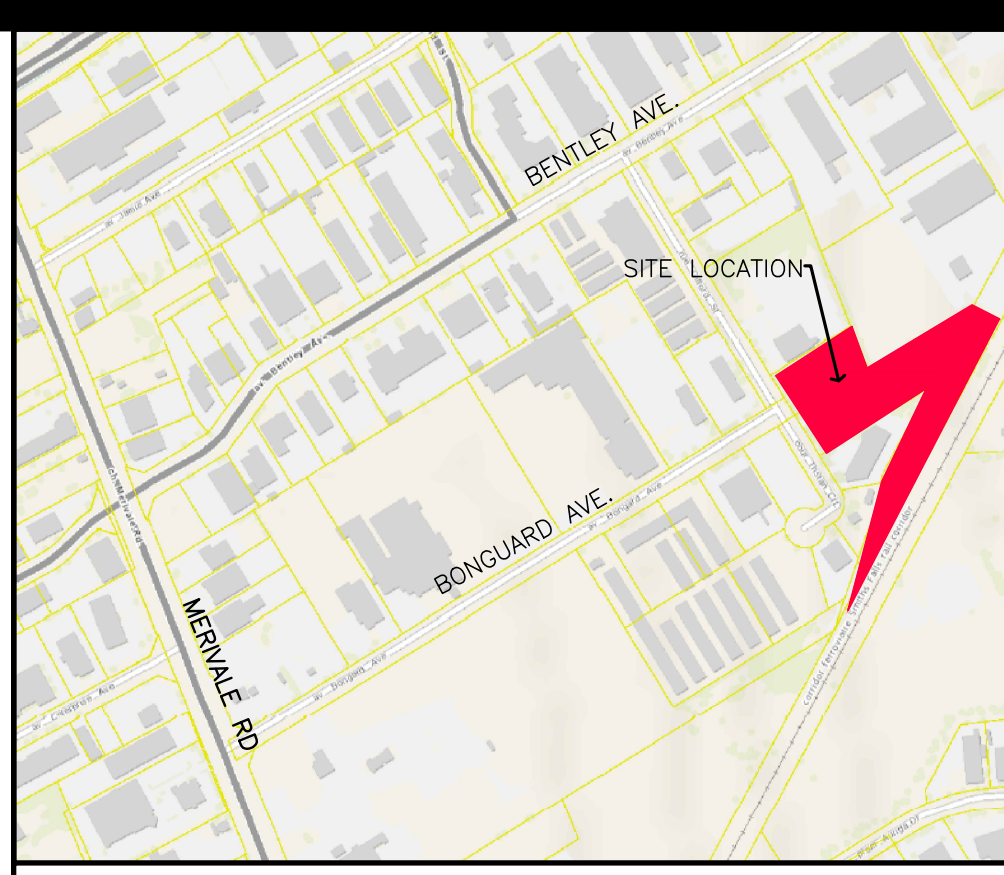


Legal Description:
**LOT 6
 REGISTERED PLAN 4M-615
 AND PART OF LOT 27
 CONCESSION "A" (RIDEAU FRONT)**

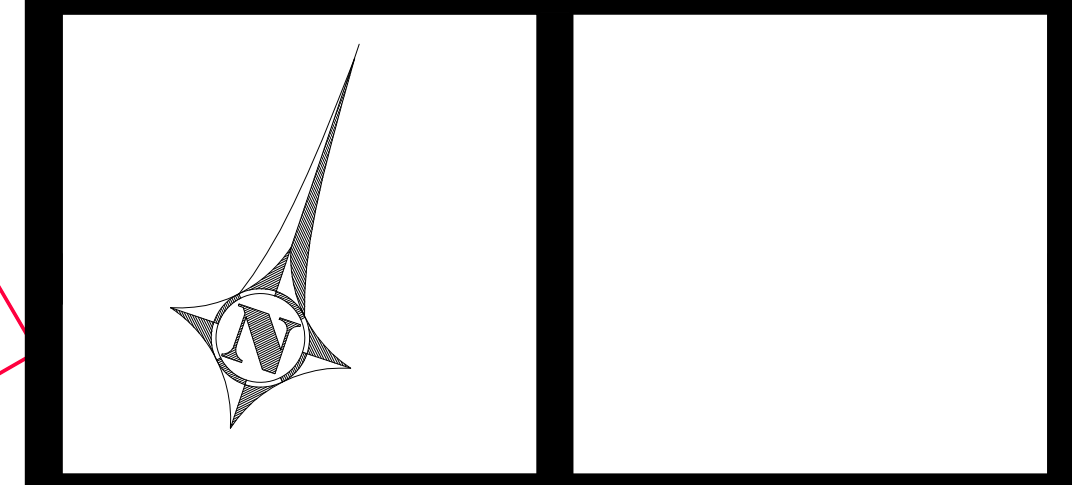
GEOGRAPHIC TOWNSHIP OF NEPEAN
 CITY OF OTTAWA

Survey Prepared by:
 Farley, Smith & Denis Surveying Ltd.
 July 25, 2012



2 SITE KEY MAP
 SP1 SCALE: NTS

NO.	DATE	REVISION
1	JAN.21.2020	ISSUED FOR SPA
2	MAY.14.2020	Response to Planning Comments
3	JUN.23.2020	Response to Planning Comments
4		
5		



BBS
 BUILDING A REPUTATION ON EXCELLENCE
 BBS CONSTRUCTION (ONTARIO) LTD.
 1805 WOODWARD DRIVE,
 OTTAWA, ON K2C 0P9
 TEL.613-226-8830 FAX:613-226-7709
 www.bbsconstruction.ca

OWNER:
 MORIN BROS. INC.

 Building Supplies

PROJECT:
7 TRISTAN CRT. WAREHOUSE PROJECT

DRAWING TITLE:
SITE PLAN

PROJECT N°:	480	DRAWING NO.	
SCALE:	AS NOTED		
DRAWN BY:	MK / AK		
DATE:	1/21/2020		

ZONING PROVISIONS:
 ZONE: IHT - HEAVY INDUSTRIAL ZONE - 1

EXISTING BUILDINGS:
 1248m² - WAREHOUSE
 1852m² - WAREHOUSE
 -675m² - OFFICE
 -3778m² GFA TOTAL

NEW BUILDINGS:
 1259 m² WAREHOUSE
 -35 m² WAREHOUSE ADDITION
 -229 m² 1-STORY OFFICE ADDITION

NEW TOTAL GFA: 5,300m²

MECHANISM	REQUIRED	PROPOSED
MIN LOT AREA	4000m ²	18,928m ²
MIN LOT WIDTH	18.0 MRL	20.0m
MIN. FRONT SETBACK	7.5m	8.21m (EX.)
MIN. CORNER YARD	7.5m	n/a
INT. YARD SETBACK	3.0m	3.0m
MIN. REAR YARD SETBACK	3.0m	3.0m
MAX. BUILDING HEIGHT	22m	9.14m
MAX FLOOR SPACE INDEX	2	2
MIN. LANDSCAPE WIDTH	3.0m	3.0m

PARKING:
 MIN REQUIRED SPACES WAREHOUSE (0.8/100m²)
 OFFICE (2.4/100m²)
 TOTAL PARKING 3.6m x 5.2m
 TOTAL BARRIER FREE SPACES 3.7m x 5.2m
 LOADING SPACES 9m x 3.5m

MECHANISM	REQUIRED	PROPOSED
MIN. REQUIRED SPACES WAREHOUSE	(1 / 2000m ²)	1
OFFICE	(1 / 250m ²)	1
TOTAL REQ'D	0.6m x 1.8m	6

NOTES & LEGEND

TOP OF FOUNDATION	ENTIRE AREA OF WORK
TOP OF FINISH	
UNDERSE OF FOOTING	
MAIN ENTRANCE	
LOCATION OF OVERHEAD DOOR	
EXIT LOCATIONS	
BOLLARD	
DEPRESSED CURB	
PROPERTY LINE	
LINE OF SETBACKS	
FIRE HYDRANT	
CATCH BASIN MAN HOLE	
CATCH BASIN	
LANDSCAPE CATCH BASIN	
EXTERIOR LIGHT FIXTURE	
GAS METER	

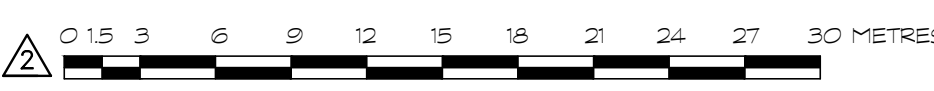
PERMIT VARIANCES GRANTED: (File No. D08-02-19/A-0025)

(A) TO PERMIT REDUCED NORTHERLY, EASTERN AND SOUTHERLY INTERIOR SIDE YARD SETBACKS OF 3m FOR THE EXISTING BUILDINGS AND THE PROPOSED ADDITION, WHEREAS THE BY-LAW REQUIRES A MINIMUM INTERIOR SIDE YARD SETBACK OF 7.5m.

(B) TO PERMIT REDUCED NORTHERLY AND SOUTHERLY INTERIOR SIDE YARD SETBACK OF 3m FOR THE NEW WAREHOUSE, WHEREAS THE BY-LAW REQUIRES A MINIMUM INTERIOR SIDE YARD SETBACK OF 7.5m.

(C) TO PERMIT REDUCED REAR YARD SETBACK OF 3m FOR THE NEW WAREHOUSE, WHEREAS THE BY-LAW REQUIRES A MINIMUM REAR YARD SETBACK OF 7.5m.

1 SITE PLAN
 SP1 SCALE: 1:300



D07-12-17-0063