

PLANNING RATIONALE REPORT

240 FERLAND MINOR REZONING AND SITE PLAN APPLICATIONS
CITY OF OTTAWA

PREPARED BY: P H ROBINSON CONSULTING
AUGUST 2020

This report has been prepared on behalf of Metro Development Corporation in support of Minor Rezoning and Site Plan Control Applications for their lands at 240 Ferland in the Vanier Community in Ottawa. The legal description of the property is Lots 265 and 266 Registered Plan 4M-25, City of Ottawa (see Survey Plan in the Appendix Section).

The property is located on the east side of Jolliet Avenue at the corner of Ferland Street (see Location plan in the Appendix).

Surrounding land uses are generally residential in nature with a small convenience store/grocery store located on the west side of Jolliet opposite to the property.

There has been some recent infill development on Ferland and also a development recently completed further to the south on Jolliet where there are two pairs of back to back semis that are three storeys in height.

To the east, west, south and north the lands are used for residential uses. See photos taken on the perimeter of the property showing surrounding areas and the subject property itself in the Appendix section of this report.

The property is approximately 350 m south of Beechwood Avenue which has been the subject of a number of recent residential infill and intensification projects including the Kavanaugh Condominium project at Jolliet/Beechwood which contains 124 units. As well, on nearby Marquette Avenue a 22 unit rental building has been completed close to the Optimiste Park.

The subject lands have 24.40 m of frontage (80') on the south side of Ferland and 29.11 metres of depth (96') of frontage on Jolliet. See the survey plan in the Appendix section for further details.

There are no easements or rights of way on the property. There are existing overhead hydro wires in proximity to both frontages which results in increased front yard setbacks beyond the required setbacks based on the Zoning By-law.

The property currently consists of two whole lots (Lots 265 and 266 Registered Plan 4M-25) on a Registered Plan of Subdivision. In late 2019, the existing two storey dwelling was demolished on the property. The original two storey dwelling contained a 5 unit rental building with units facing both of the streets.

The intent of the site plan and minor rezoning application is to build a 2 storey plus basement level residential rental building, with approximately 960 m² (10330 ft²) of residential floor area within 10 units. These will be stacked units with one level of units being in the basement level and the ground level and the upper 5 units will be located on the 2nd and 3rd floors of the building. The

maximum building height is 10.9 m and the maximum building height in the Zoning By-law for this area is 11 m. New fencing will be installed along the lot lines that abut the adjacent properties.

Each unit will have its own entrance directly from the exterior of the building with four pairs of units (8 units in total) having their entrance facing Jolliet and the other pair of units (2 units in total) will have their entrance face Ferland.

See the Appendix section for the site plan and exterior elevation drawings for the project.

The proposal calls for 2 parking spaces to be located near the south east corner of the property and they are accessed via a driveway from Ferland Street. The current by-law regulations do not require any parking for a project of this scale.

A bike rack area is proposed at the south east corner of the property at a ratio of 0.5 spaces for each unit (5 bicycle parking spaces being provided)

The proposed 10-unit townhouse seeks to offer a residential aesthetic which builds upon the existing low-rise context while augmenting the level of materiality and finish quality beginning to be expressed in more recent contextual interventions on Jolliet and Beechwood Avenue. This is manifested through the use of punched windows, vernacular cladding choices including masonry, siding and cement panel as well as in the cornicing at the parapet and capping the masonry.

High-quality landscape integration exhibited in the use of concrete entrance steps and picketed steel guard rails contribute to the desired character. The porticos also offer a human-scale and greater privacy for each dwelling.

The colour palette is generally austere, with tones of buff brick, warm-grey siding and accents, and white porticos, with the intent of reducing potential for visual-noise in the high degree of variation in surrounding building colour and material palettes.

Despite necessitating a relatively compact floor plate interest is developed in the massing via the stepping in and out of entrance alcoves, stoops and a recess at the third level fronting both streets, but also in the playful integration of materials and layering across the faces. Accent coloured entrance doors in yellow-orange compliment the surrounding tones and bring life to the overall composition.

The City of Ottawa **parking requirements** for this type of development would be:

Total required parking = The 1st 12 units are exempt from parking requirements for either residents or visitors to the building. A total of 2 parking spaces are

proposed for the property. Based on the proximity of the property to OC Transpo routes (routes 17, 19 and 20 are in the neighbourhood) and the provision of bicycle parking spaces on site, two parking spaces for this development are being proposed. There are no required number of parking spaces for a development of this size in this location based on the Zoning By-law regulations.

Background studies addressing soils, environmental issues and civil engineering design and the architectural drawings are being filed as part of this Zoning and Site Plan application. No major issues or concerns were identified in these studies.

Zoning

Under Zoning By-law 2008-250 the subject lands are zoned R4E (Residential Fourth Density Zone) .

This is a zone which permits low rise apartment dwellings. Based on the R4 zoning in effect at the present time, there is one identified performance standard that is in effect that will need to be modified through the submission of a minor rezoning application. Based on the site plan design also being filed at this time, this modification is as follows:

- The proposed number of residential units in the building is 10 and the current zoning (R4H) permits 4 units per building. It should be noted that this property consists of two whole lots on a Plan of Subdivision and proposed changes to the R4 zoning would allow 8 units per building. The minor zoning amendment application being filed will reflect the current in full force and effect requirements and it should be noted that these are two full lots that are part of the application.

The proposed use of the site is in conformity with the remainder of the R4 regulations and the setback requirements that apply to this site.

Details of the setbacks and the requirements are on the Site Plan drawing filed with the application.

It should be noted that proposed modifications to the R4 zone are scheduled to be heard by the City's Planning Committee in August 2020. These modifications would increase the permitted maximum number of units for a development proposal to allow 8 units per building.

The minor rezoning application that is being filed is requesting that the number of permitted dwelling units on this property be increased to 10. Based on the overall size of the lot, and the relatively low scale of development and its height and setbacks being proposed to nearby properties, it is felt that the increase to

allow 10 units on the property allows for a sensitive development that fits in well in the neighbourhood.

The property exceeds the performance standards for front yard, side yard, corner side yard and rear yard setbacks and it also meets the zoning requirements for amenity area, landscaped area calculations and the maximum building height.

The proposed modifications have not been heard by the Planning Committee or City Council and would be subject to the statutory appeal process. As a result, the applications are based on the current regulations. In that regard our minor rezoning request is to permit 10 units (stacked units) on this lot which at the current time would allow only 4 units on the lot. It is our understanding that this application will be reviewed based on the performance standards in effect at the present time and is not going to be subject to any changes to the R4 zone that are proposed through a forthcoming zoning amendment that is to be heard at upcoming Planning Committee/City Council meetings.

Provincial Policy Statement

The current Provincial Policy Statement (PPS) came into effect on May 1 2020 and it outlines the key matters of Provincial planning interest with respect to land use planning decisions made by municipal approval authorities. Any decisions that are made by municipal approval authorities must be consistent with the policies of the PPS.

The following are sections of the PPS that are applicable to a redevelopment on the subject property:

- 1.1.1 Healthy, liveable and safe communities are sustained by:
 - a) promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term; *The redevelopment on the site represents an efficient intensification of the site and will not create inefficient land use patterns in the area.*
 - e) promoting cost-effective development standards to minimize land consumption and servicing costs. *The intensification of the site will be achieved through a 3 storey plus basement level new building on the site and due to the proximity of nearby transit availability no on site parking will be provided. The existing infrastructure within the City Right of Way will be connected to the new building.*
- 1.1.3.1 *Settlement areas* shall be the focus of growth and their vitality and regeneration shall be promoted. *The property is within a settlement area of the City of Ottawa.*
- 1.1.3.2 Land Use Patterns within *settlement areas* shall be based on:
 - a) densities and a mix of land uses which: 1) efficiently use land and

resources. *This redevelopment of the property is an efficient use of the land and will allow for a sensitive infill development that meets the majority of City zoning requirements for this use* 2) are appropriate for, and efficiently use, the infrastructure and public service facilities which are planned or available, and avoid the need for their unjustified and/or uneconomical expansion; *The proposed new development on the property will efficiently utilize the existing infrastructure available within the City Right of Way on Ferland Street and Jolliet Avenue.*

- 1.4.3 Planning authorities shall provide for an appropriate range of housing types and densities to meet projected requirements of current and future residents of the regional market area by:
- c) directing the development of new housing towards locations where appropriate levels of infrastructure and public service facilities are or will be available to support current and projected needs. *The proposed infill development is within an established neighbourhood with nearby infrastructure, public transit along nearby streets and nearby parks (Optimiste Park, and Richelieu Park and the open space opportunities at the Beechwood Cemetery lands), schools and community facilities for residents needs.*
- d) promoting densities for new housing which efficiently use land, resources, infrastructure and public service facilities, and support the use of alternative transportation nodes and public transit in areas where it exists or is to be developed; *The infill development represents an efficient use of land on the property and utilizes existing infrastructure*

Official Plan Designation – City of Ottawa Official Plan

The site is designated General Urban Area in the Urban Policy Plan of the City of Ottawa Official Plan.

The General Urban Area designation permits the development of a full range and choice of housing types to meet the needs of all ages, incomes and life circumstances, in combination with conveniently located employment, retail, service, cultural, leisure, entertainment and institutional uses. This will facilitate the development of complete and sustainable communities. A broad scale of uses is found within this designation, from ground-oriented single-purpose to multi-storey mixed-use; from corner store to shopping centre.

Permitted uses within a General Urban Area include **residential**.

Key policies within the General Urban Area designation that are applicable to this infill development are contained in Section 3.6.1 of the Official Plan and are:

3.6.1.1 General Urban Area areas are designated on Schedule B. The General Urban Area designation permits **all types and densities of housing**, as well as employment, retail uses, service, industrial, cultural, leisure, greenspace, entertainment and institutional uses.

The density of housing proposed is permitted in this designation.

3.6.1.3 When considering a proposal for residential intensification through infill or redevelopment in the General Urban Area, the City will:

Recognize the importance of new development relating to existing community character so that it enhances and builds upon desirable established patterns and built form;

The proposed 3 storey plus basement residential building is in general conformity with existing residential development and recent infill projects in the neighbourhood and due to its proximity to Beechwood Avenue and its transit opportunities it is an appropriate land use in the community with the density of development that is being proposed..

Conclusions

The proposed development of a new 3 storey plus basement residential building with 10 stacked units at 240 Ferland is consistent with the majority of current zoning, and the relevant Official Plan policies for these lands.

The site represents a sensitive infill development that will allow for:

- a well designed contemporary residential building that will be located within an established neighbourhood that will add to the character of the street and the neighbourhood
- a new development that meets the majority of current zoning regulations
- a re-development of the existing property that will contribute to the overall intensification of this section of Jolliet Avenue through a sensitive development.

Through the site plan process there are a number of key engineering studies and drawings required in support of the development. These studies show that the site can be serviced through existing service connections along surrounding streets. The overall site drainage and grading has been designed based on current City guidelines and there will be some roof top storage.

Landscaping will be provided within the front, corner side yard and rear yards to provide screening and buffering to adjacent properties.

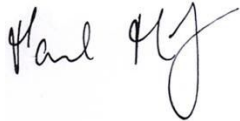
P. H. Robinson Consulting
Urban Planning, Consulting and Project Management

The proposed building height of this development is within the maximum permitted building height and will not cause land use conflicts with adjacent properties.

It is our opinion that the proposed development is consistent with the Provincial Policy Statement and the City of Ottawa Official Plan and the majority of relevant zoning regulations. It is being proposed at an appropriate scale of infill development and will be compatible with surrounding land uses and will contribute to this area of Vanier.

Should you have any questions or require anything further, please do not hesitate to contact the undersigned at (613) 599 9216 or via email at probinson@probinsonconsulting.com

P H Robinson Consulting

A handwritten signature in black ink, appearing to read 'Paul Robinson', with a stylized flourish at the end.

Paul Robinson RPP

APPENDIX

LOCATION PLAN

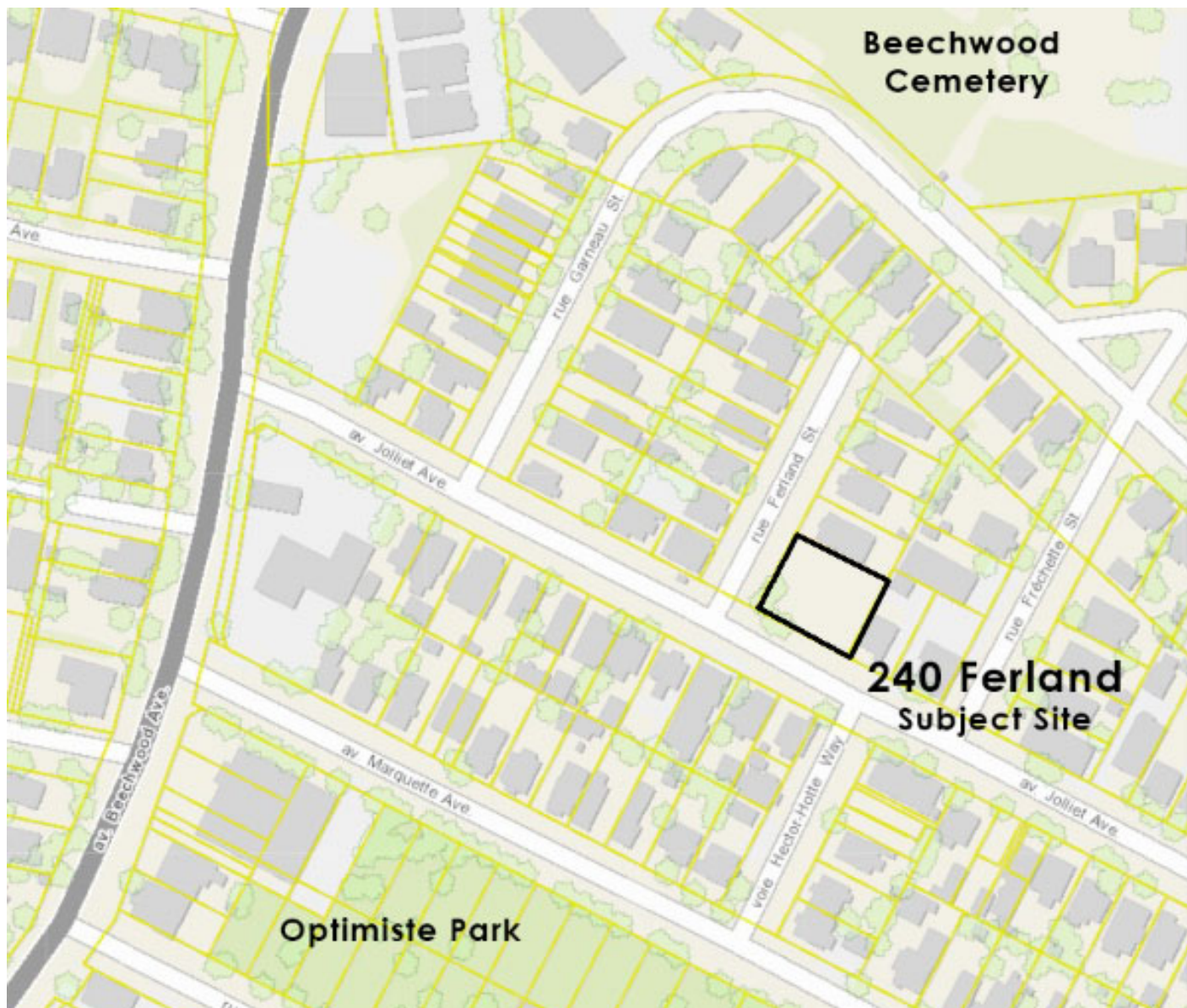
SURVEY PLAN

SITE PHOTOS LOCATION PLAN

SITE PHOTOS

SITE PLAN

ELEVATION PLANS



LOCATION PLAN

LOT 265 & 266
REGISTERED PLAN 4M-25
CITY OF OTTAWA
Prepared by Annis, O'Sullivan, Vollebakk Ltd.

Scale 1 : 100
4 3 2 1 0 2 4 Metres

Metric
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate
I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Surveys
Act, the Surveyors Act and the Land Titles Act and the regulations
made under them.
2. The survey was completed on the 26th day of April, 2019.

Date 12/26/2019
E. H. Herveyer
Ontario Land Surveyor

Hydro Wire Along Joliette Avenue Corrected on August 6, 2019.

Notes & Legend

| Denotes | |
|-----------------------------------|---------|
| Survey Monument Planted | |
| Survey Monument Found | |
| Standard Iron Bar | SIB |
| Short Standard Iron Bar | SSIB |
| Iron Bar | IB |
| Witness | (WIT) |
| Measured | Meas. |
| Annis, O'Sullivan, Vollebakk Ltd. | (AOG) |
| Registered Plan M-25 | (P1) |
| Registered Plan M-32 | (P2) |
| (AOG) Plan June 28, 2007 | (P3) |
| (1287) Plan August 29, 2005 | (P4) |
| (900) Plan July 9, 1979 | (P5) |
| (900) Plan July 7, 1960 | (P6) |
| Deciduous Tree | |
| Coniferous Tree | |
| Fire Hydrant | FH |
| Water Valve | WV |
| Water Stand Post | SP |
| Maintenance Hole (Storm Sewer) | MH-ST |
| Maintenance Hole (Sanitary) | MH-S |
| Overhead Wires | OHW |
| Catch Basin Inlet | CBI |
| Gas Meter | GM |
| Hydro Meter | HM |
| Bollard | B |
| Metal Post | MP |
| Sign | S |
| Chain Link Fence | CLF |
| Plastic Fence | PF |
| Diameter | Ø |
| Location of Elevations | + 55.00 |
| Top of Concrete Curb Elevation | + 55.00 |
| Centreline | C/L |



Bearings are grid, derived from GPS Observations and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) NAD-83 (original).
For bearing comparisons, a rotation of 9°27'40" counter-clockwise was applied to bearings on plans P3 & P4.

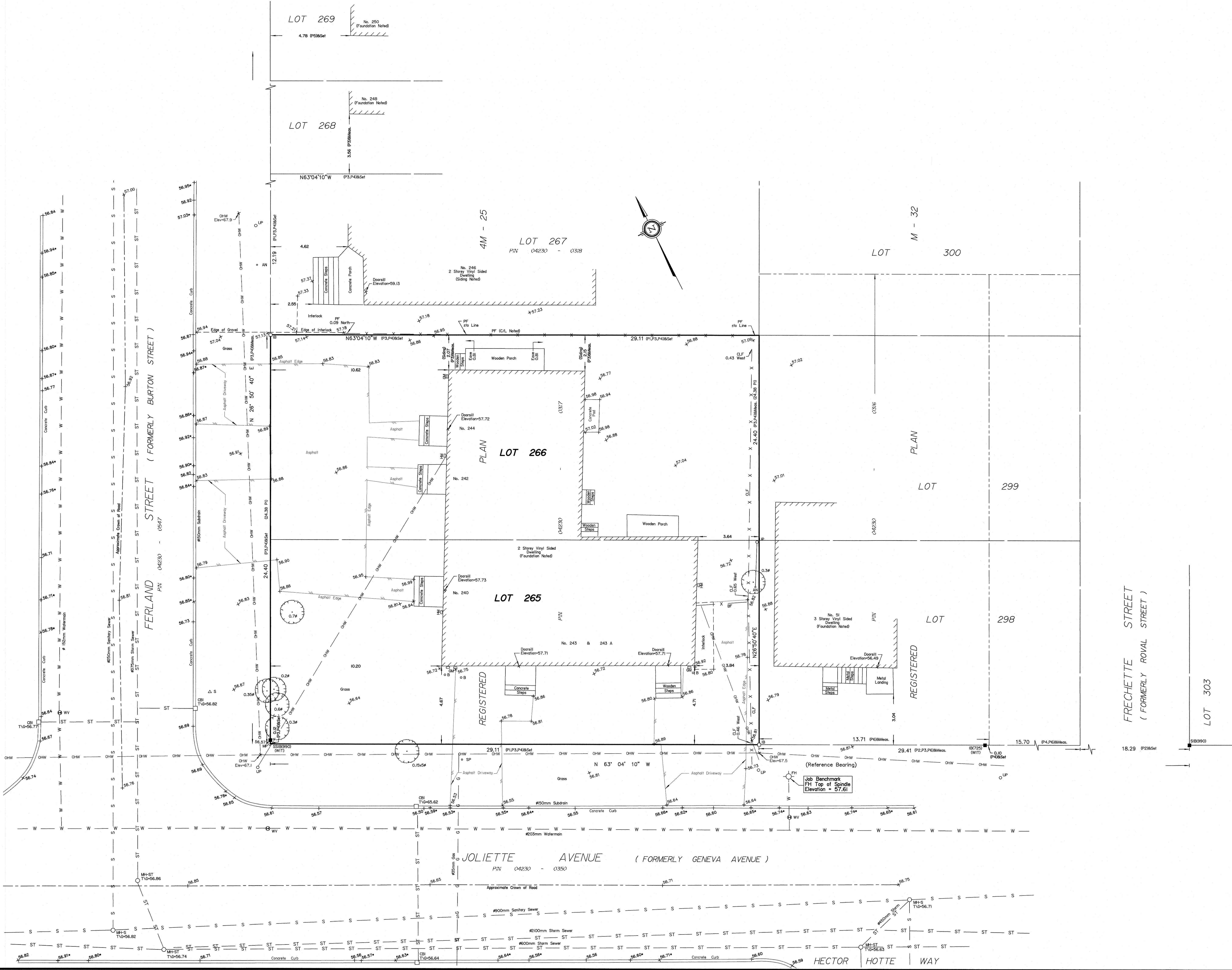
Topographic data was collected under Winter Conditions.
Snow cover and ice preclude determining location and elevation of some topographical data that is otherwise visible.

ELEVATION NOTES

- Elevations shown hereon are referred to City of Ottawa vertical control monument No. G-31 index No. 300 having an elevation of 57.406 metres and are geodetic and are referred to the CGVD28 geodetic datum.
- It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

UTILITY NOTES

- This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
- Only visible surface utilities were located.
- Underground utility data derived from City of Ottawa utility sheet reference ISD15-5114 Sheet 24 & 35
- A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.





SITE PHOTOS LOCATION PLAN



IMAGE 1



IMAGE 2



IMAGE 3



IMAGE 4



IMAGE 5



IMAGE 6



