

Prepared by Annis, O'Sullivan, Vollebakk Ltd.
Field Work Completed December 21, 2011

Metric
DISTANCES AND COORDINATES SHOWN ON THIS PLAN
ARE IN METRES AND CAN BE CONVERTED TO FEET BY
DIVIDING BY 0.3048.

Date: 1-1-19

REVISION NOTE:

- The location and elevation of the lowest high voltage hydro line along the northerly property limit added on December 13, 2012.
- The edge of asphalt at the intersection of Trent Street was added on March 16th, 2016.
- Revised Widenig April 11, 2019

Diagrams	Names
	Deciduous Tree
	Coniferous Tree
	Shrub
	Valve Chamber (Waterman)
	Cart Basin
	Wood Pole
	Anchor
	Well Cap
	Air Conditioner
	Maintenance Hole (Sanitary)
	Manhole (Bell)
	Crawl Space (Loft)
	Board Fence
	Top of Grade
	Invert
	Centreline
	Dammed Edge of Road
	Edge of Road
	Overhead Wire
	Underground Gas
	Underground Hydro
	Underground Storm Sewer
	Underground Water

Elevations shown are referred to geodetic datum. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that it's relative elevation and description agrees with the information shown on this drawing.

Only visible surface utilities were located.
A field location of underground piping by the pertinent utility authority is mandatory before any ground planting, grading, probing, excavating etc.
Sanitary utilities were scaled from City of Ottawa Engineering Drawing H-06-01-01.
Sanitary inverts are taken from City of Ottawa Engineering Drawing P-9C.
Cast basin inverts are taken from City of Ottawa Engineering Drawing R-1889-R-4.

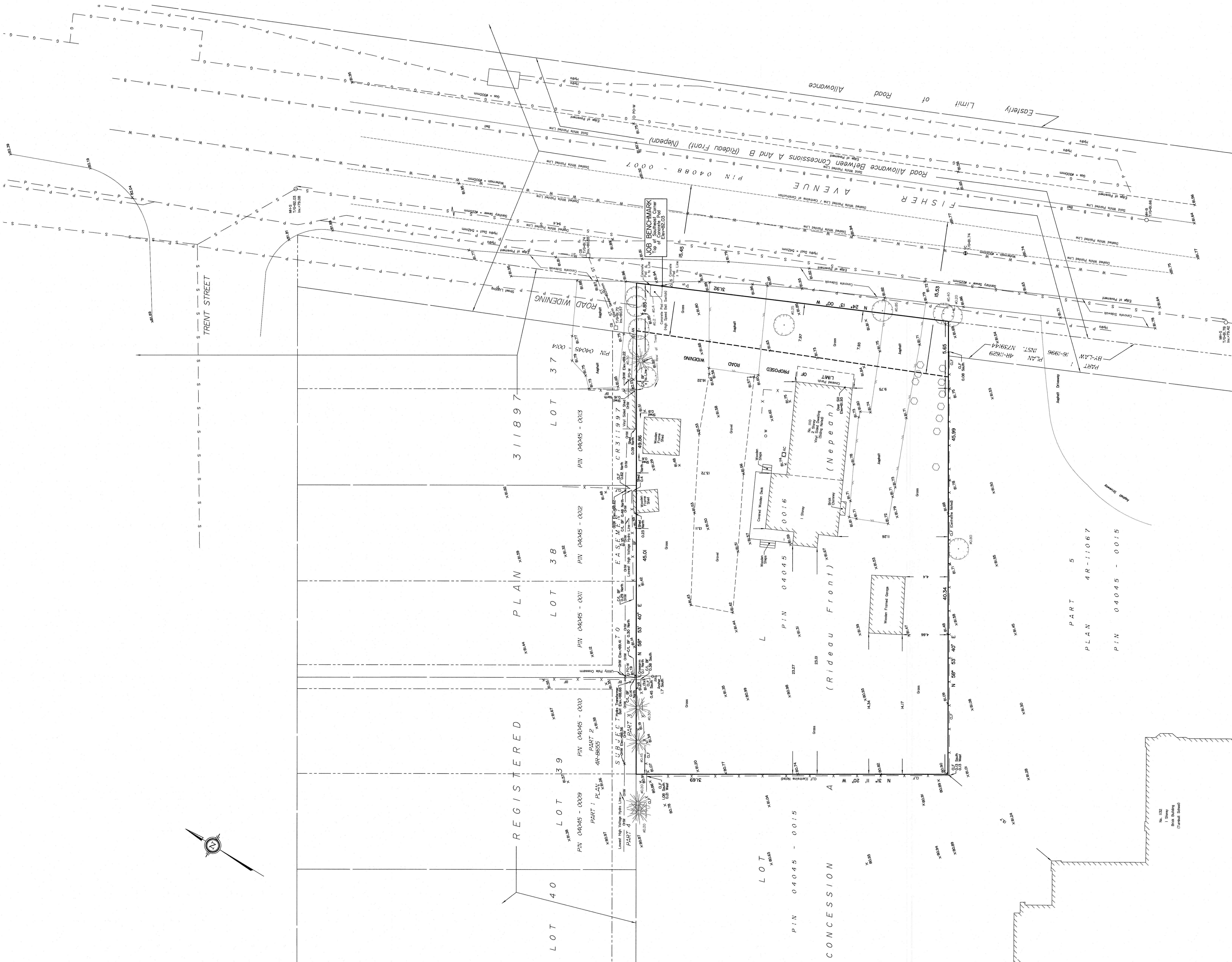
ANNIS, O'SULLIVAN, VOLLEBEKK LTD.

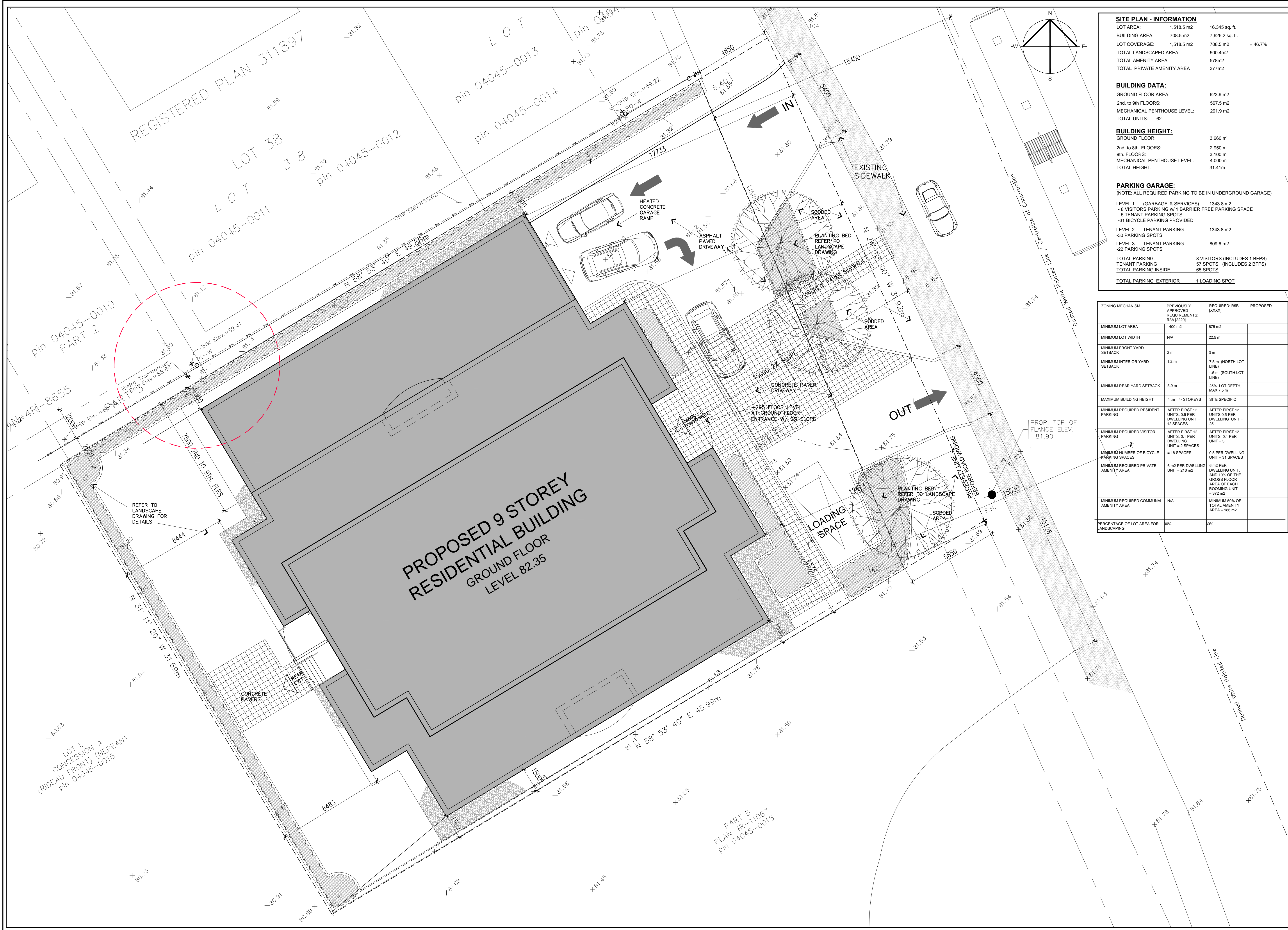
Nepesin, Ont. K0E 7S6
14 Concourse Gate Suite 500

Phone (613) 727-0850 / Fax (613) 727-1079
Email: info@anniss.com

Land Survivors
Ontario

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SITE PLAN - INFORMATION

LOT AREA:	1,518.5 m ²	16,345 sq. ft.
BUILDING AREA:	708.5 m ²	7,626.2 sq. ft.
LOT COVERAGE:	1,518.5 m ²	708.5 m ² = 46.7%
TOTAL LANDSCAPED AREA:		500.4m ²
TOTAL AMENITY AREA:		578m ²
TOTAL PRIVATE AMENITY AREA:		377m ²

BUILDING DATA:

GROUND FLOOR AREA:	623.9 m ²
2nd. to 9th FLOORS:	567.5 m ²
MECHANICAL PENTHOUSE LEVEL:	291.9 m ²
TOTAL UNITS:	62

BUILDING HEIGHT:

GROUND FLOOR:	3.660 m
2nd. to 8th. FLOORS:	2.950 m
9th. FLOORS:	3.100 m
MECHANICAL PENTHOUSE LEVEL:	4.000 m
TOTAL HEIGHT:	31.41m

PARKING GARAGE:
(NOTE: ALL REQUIRED PARKING TO BE IN UNDERGROUND GARAGE)

LEVEL 1 (GARAGE & SERVICES)	1343.8 m ²
- 8 VISITORS PARKING w/ 1 BARRIER FREE PARKING SPACE	
- 5 TENANT PARKING SPOTS	
- 31 BICYCLE PARKING PROVIDED	
LEVEL 2 TENANT PARKING	1343.8 m ²
- 30 PARKING SPOTS	
LEVEL 3 TENANT PARKING	809.6 m ²
- 22 PARKING SPOTS	
TOTAL PARKING:	8 VISITORS (INCLUDES 1 BFPS)
TENANT PARKING	57 SPOTS (INCLUDES 2 BFPS)
TOTAL PARKING INSIDE	65 SPOTS
TOTAL PARKING EXTERIOR	1 LOADING SPOT

ZONING MECHANISM	PREVIOUSLY APPROVED REQUIREMENTS: R3A (2229)	REQUIRED: R5B (XXXX)	PROPOSED
MINIMUM LOT AREA	1400 m ²	675 m ²	
MINIMUM LOT WIDTH	N/A	22.5 m	
MINIMUM FRONT YARD SETBACK	2 m	3 m	
MINIMUM INTERIOR YARD SETBACK	1.2 m	7.5 m (NORTH LOT LINE) 1.5 m (SOUTH LOT LINE)	
MINIMUM REAR YARD SETBACK	5.9 m	25% LOT DEPTH, MAX 7.5 m	
MAXIMUM BUILDING HEIGHT	4 m 4-STOREYS	SITE SPECIFIC	
MINIMUM REQUIRED RESIDENT PARKING	AFTER FIRST 12 UNITS, 0.5 PER DWELLING UNIT = 12 SPACES	AFTER FIRST 12 UNITS 0.5 PER DWELLING UNIT = 25	
MINIMUM REQUIRED VISITOR PARKING	AFTER FIRST 12 UNITS, 0.1 PER DWELLING UNIT = 2 SPACES	AFTER FIRST 12 UNITS, 0.1 PER UNIT = 5	
MINIMUM NUMBER OF BICYCLE PARKING SPACES	= 18 SPACES	0.5 PER DWELLING UNIT = 31 SPACES	
MINIMUM REQUIRED PRIVATE AMENITY AREA	6 m ² PER DWELLING UNIT = 216 m ²	6 m ² PER DWELLING UNIT, AND 10% OF THE GROSS FLOOR AREA OF EACH ROOMING UNIT = 372 m ²	
MINIMUM REQUIRED COMMUNAL AMENITY AREA	N/A	MINIMUM 50% OF TOTAL AMENITY AREA = 186 m ²	
PERCENTAGE OF LOT AREA FOR LANDSCAPING	30%	30%	

DESIGN ♦ CONSTRUCTION

ISSUED FOR ZONING AMENDMENT

21 MAY '19

ISSUED FOR PRELIMINARY DESIGN REVIEW

8 MAY '18

NO. DESCRIPTION

REVISIONS

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY OMISSIONS OR DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK

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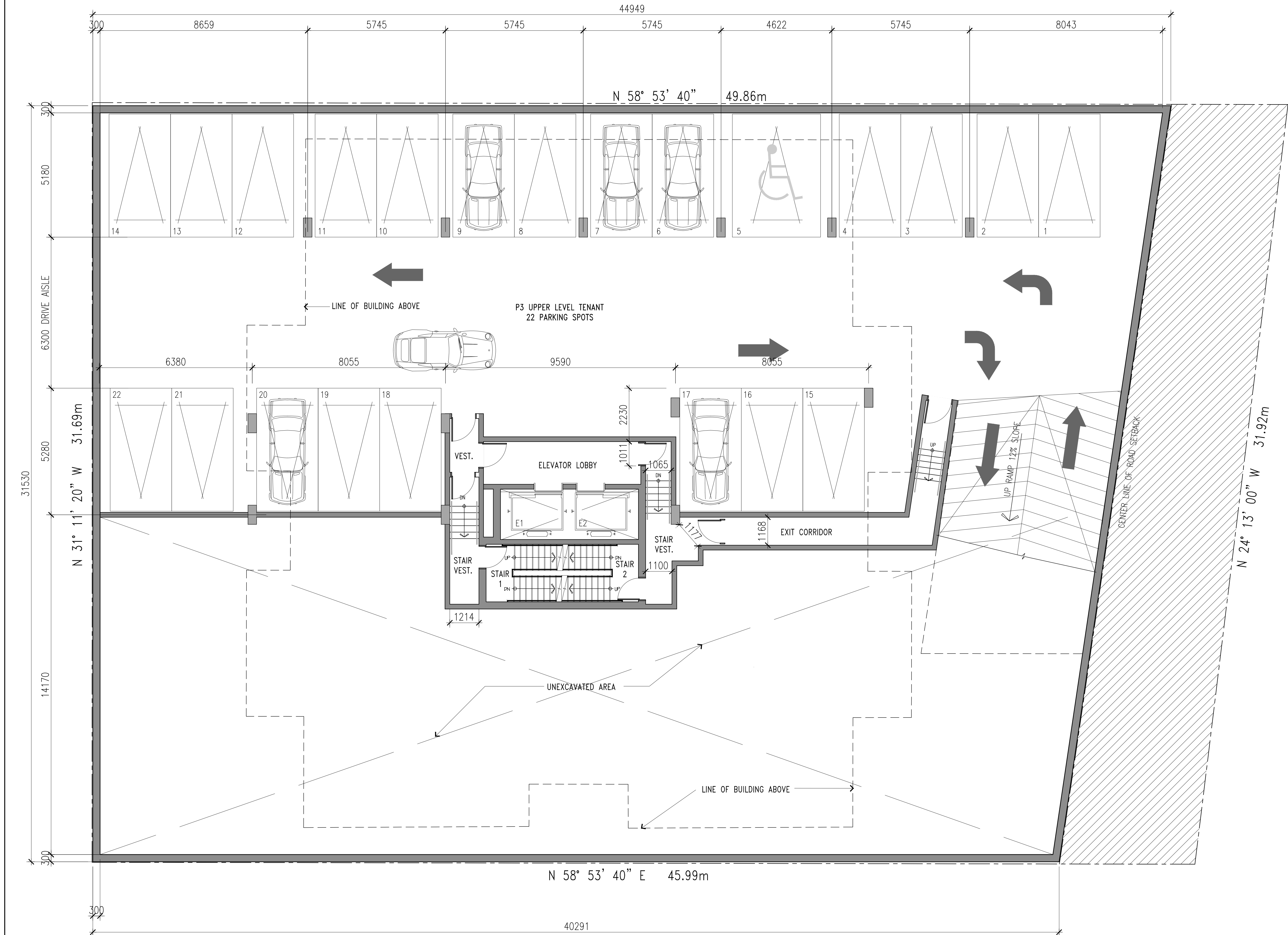
CONSULTANT

ARC associates inc.
50 CAMELOT DRIVE, SUITE 200, K2S 5S8 OTTAWA, ONTARIO
TEL: (613) 274-3335 FAX: (613) 274-3710

PROJECT
1110 FISHER AVENUE DEVELOPMENTS
OTTAWA, ONTARIO

DRAWING
SITE PLAN

SCALE 1:100	SHEET A-001
PROJ. NO. 1901	REV.



1 UPPER LEVEL 3-GARAGE FLOOR PLAN
SCALE: 1:75

ISSUED FOR ZONING AMENDMENT	21 MAY '19
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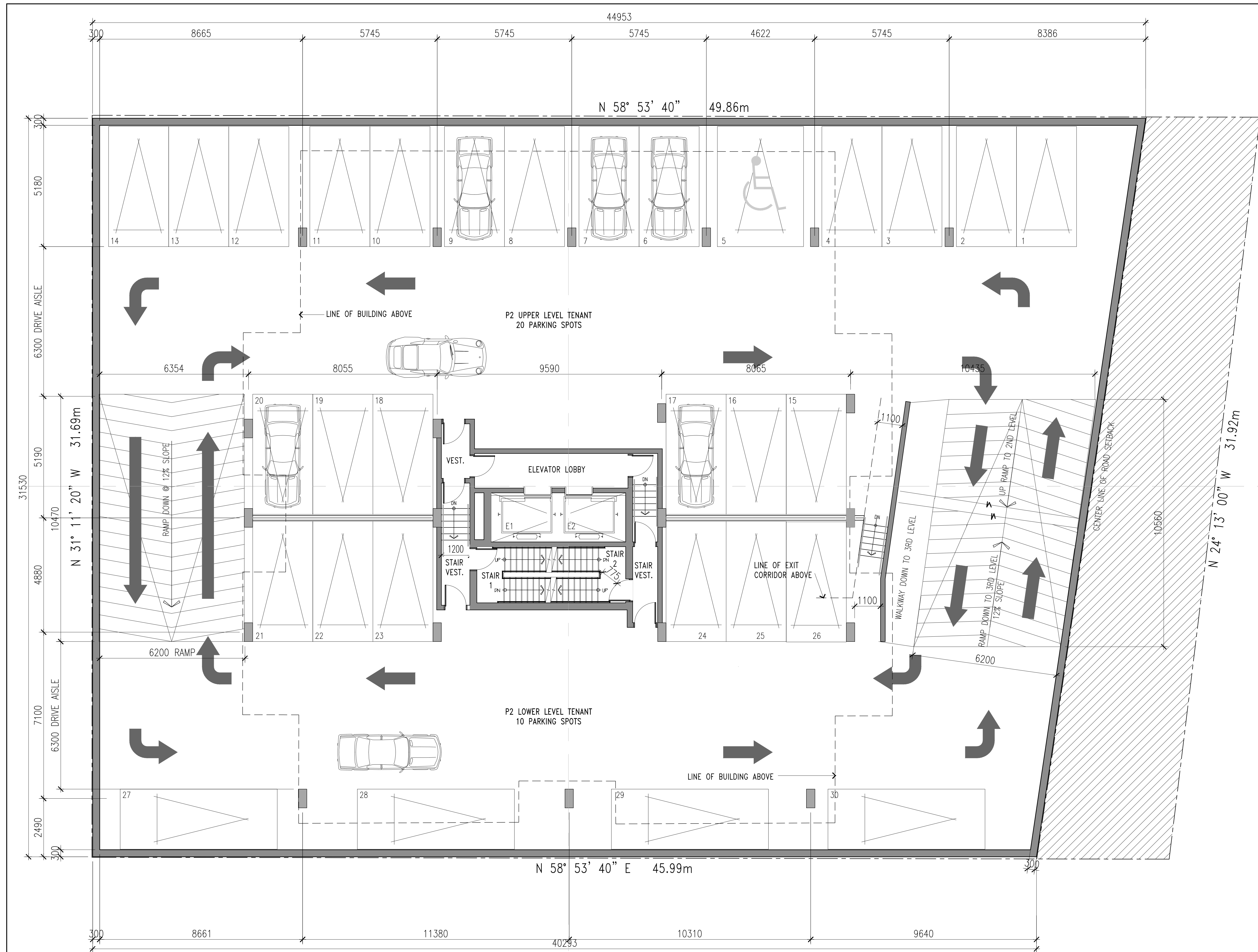
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PROJECT
1110 FISHER AVENUE
DEVELOPMENTS
OTTAWA, ONTARIO

DRAWING
LEVEL 3 GARAGE FLOOR PLAN

SCALE 1:75	SHEET A-101
PROJ. NO. 1901	REV.



1 LEVEL 2 GARAGE FLOOR PLAN
A.102 SCALE: 1:75

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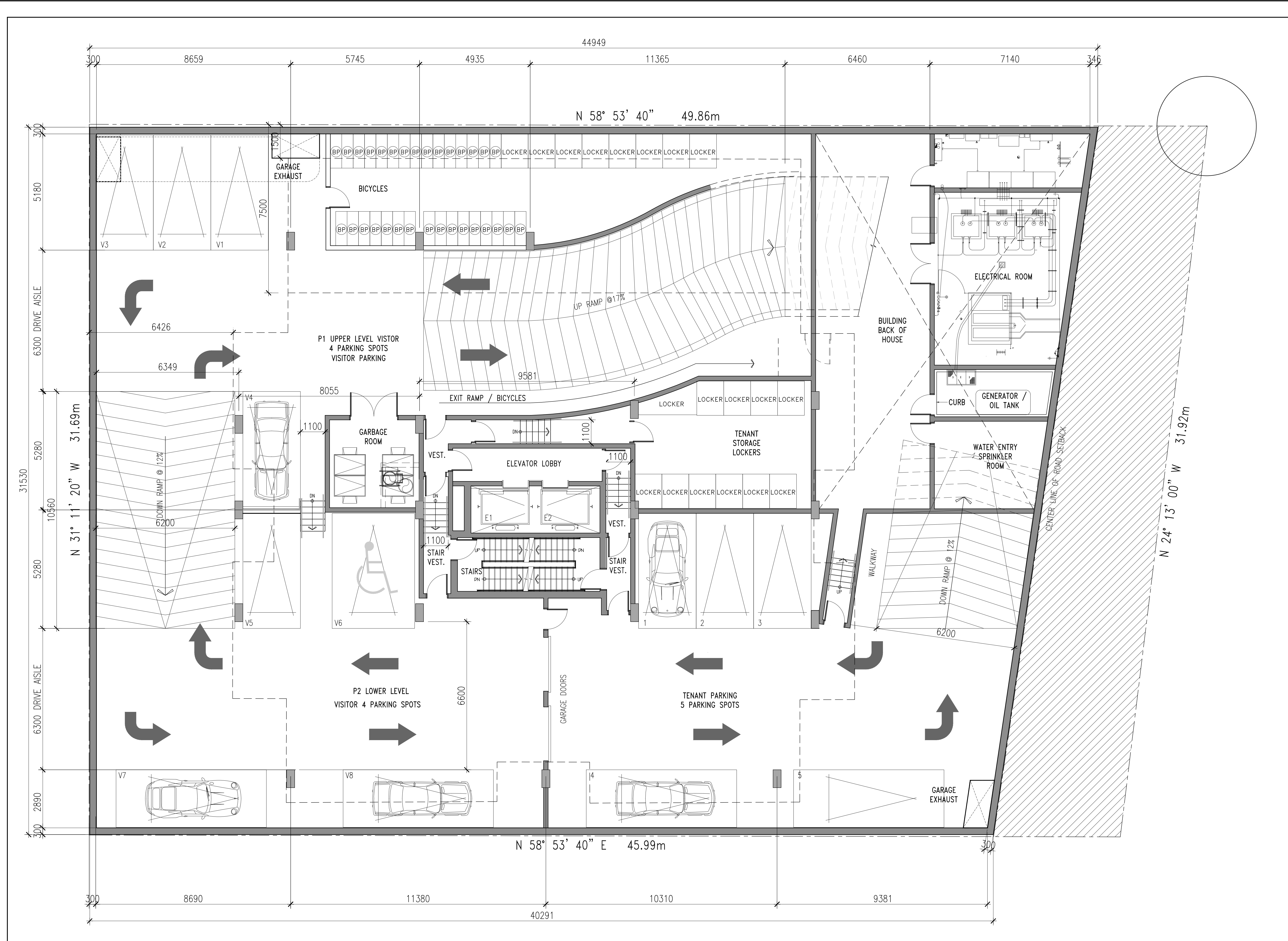
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PROJECT
1110 FISHER AVENUE
DEVELOPMENTS
OTTAWA, ONTARIO

DRAWING
LEVEL 2 GARAGE FLOOR PLAN

SCALE 1:75	SHEET
PROJ. NO. 1901	A-102
	REV.



1 LEVEL 1 GARAGE FLOOR PLAN
A.103 SCALE: 1:75

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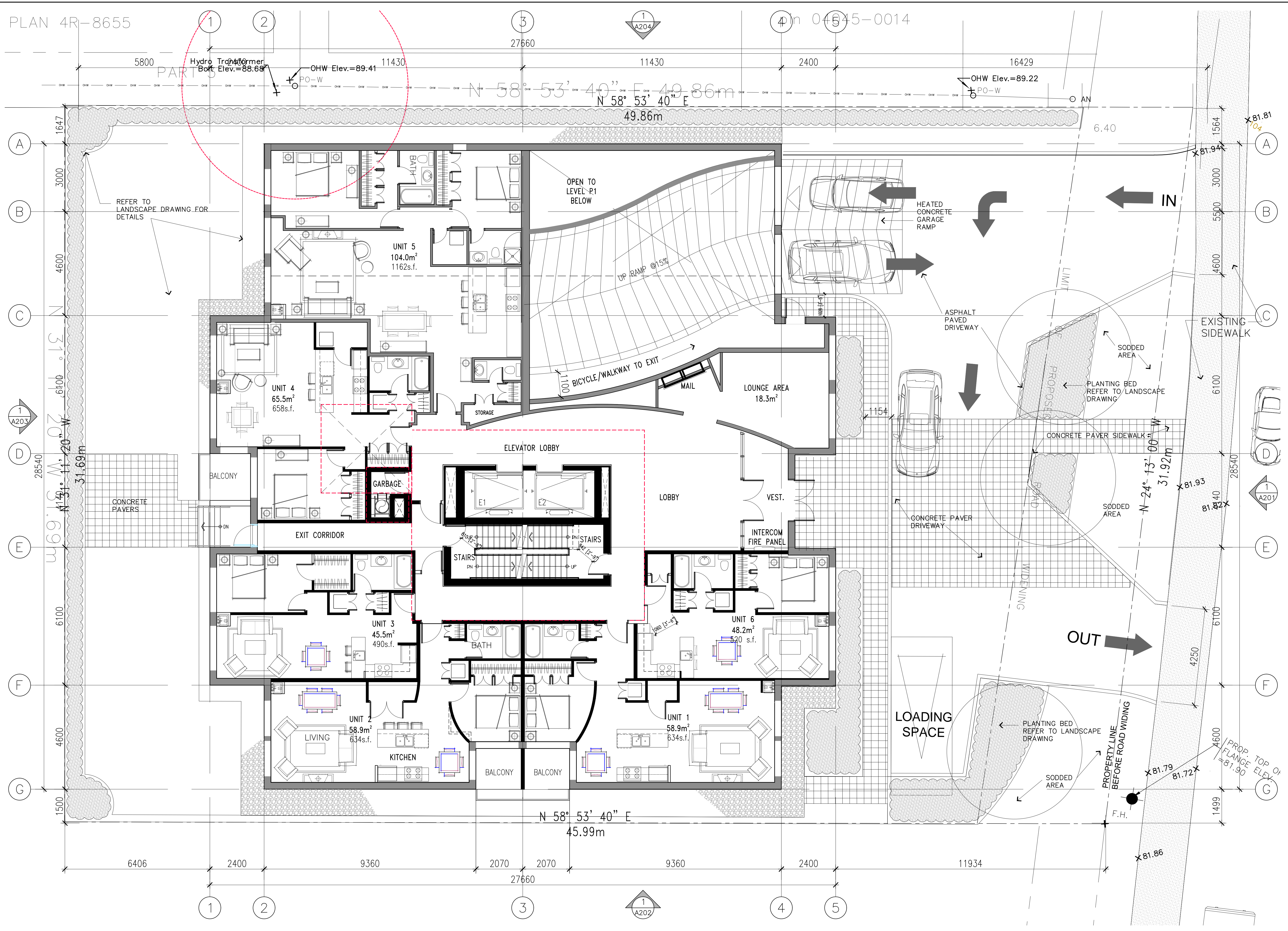
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1110 FISHER AVENUE
DEVELOPMENTS
OTTAWA, ONTARIO

DRAWING
LEVEL 1 GARAGE FLOOR PLAN

SCALE 1:75	SHEET A-103
PROJ. NO. 1901	REV.

PLAN 4R-8655



1 GROUND FLOOR PLAN
A104 SCALE: 1:75

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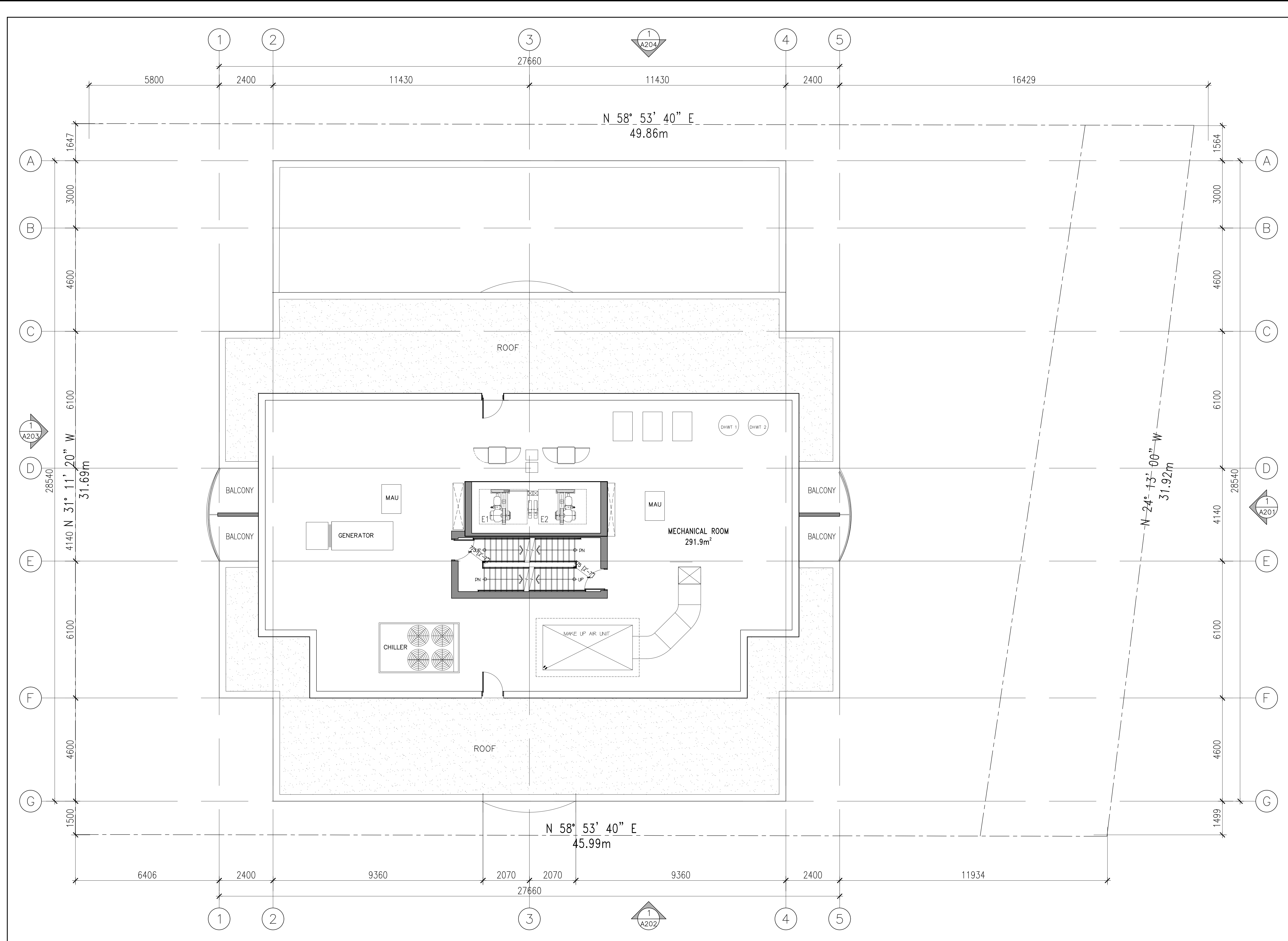
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DRAWING
GROUND FLOOR PLAN

SCALE	SHEET
1:75	A-104
PROJ. NO. 1901	REV.



SCALE	SHEET
1:75	A-105
PROJ. NO. 1901	
	REV.



1 MECHANICAL PENTHOUSE FLOOR PLAN
A.108 SCALE: 1:75

DESIGN ♦ CONSTRUCTION

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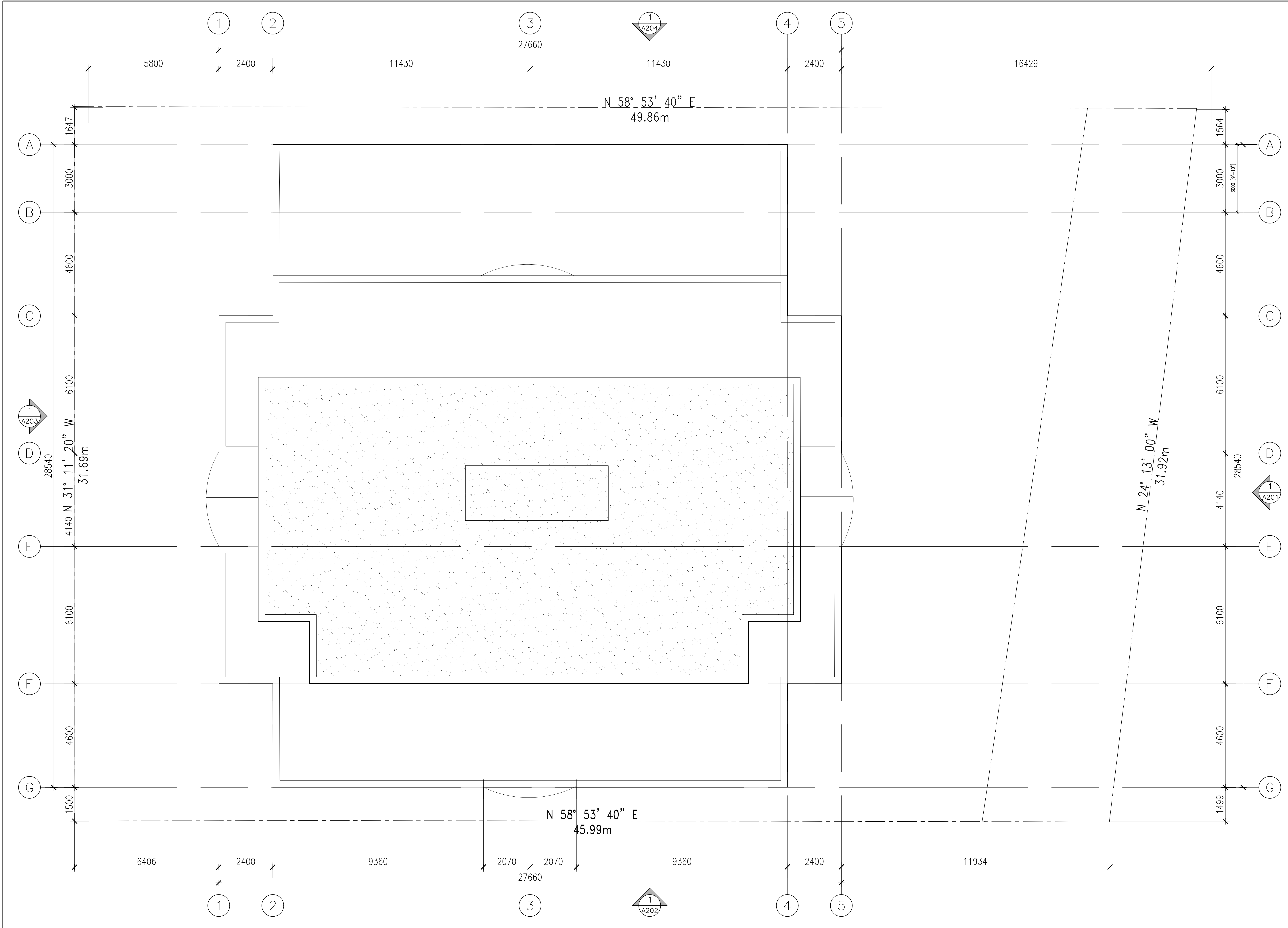
PROJECT

1110 FISHER AVENUE DEVELOPMENTS
OTTAWA, ONTARIO

DRAWING

MECHANICAL PENTHOUSE FLOOR PLAN

SCALE	SHEET
1:75	A-106
PRDL. NO. 1901	REV.



1 ROOF PLAN
A.107 SCALE: 1:75

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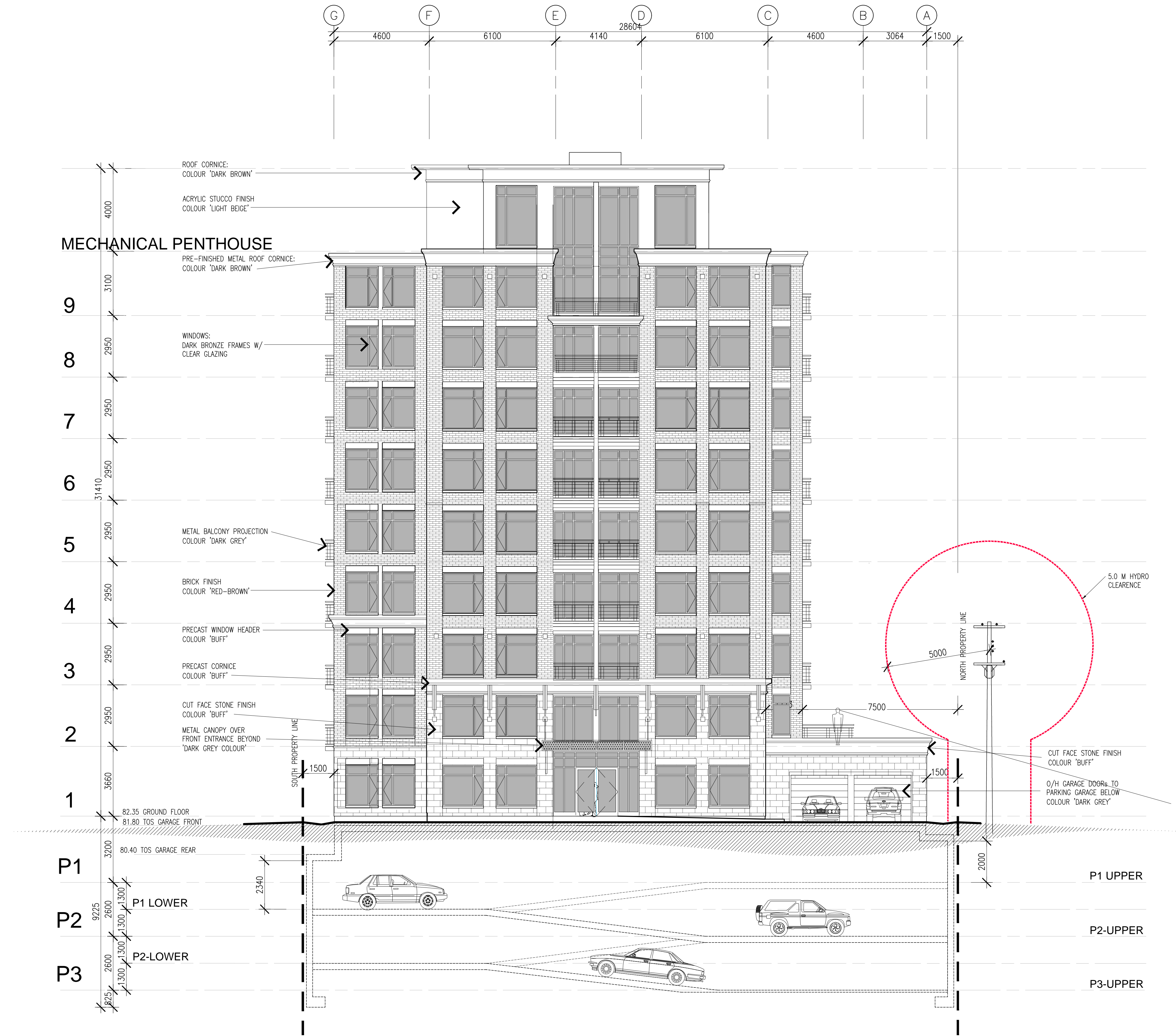
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PROJECT
1110 FISHER AVENUE
DEVELOPMENTS
OTTAWA, ONTARIO

DRAWING
MECHANICAL PENTHOUSE ROOF
PLAN

SCALE	SHEET
1:75	A-107
PROJ. NO.	REV.
1901	



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PROJECT
1110 FISHER AVENUE
DEVELOPMENTS
OTTAWA, ONTARIO

DRAWING
EAST ELEVATION

SCALE	SHEET
1:100	A-201
PROJ. NO. 1901	REV.

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CONSULTANT [REDACTED]



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PROJECT
1110 FISHER AVENUE
DEVELOPMENTS
OTTAWA, ONTARIO

DRAWING
SOUTH ELEVATION

SCALE	SHEET
1:100	A-202
PROJ. NO.	
1901	REV.





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	DK

DATE
MAR. '19

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1110 FISHER AVENUE
DEVELOPMENTS
OTTAWA, ONTARIO

DRAWING
BUILDING SECTION

BUILDING SECTION

SCALE 1:100 SHEET

1:100	A-301
PROJ. NO. 1120	REV.

FILE _____ REV. _____