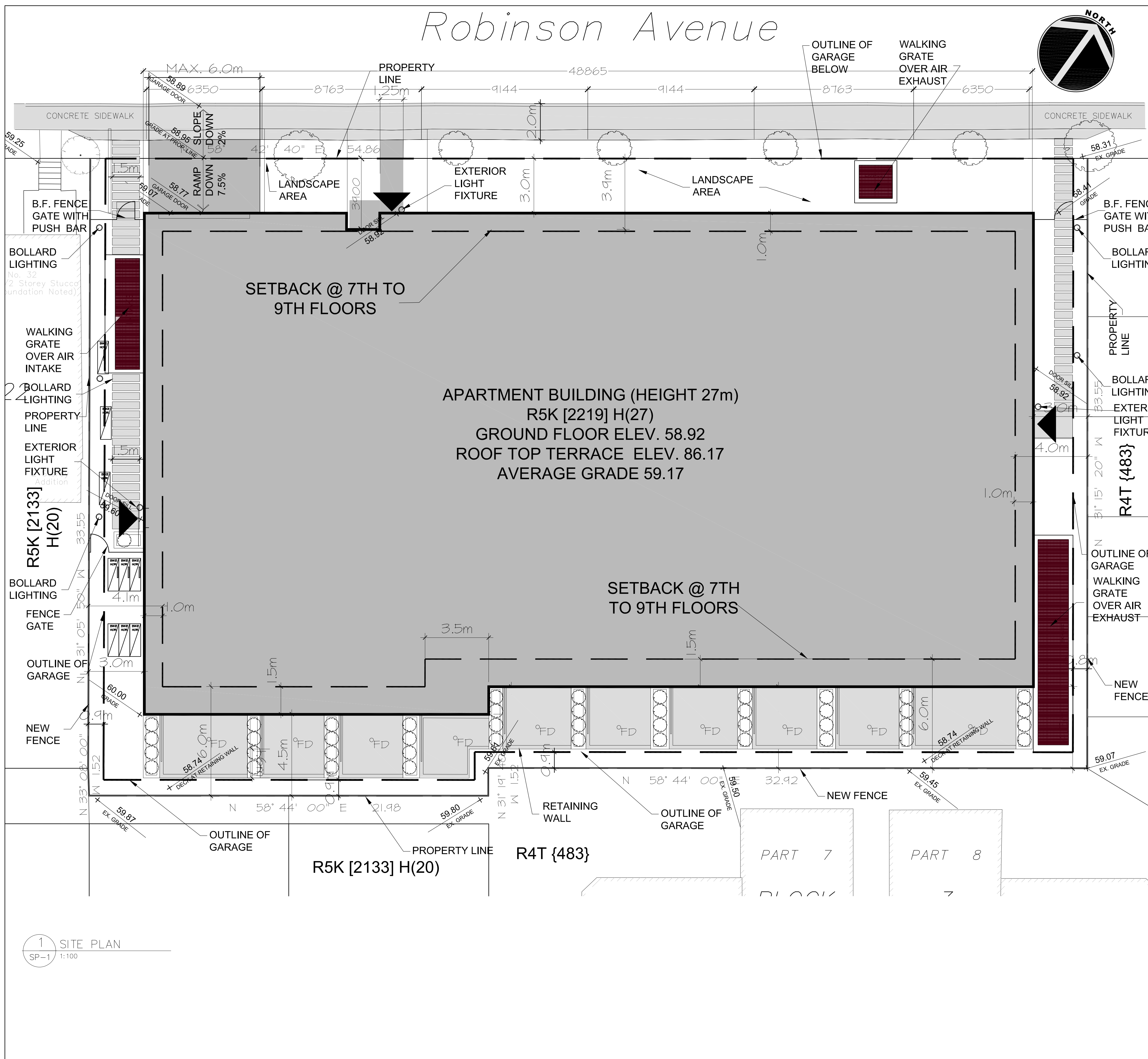
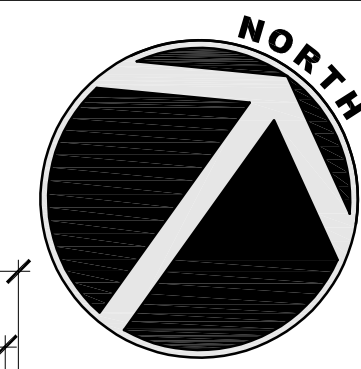


Robinson Avenue



SITE DATA

SITE STATISTICS

| | |
|---|----------------------|
| GROSS FLOOR AREA | 11,367m ² |
| LOT COVERAGE | 1075m ² |
| TOTAL GROSS BUILDING AREA | 1,299m ² |
| TOTAL LOT COVERAGE | 64% |
| TOTAL HARD LANDSCAPING AREA | 348m ² |
| TOTAL LOT COVERAGE (DRIVERWAY NOT INCLUDED) | 18% |
| TOTAL SOFT LANDSCAPING AREA | 24m ² |
| TOTAL LOT COVERAGE | 15% |

PARKING (PARKING PROVISIONS 2008-250 SECTION 100-114)

| USE | REQUIRED | PROVIDED |
|-------------------------|--|--|
| MID-RISE APT. UNITS 153 | 153-12x5=711 Parking Space / Dwelling Unit | Parking 71-40% for Reduced=28 Standard 43 |
| Visitor Parking SPACES | (153-12)x1.14=173 Visitor Parking Spaces/Dwelling Total Required= 85 | Visitor Parking 14 Total Provided = (28 Reduced, 6@ Standard) 85 SPACES TOTAL |
| BICYCLE PARKING | REQUIRED 0.5 x 153 UNITS = 77 SPACES | PROVIDED 100 SPACES PROVIDED 16 HORIZ. STANDARD SPACES (4 EXT.) 42 STACKABLE=84 100 SPACES TOTAL |

SOLID WASTE STORAGE & DISPOSAL

| APARTMENT REQUIRED: | APARTMENT PROVIDED: |
|-------------------------------------|------------------------------------|
| GARBAGE STORAGE COMPACTED - 5x4 yd. | GARBAGE STORAGE PROVIDED - 5x4 yd. |
| FIBRE (PAPER) STORAGE - 3x4 yd. | FIBRE (PAPER) STORAGE - 3x4 yd. |
| G.M.P. STORAGE - 1x3 yd. | G.M.P. STORAGE - 1x3 yd. |
| GREEN WASTE STORAGE - 4x240 L | GREEN WASTE STORAGE - 4x240 L |

SURVEY INFORMATION

PLAN OF SURVEY OF PART OF LANE (ADJACENT TO LOTS 15, 16, 18, 19, 21 AND 22) REGISTERED PLAN 190 CITY OF OTTAWA

GRAPHIC SCALE

1 : 100

SITE STATISTICS

| ZONING: | REQUIRED | PROPOSED |
|--|--|---------------------------------------|
| R5K [2219] H(27) | | |
| DWELLING TYPE: MID RISE APARTMENT (153 UNITS) | | |
| MIN. WIDTH OF PRIVATE DRIVEWAY | 6.0m | 6.0m |
| MIN. WIDTH OF DRIVE AISLE WIDTH | 6.0m | 6.0m |
| SETBACKS (AS PER ZONING MAP) | STORY SETBACK REQUIRED | STORY SETBACK PROVIDED |
| FRONT YARD - NORTH | 1 to 6 3.0m | 1 to 4 3.0m |
| INTERIOR SIDE YARD - EAST | 3.0m | 4.0m |
| INTERIOR SIDE YARD - WEST | 3.0m | 4.0m |
| REAR YARD - SOUTH | 4.5m | 6.0m |
| MIN. LOT WIDTH | 15.0m | 54.83m |
| MIN. LOT AREA | 450m ² | 1075m ² |
| MAX. BUILDING HEIGHT | 27m | 27m |
| MAX. FLOOR SPACE INDEX | 2.0 | 1.48m |
| MIN. PERCENTAGE OF LANDSCAPED AREAS | 30% | 31.68% |
| ABUTTING A STREET (m) | NO MIN. | NO MIN. |
| OTHER CASES (m) | NO MIN. | NO MIN. |
| MIN. TOTAL AMENITY AREA (m ²) APARTMENT OF 9 STOREYS AND 153 UNITS | 6m ² PER DWELLING 918m ² | 946m ² |
| MIN. COMMUNAL AMENITY AREA (m ²) | 50% OF THE REQUIRED TOTAL AMENITY COMMUNAL | 694m ² |
| PERMITTED PROJECTIONS PROVISIONS IN THE CASE OF ANY YARDS | 15m BUT NO CLOSER THAN 1m TO LOT LINE | 15m BUT NO CLOSER THAN 1m TO LOT LINE |
| DRIVEWAY SLOPE FIRST 6 METRES DUE TO SLOPE GREATER AND 6% DRIVEWAY WILL NEED TO BE HEATED. | MAX 6% | 7.5% |

CONSULTANTS

| ARCHITECT | CIVIL ENGINEER |
|---|---|
| HOBIN ARCHITECTURE INC. 63 PANILLA STREET, OTTAWA, ON K1S 3K1 CONTACT: ANDREW HARTE TEL: 613-691-3191 EMAIL: ANDREW.HARTE@COHTRANSFORMATION.COM | DSEL 120 IBER RD, STITTSVILLE, ON K2S 1E4 CONTACT: STEVE MERRICK TEL: 613-836-0856 |
| TRAFFIC PLANNING COH TRANSPORTATION OTTAWA, ON CONTACT: ANDREW HARTE TEL: 613-691-3191 EMAIL: ANDREW.HARTE@COHTRANSFORMATION.COM | URBAN PLANNING FOTENI 223 MCLEOD ST OTTAWA, ON K2P 0Z8 CONTACT: JAMIE POSEN TEL: 613-130-5104 FAX: 613-130-1136 |
| GEOTECHNICAL GHD 179 COLONNADE ROAD #400, OTTAWA, ON K2E 1J4 CONTACT: BAHAREH VAZHBAKHT TEL: 613-121-0551 | SURVEYOR ANNIS, O'SULLIVAN, VOLLEBECK LTD. 14 CONCOURSE GATE, SUITE 500 OTTAWA, ON K2E 1S6 CONTACT: V. ANDREW SHELPI TEL: 613-121-0550 FAX: 613-121-1074 |
| GEOTECHNICAL PATERSON GROUP INC. 154 COLONNADE ROAD OTTAWA, ON K2E 1J5 CONTACT: CARLOS DASILVA TEL: 613-226-1391 | SOUND & VIBRATION GRADIENT NIND ENGINEERING INC. 121 WALGREEN RD, CARP, ON K0A 1L0 CONTACT: Joshua Foster 613-836-0934 |
| LANDSCAPE ARCHITECT JAMES B. LENNOX & ASSOCIATES INC. 1419 CARLING AVENUE OTTAWA, ON K1Z 7L6 CONTACT: JAMES LENNOX TEL: 613-122-5168 FAX: 1-866-343-3442 | |

Said Soth

SAIDE SAYAH
MANAGER, CENTRAL BRANCH
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
By Saide Sayah at 8:18 am, Sep 08, 2020

| NO. | DATE | REVISION |
|-----|----------|------------------------------|
| 19 | 20/07/16 | REV. FOR SITE PLAN CONTROL |
| 18 | 20/05/01 | REV. FOR FOUNDATION PERMIT |
| 17 | 20/04/24 | REV. FOR SITE PLAN CONTROL |
| 16 | 20/01/30 | ISSUED FOR FOUNDATION PERMIT |
| 15 | 20/01/28 | REV. FOR SITE PLAN CONTROL |
| 14 | 20/01/21 | REV. FOR SITE PLAN CONTROL |
| 13 | 19/12/16 | REV. FOR SITE PLAN CONTROL |
| 12 | 19/11/25 | REV. FOR SITE PLAN CONTROL |
| 11 | 19/11/22 | ISSUED FOR REVIEW |
| 10 | 19/11/15 | REV. FOR SITE PLAN CONTROL |
| 9 | 19/10/23 | REV. FOR SITE PLAN CONTROL |
| 8 | 19/08/12 | REV. FOR SITE PLAN CONTROL |
| 7 | 19/07/30 | REV. FOR SITE PLAN CONTROL |
| 6 | 19/03/07 | ISSUED FOR SITE PLAN CONTROL |
| 5 | 19/03/05 | ISSUED FOR CONSULTANT REVIEW |
| 4 | 19/02/28 | ISSUED FOR CONSULTANT REVIEW |
| 3 | 19/02/26 | ISSUED FOR CONSULTANT REVIEW |
| 2 | 19/02/25 | ISSUED FOR CONSULTANT REVIEW |
| 1 | 19/01/30 | ISSUED FOR CONSULTANT REVIEW |

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

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Project title
ROBINSON VILLAGE APARTMENT BUILDING
(OTTAWA, ONTARIO)

Drawing title
SITE PLAN

| drawn | date | scale |
|--------------|--------------|-------|
| KG | JAN. 10/2019 | 1:100 |
| project | 1834 | |
| drawing no. | SP-1 | |
| revision no. | | |

ONTARIO ASSOCIATION OF ARCHITECTS

ANDREW HARTE
ARCHITECT
LICENCE 3049

1 SITE PLAN
SP-1 1:100