



**SITE PLAN CONTROL APPLICATION
DELEGATED AUTHORITY REPORT
STAFF, DEVELOPMENT REVIEW, WEST**

Site Location: 20 McKitrick Drive

File No.: D07-12-20-0079

Date of Application: June 9, 2020

This SITE PLAN CONTROL application submitted by Andy Naoum, Capital Engineering Group Ltd., on behalf of Ottawa Catholic School Board, is APPROVED as shown on the following plan(s):

1. **Tree Conservation Report & Landscape Plan, L.1**, prepared by James B. Lennox & Associates Inc., dated May 2020, revision 2 dated 08/19/2020.
2. **Servicing, Grading and Erosion & Sediment Control Plan, G1**, prepared by Capital Engineering Group Ltd., dated 2020/04/06, revision 3 dated 2020/08/07.
3. **Site Plan, S1**, prepared by Capital Engineering Group Ltd., dated 2020/04/06, revision 3 dated 2020/08/07.

And as detailed in the following report(s):

1. **Geotechnical Investigation Proposed New Bus Lay By and Front Entrance Improvements St. Martin de Porres Catholic School 20 McKitrick Drive Ottawa, Ontario**, prepared by Houle Chevrier Engineering Ltd., dated April 2013.
2. **Servicing and Stormwater Management Report St. Martin de Porres Catholic School 20 McKitrick Drive City of Ottawa**, prepared by Capital Engineering Group Ltd., dated August 7, 2020.

And subject to the following Requirements, General and Special Conditions:

Requirements

1. The Owner shall submit a certificate of insurance in a form satisfactory to the City. The certificate of insurance must be issued in favor of the City of Ottawa in an amount not less than five million dollars per occurrence, must contain an endorsement naming the City as an additional insured and an unconditional thirty days notice of any material change or cancellation of the policy.

General Conditions

1. Letter of Undertaking

The Owner shall execute the City's standard Letter of Undertaking and satisfy the conditions contained within this Delegated Authority Report. In the event the Owner fails to execute the required Letter of Undertaking and submit any required fees and/or securities within six months, this approval shall lapse.

2. Permits

The Owner shall obtain such permits as may be required from municipal or provincial authorities and shall file copies thereof with the General Manager, Planning, Infrastructure and Economic Development.

3. Barrier Curbs

The Owner acknowledges and agrees that the parking areas and entrances shall have barrier curbs and shall be constructed in accordance with the drawings of a design professional, such drawings to be approved by the General Manager, Planning, Infrastructure and Economic Development.

4. Water Supply For Fire Fighting

The Owner shall provide adequate water supply for fire fighting for every building. Water supplies may be provided from a public water works system, automatic fire pumps, pressure tanks or gravity tanks.

5. Reinstatement of City Property

The Owner shall reinstate, at its expense and to the satisfaction of the General Manager, Planning, Infrastructure and Economic Development, any property of the City, including, but not limited to, sidewalks, curbs and boulevards, which is damaged as a result of the subject development.

6. Construction Fencing

The Owner acknowledges and agrees to install construction fencing, at its expense, in such a location as may be determined by the General Manager, Planning, Infrastructure and Economic Development.

Special Conditions

7. Inlet Control Devices (ICDs)

The Owner acknowledges and agrees to install and maintain in good working order the required in-ground stormwater inlet control devices, as recommended in the approved

SERVICING AND STORMWATER MANAGEMENT REPORT, ST. MARTIN DE PORRES CATHOLIC SCHOOL, 20 MCKITRICK DRIVE, CITY OF OTTAWA, prepared by Capital Engineering Group LTD., Revised August 7, 2020. The Owner further acknowledges and agrees it shall assume all maintenance and replacement responsibilities in perpetuity. The Owner shall keep all records of inspection and maintenance in perpetuity, and shall provide said records to the City upon its request.

8. Professional Engineering Inspection

The Owner shall have competent Professional Engineering inspection personnel on-site during the period of construction, to supervise the Works, and the General Manager, Planning, Infrastructure and Economic Development, shall have the right at all times to inspect the installation of the Works. The Owner acknowledges and agrees that should it be found in the sole opinion of the General Manager, Planning, Infrastructure and Economic Development, that such personnel are not on-site or are incompetent in the performance of their duties, or that the said Works are not being carried out in accordance with the approved plans or specifications and in accordance with good engineering practice, then the General Manager, Planning, Infrastructure and Economic Development, may order all Work in the project to be stopped, altered, retested or changed to the satisfaction of the General Manager, Planning, Infrastructure and Economic Development.

9. Stormwater Works Certification

Upon completion of all stormwater management Works, the Owner acknowledges and agrees to retain the services of a Professional Engineer, licensed in the Province of Ontario, to ensure that all measures have been implemented in conformity with the approved Plans and Reports, **Servicing, Grading and Erosions & Sediment Control Plan**, plan number G1, prepared by Capital Engineering Group, project CEGL201001, dated 2020/04/06, Revision 03, dated 2020/08/07. The Owner further acknowledges and agrees to provide the General Manager, Planning, Infrastructure and Economic Development with certificates of compliance issued by a Professional Engineer, licensed in the Province of Ontario, confirming that all recommendations and provisions have been implemented in accordance with the approved Plans and Reports.

10. Site Dewatering

The Owner acknowledges and agrees that while the site is under construction, any water discharged to the sanitary sewer due to dewatering shall meet the requirements of the City's Sewer Use By-law No. 2003-514, as amended.

11. Tree Permit

The Owner acknowledges and agrees that any trees to be removed shall be removed in accordance with an approved Tree Permit and Tree Conservation Report, and in accordance with the City's Urban Tree Conservation By-law, being By-Law No. 2009-200, as amended. The Owner further acknowledges and agrees that a copy of the approved Tree Permit and Tree Conservation Report shall be posted on the construction site at all times until Approval is granted by the City for such Works.

September 1, 2020

Date



Colette Gorni
Planner I, Development Review, West
Planning, Infrastructure and Economic
Development Department

Enclosure: Site Plan Control Application approval – Supporting Information



SITE PLAN CONTROL APPROVAL APPLICATION SUPPORTING INFORMATION

File Number: D07-12-20-0079

SITE LOCATION

The subject site is located at 20 McKitrick Drive, and as shown on Document 1.

SYNOPSIS OF APPLICATION

The subject site is located along the east side of McKitrick Drive, south of the intersection of McKitrick Drive and Castlefrank Road. It is an irregularly shaped parcel, with an area of approximately 3.0 hectares, and 130 metres of frontage along McKitrick Drive. The site is currently occupied by an existing elementary school, St. Martin de Porres Catholic School, which contains 17 classrooms and has 10 portables on the eastern portion of the site. The existing parking lot contains a total of 37 parking spaces, including once accessible parking space. The Committee of Adjustment granted a minor variance to the site on February 20, 2019 (D08-02-19/A-00018), which permits a reduced parking space rate of 1.25 spaces per classrooms.

The development proposal includes the expansion of the existing parking area by 21 vehicle parking spaces, and the addition of eight portables on the site. The new parking area is located north of the existing school building and will be accessed through the existing parking lot and accesses along McKitrick Drive. The existing portables located south of the existing school building are to be reconfigured to create space for up to eight additional portables. All portables are located outside of the Carp River regulation limits. An addition 54 bicycle parking spaces is also being provided adjacent to the existing bus layby, located at the front of the school building.

DECISION AND RATIONALE

This application is approved for the following reasons:

- The proposal conforms to the General Urban Area designation of the Official Plan;
- The proposal conforms to all relevant provisions of the Zoning By-law, including those specific to the I1A zone and 15-metre height limit;
- Conditions of approval have been included in this report in order to ensure that the proposed development is constructed in conformity with City policies and guidelines;

- The applicant has adequately resolved the comments received during the technical review process; and,
- The proposed development allows an existing school to expand capacity to meet increasing demand and represents good planning.

CONSULTATION DETAILS

Councillor's Concurrence

Councillor Allan Hubley was aware of Staff's recommendation. Councillor has concurred with the proposed conditions of approval.

Public Comments

This application was not subject to public circulation under the Public Notification and Consultation Policy. There was no public comment received online.

Technical Agency/Public Body Comments

Hydro Ottawa

The applicant has been provided comments, which are to be addressed directly with Hydro Ottawa.

NAV Canada

The applicant has been provided comments, which are to be addressed directly with NAV Canada.

Advisory Committee Comments

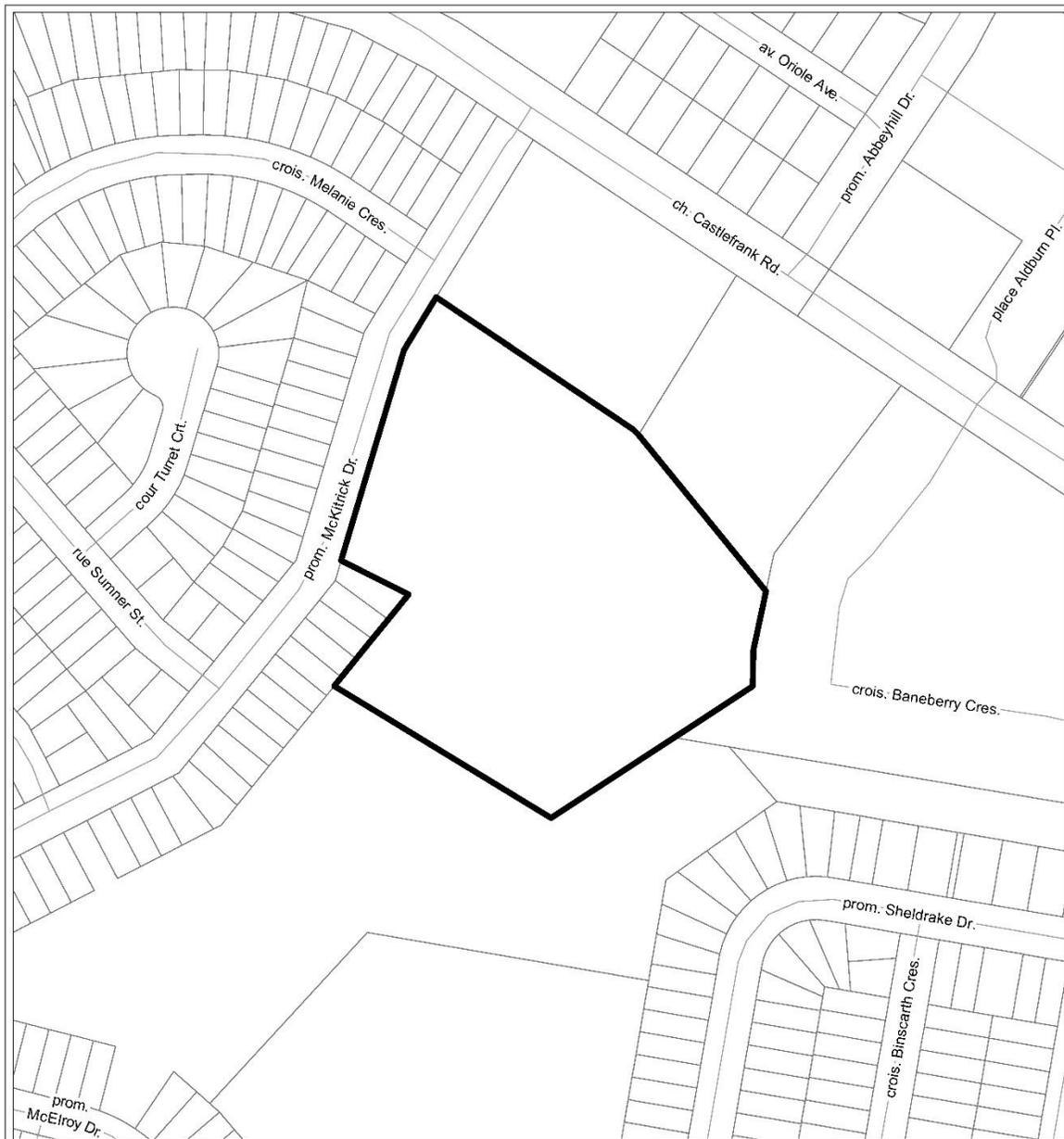
N/A

APPLICATION PROCESS TIMELINE STATUS

This Site Plan application was processed by the On Time Decision Date established for the processing of an application that has Manager Delegated Authority.

Contact: Colette Gorni, Tel: 613-580-2424, ext. 21239, fax 613-580-2576 or e-mail: Colette.Gorni@ottawa.ca

Document 1 – Location Map



		LOCATION MAP / PLAN DE LOCALISATION SITE PLAN / PLAN D'EMPLACEMENT	
D07-12-20-0079	20-0523-L	 20 prom. McKitrick Dr.	
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REVISION / RÉVISION - 2020 / 06 / 17		 <small>NOT TO SCALE</small>	