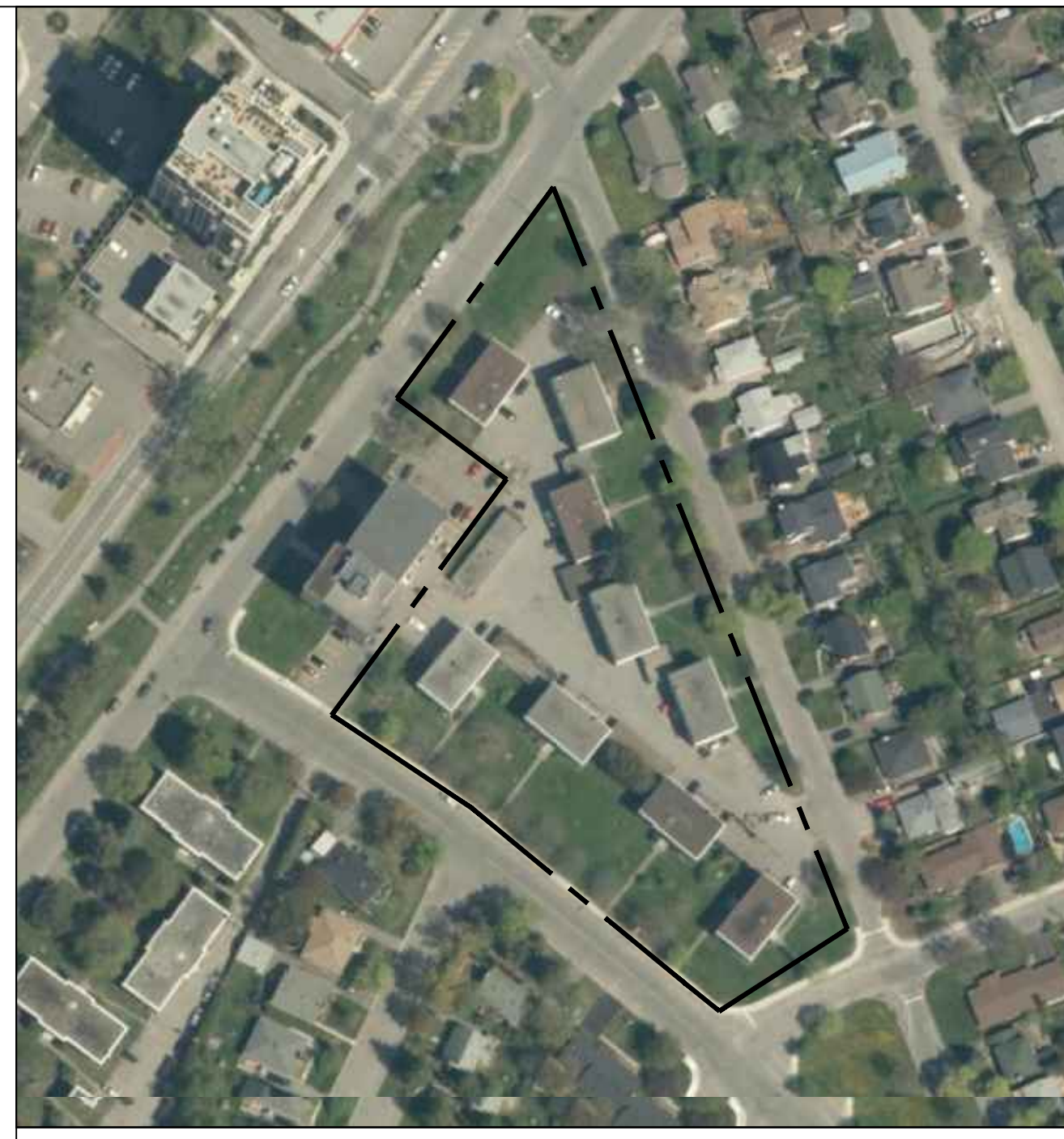
**SIGN LEGEND**

SYMBOL	DESCRIPTION
S1	FIRE ROUTE SIGN (AS PER DETAIL) - MIN. 1 SIGN EVERY 45m ALONG FIRE ROUTE DESIGNATED ACCESSIBLE PARKING SPACE. REFER TO CITY STANDARD FOR PAINTED SYMBOL
S2	DESIGNATED ACCESSIBLE PARKING SPACE. REFER TO CITY STANDARD FOR PAINTED SYMBOL
S3	STOP SIGN
S4	DO NOT ENTER SIGN



**SHEET INDEX**

A100	- SITE PLAN & NOTES
A200	- BUILDING A FLOOR PLANS
A201	- BUILDING A FLOOR PLANS
A400	- BUILDING A ELEVATIONS
A401	- BUILDING A ELEVATIONS
A200	- BUILDING B FLOOR PLANS
A201	- BUILDING B FLOOR PLANS
A400	- BUILDING B ELEVATIONS
A401	- BUILDING B ELEVATIONS
A200	- BUILDING C FLOOR PLANS
A201	- BUILDING C FLOOR PLANS
A400	- BUILDING C ELEVATIONS
A401	- BUILDING C ELEVATIONS



**LEGAL DESCRIPTION**  
 TOPOGRAPHICAL PLAN OF  
 PART OF BLOCK 1 REGISTERED PLAN 314928  
 CITY OF OTTAWA  
 DATED MARCH 17, 2020  
 PREPARED BY ANNIS O'SULLIVAN, VOLLEBEKK LTD.

**BUILDING SUMMARY**

BUILDING	BUILDING AREA	UNITS
BUILDING A	489sq.m [GROSS:1,467sq.m]	24 UNITS
BUILDING B	242sq.m [GROSS:726sq.m]	10 UNITS
BUILDING C	489sq.m [GROSS:1,467sq.m]	24 UNITS
DEMOLISHED BUILDINGS: 4 GARAGE BUILDINGS 2 TWO STOREY BUILDING [12 UNITS]	TOTAL GARAGES: 494.9sq.m [FOOTPRINT] 2 TWO STOREY BUILDING: 391sq.ft [FOOTPRINT]	REMOVED 12 UNITS
EXISTING BUILDINGS TO REMAIN: 3 GARAGE BUILDINGS 7 TWO STOREY BUILDINGS [6 UNITS EACH]	TOTAL GARAGES: 179sq.m [FOOTPRINT] TWO STOREY BUILDINGS [7]: 1,427.9sq.m [FOOTPRINT] [GROSS:4,283.7sq.m]	EXISTING TO REMAIN: 6 UNITS X 7 BUILDINGS = 42 UNITS
TOTAL	2,828.9sq.m [GROSS:8,122.7sq.m]	100 UNITS

**CITY OF OTTAWA ZONING BY-LAW 2008-250**  
 R4N (RESIDENTIAL FOURTH DENSITY ZONE, SUBZONE N)  
 PROPOSED LOW-RISE APARTMENT BUILDINGS

ZONING PROVISION	REQUIRED	PROPOSED
RESIDENTIAL FOURTH DENSITY ZONE PROVISIONS		
MIN. LOT AREA	1,400sq.m	9,902m2
MIN. LOT WIDTH	N/A	29.5m
MIN. FRONT YARD SETBACK [KEENAN AND BYRON]	6m [REFER TO SECTION 123 & 139]	6m [ABUTTING KEENAN]
MIN. CORNER SIDE YARD SETBACK	4.5m	4.5m/5.7m [ABUTTING REDWOOD & SHERBOURNE]
MIN. REAR YARD SETBACK	6m	6m [ABUTTING BYRON]
MAX. BUILDING HEIGHT	11m	11m
MIN. INTERIOR SIDE YARD SETBACK	1.5m [18m FROM STREET]/ 7.5m [OTHER]	9.4m/ EXISTING CONDITION [WEST INTERIOR LOT LINES]
MIN. LANDSCAPE AREA	30%	41% [4,059sq.m]
PLANNED UNIT DEVELOPMENT PROVISIONS		
MIN. WIDTH OF PRIVATE WAY	6m	6m
MIN. SETBACK OF BUILDING FROM PRIVATE WAY [RESIDENTIAL BUILDING]	1.8m	EXISTING CONDITION
MIN. SETBACK OF BUILDING FROM PRIVATE WAY [GARAGE OR CARPORT]	5.2m	EXISTING CONDITION
MIN. SEPARATION BETWEEN BUILDINGS	1.2m	3.5m
AMENITY AREA PROVISIONS		
MIN. TOTAL AMENITY AREA [15sq.m PER DWELLING UNIT UP TO 8 UNITS, PLUS 6sq.m PER UNIT IN EXCESS OF 8]	EXISTING BUILDINGS = 90m² X 7 BUILDING A = 216m² BUILDING B = 132m² BUILDING C = 216m² TOTAL = 1,194m²	2,082sq.m [WITHIN THE REQUIRED SETBACKS]
MIN. COMMUNAL AMENITY AREA	120sq.m	2,082sq.m
PARKING PROVISIONS [AREA X]		
MIN. RESIDENTIAL PARKING SPACES	0.5 PER UNIT IN EXCESS OF 12 = 12	59 [EXISTING DEVELOPMENT REQUIRES 0 PARKING SPACES]
MIN. ACCESSIBLE PARKING SPACES	1 TYPE A 2 TYPE B	1 TYPE A 2 TYPE B
MIN. VISITOR PARKING SPACES	0.1 PER UNIT IN EXCESS OF 12 = 2	9
MIN. BICYCLE PARKING SPACES	0.5 PER UNIT	29 [REFER TO BELOW CHART]

**AUTOMOBILE PARKING SUMMARY**

PARKING SPACES	EXISTING	REQUIRED	PROVIDED
	72	12	68
<b>PROPOSED PARKING</b>			
		UNDERGROUND	ABOVE GROUND
REGULAR SPACES [EXTERIOR]	MIN. 2.6m x 5.2m	-	58
REGULAR SPACES [INTERIOR]	MIN. 2.6m x 5.2m	-	7
ACCESSIBLE SPACE (TYPE A)	MIN. 3.4m x 5.2m	-	1
ACCESSIBLE SPACE (TYPE B)	MIN. 2.4m x 5.2m	-	2
TOTAL			= 68 PROVIDED PARKING SPACES (SURFACE)

**BICYCLE PARKING SUMMARY**

APARTMENT RATE BUILDINGS "A+B+C"	0.50 PER DWELLING UNIT	
TOTAL	= 29 REQUIRED BICYCLE SPACES	
PROVIDED BICYCLE PARKING	= 29 REQUIRED BICYCLE SPACES	
<b>HORIZONTAL SPACES</b>		
	INTERIOR	EXTERIOR
	22	7

**LEGEND**

(Symbol)	EXISTING OVERHEAD DOOR	(Symbol)	HYDRO POST
(Symbol)	NEW OVERHEAD DOOR	(Symbol)	DESIGNATED ACCESSIBLE PARKING SPACE AS PER AODA STANDARDS
(Symbol)	NEW DOOR/ENTRANCE	(Symbol)	DEMOLITION
(Symbol)	EXISTING BOULDER	(Symbol)	DEPRESSED CURB [DC]
(Symbol)	EXISTING VEGETATION	(Symbol)	PROPERTY LINE
(Symbol)	BICYCLE PARKING SPACE [1.8mX0.6m]	(Symbol)	EXISTING FENCE
(Symbol)	NO PARKING LINES	(Symbol)	EXISTING SETBACKS
(Symbol)	EXISTING ASPHALT SIDEWALK	(Symbol)	LANDSCAPE BUFFER
(Symbol)	NEW ASPHALT SIDEWALK	(Symbol)	EXISTING BUILDING
(Symbol)	PARKING STALL COUNT PER ROW	(Symbol)	NEW CONSTRUCTION
(Symbol)	NEW SIGN, REFER TO SIGN LEGEND		
(Symbol)	STREET LIGHT		

**CLIENT NAME:**  
**CONCORDE PROPERTIES**

**NOTES:**

- 1) ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.
- 2) ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.
- 3) DO NOT SCALE DRAWINGS.
- 4) ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-SITE MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.
- 5) NOTIFY SHAW'S LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR CORRECTIONS PRIOR TO START OF WORK.

**SEA**

**ARCHITECTS**  
 S.J. LAWRENCE ARCHITECT INCORPORATED  
 18 DEAKIN STREET SUITE 205 OTTAWA, ONTARIO K2E 8B7  
 T: (613) 739-7770 F: (613) 739-7705 sjl@sjlarchitect.com

**NORTH ARROW:**

NO.	DATE	REVISION
05.	2020.09.04	ISSUED FOR SPC
04.	2020.08.31	ISSUED FOR REVIEW
03.	2020.08.13	ISSUED FOR REVIEW
02.	2020.07.06	ISSUED FOR REVIEW
01.	2020.06.17	ISSUED FOR REVIEW

**S.J. LAWRENCE ARCHITECT INCORPORATED**  
 18 DEAKIN STREET SUITE 205 OTTAWA, ONTARIO K2E 8B7  
 T: (613) 739-7770 F: (613) 739-7705 sjl@sjlarchitect.com

**LAWRENCE ARCHITECT INCORPORATED**

THIS DRAWING IS THE SOLE PROPERTY OF S.J. LAWRENCE ARCHITECT INCORPORATED. REPRODUCTION IS NOT PERMITTED.

**PROJECT:**  
 SHERBOURNE DEVELOPMENT

463 SHERBOURNE RD., OTTAWA ON

**SHEET TITLE:**  
 SITE PLAN

**DRAWN BY:**  
 A.L.

**CHECKED BY:**  
 S.J.L.

**PLOT DATE:**  
 2020.09.04

**PROJECT DATE:**  
 2020.05.28

**JOB NUMBER:**  
 SL-1004-20

**SCALE:**  
 AS SHOWN

**SHEET NUMBER:**  
 A100

01 SITE PLAN  
 A1.0 SCALE: 1:300

