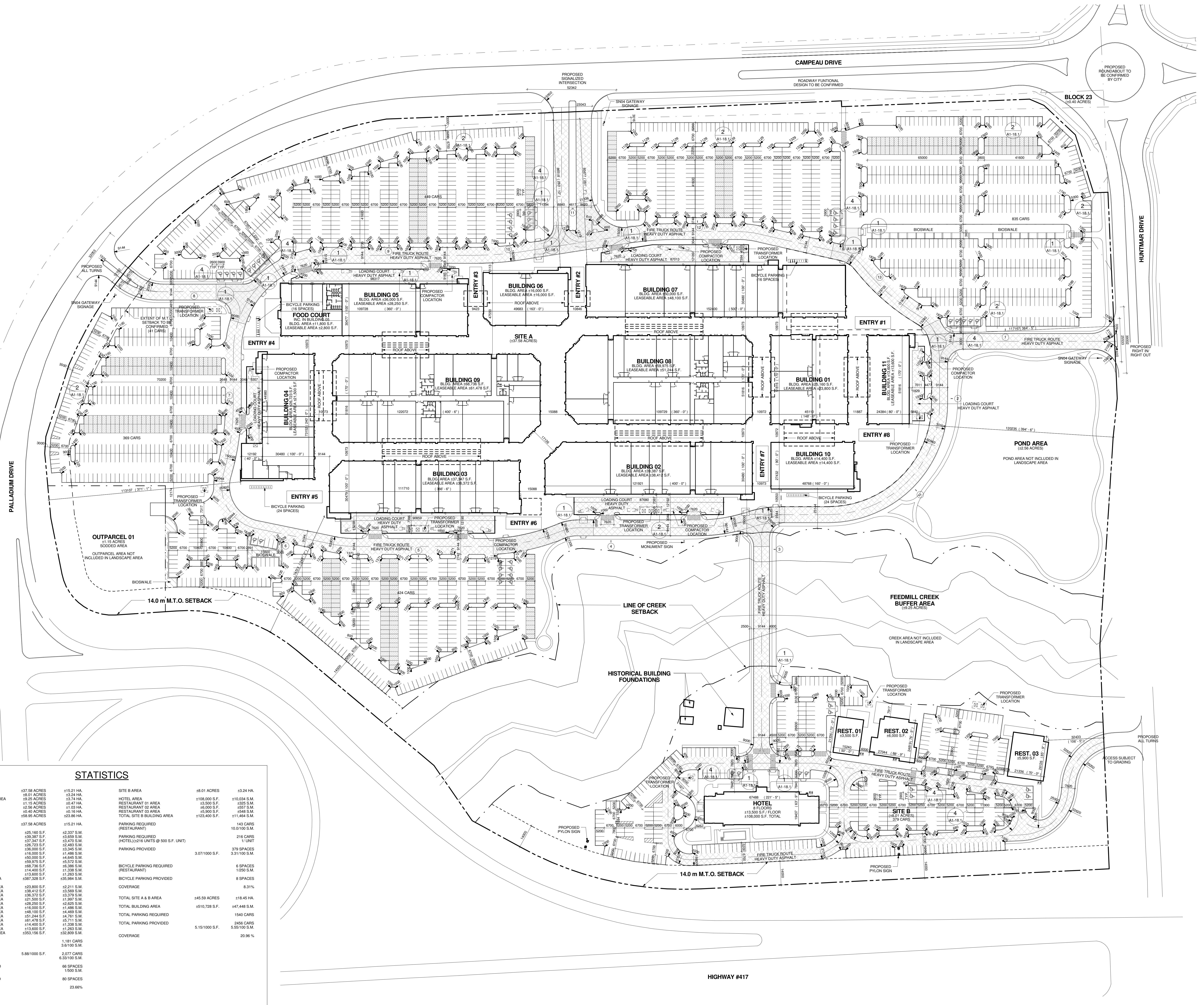


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 This drawing is not to be scaled.
 The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work.
 Construction must conform to all applicable codes and requirements of authorities having jurisdiction.
 The contractor working from drawings not specifically marked "for Construction" must assume full responsibility and bear costs for any corrections or damages resulting from his work.

NOTES

SITE GRADING AND ENTRANCE LOCATIONS TO BE CONFIRMED. ROUNDABOUT LOCATION AND DESIGN TO BE CONFIRMED BY CITY. EXTENT OF M.T.O. JURISDICTION TO BE CONFIRMED ALONG PALLADIUM DRIVE.
 (A) DENOTES PROPOSED VEHICULAR DIRECTIONAL SIGNAGE LOCATIONS. "ALTERNATE BACKS" AT LOCATION #S 1,3,8,11



STATISTICS

Item	Value	Item	Value	Item	Value
SITE A AREA	137.58 ACRES	SITE B AREA	15.21 HA	SITE A AREA	137.58 ACRES
SITE B AREA	18.01 ACRES	HOTEL AREA	108,000 S.F.	SITE B AREA	18.01 ACRES
FEEDMILL CREEK BUFFER AREA	19.28 ACRES	RESTAURANT 01 AREA	13,500 S.F.	FEEDMILL CREEK BUFFER AREA	19.28 ACRES
OUTPARCEL 01 AREA	11.15 ACRES	RESTAURANT 02 AREA	18,000 S.F.	OUTPARCEL 01 AREA	11.15 ACRES
POND AREA	12.26 ACRES	RESTAURANT 03 AREA	15,900 S.F.	POND AREA	12.26 ACRES
BLOCK 23 AREA	20.40 ACRES	TOTAL SITE B BUILDING AREA	113,400 S.F.	BLOCK 23 AREA	20.40 ACRES
TOTAL SITE A BUILDING AREA	658.86 ACRES	TOTAL SITE B BUILDING AREA	113,400 S.F.	TOTAL SITE A BUILDING AREA	658.86 ACRES
SITE A AREA	137.58 ACRES	PARKING REQUIRED (RESTAURANT)	143 CARS	SITE A AREA	137.58 ACRES
BUILDING 01 AREA	275,160 S.F.	PARKING REQUIRED (HOTEL)(216 UNITS @ 500 S.F. UNIT)	216 CARS	BUILDING 01 AREA	275,160 S.F.
BUILDING 02 AREA	339,387 S.F.	PARKING PROVIDED	3,071,000 S.F.	BUILDING 02 AREA	339,387 S.F.
BUILDING 03 AREA	271,247 S.F.	BICYCLE PARKING REQUIRED (RESTAURANT)	6 SPACES	BUILDING 03 AREA	271,247 S.F.
BUILDING 04 AREA	246,723 S.F.	BICYCLE PARKING PROVIDED	8 SPACES	BUILDING 04 AREA	246,723 S.F.
BUILDING 05 AREA	296,000 S.F.	COVERAGE	8.31%	BUILDING 05 AREA	296,000 S.F.
BUILDING 06 AREA	238,250 S.F.	TOTAL SITE A & B AREA	145.59 ACRES	BUILDING 06 AREA	238,250 S.F.
BUILDING 07 AREA	250,000 S.F.	TOTAL BUILDING AREA	2,451,728 S.F.	BUILDING 07 AREA	250,000 S.F.
BUILDING 08 AREA	250,975 S.F.	TOTAL PARKING PROVIDED	1,540 CARS	BUILDING 08 AREA	250,975 S.F.
BUILDING 09 AREA	166,736 S.F.	TOTAL PARKING REQUIRED	2,456 CARS	BUILDING 09 AREA	166,736 S.F.
BUILDING 10 AREA	114,400 S.F.	TOTAL SITE A LEASABLE AREA	2,371,328 S.F.	BUILDING 10 AREA	114,400 S.F.
BUILDING 11 AREA	113,800 S.F.	TOTAL SITE B LEASABLE AREA	113,800 S.F.	BUILDING 11 AREA	113,800 S.F.
TOTAL SITE A BUILDING AREA	2,371,328 S.F.	TOTAL SITE A LEASABLE AREA	2,371,328 S.F.	TOTAL SITE A BUILDING AREA	2,371,328 S.F.
BUILDING 01 LEASABLE AREA	223,800 S.F.	PARKING REQUIRED	1,181 CARS	BUILDING 01 LEASABLE AREA	223,800 S.F.
BUILDING 02 LEASABLE AREA	338,412 S.F.	PARKING PROVIDED	5,888,000 S.F.	BUILDING 02 LEASABLE AREA	338,412 S.F.
BUILDING 03 LEASABLE AREA	271,247 S.F.	BICYCLE PARKING REQUIRED (SHOPPING CENTRE)	86 SPACES	BUILDING 03 LEASABLE AREA	271,247 S.F.
BUILDING 04 LEASABLE AREA	246,723 S.F.	BICYCLE PARKING PROVIDED	80 SPACES	BUILDING 04 LEASABLE AREA	246,723 S.F.
BUILDING 05 LEASABLE AREA	296,000 S.F.	COVERAGE	23.66%	BUILDING 05 LEASABLE AREA	296,000 S.F.
BUILDING 06 LEASABLE AREA	238,250 S.F.			BUILDING 06 LEASABLE AREA	238,250 S.F.
BUILDING 07 LEASABLE AREA	250,000 S.F.			BUILDING 07 LEASABLE AREA	250,000 S.F.
BUILDING 08 LEASABLE AREA	250,975 S.F.			BUILDING 08 LEASABLE AREA	250,975 S.F.
BUILDING 09 LEASABLE AREA	166,736 S.F.			BUILDING 09 LEASABLE AREA	166,736 S.F.
BUILDING 10 LEASABLE AREA	114,400 S.F.			BUILDING 10 LEASABLE AREA	114,400 S.F.
BUILDING 11 LEASABLE AREA	113,800 S.F.			BUILDING 11 LEASABLE AREA	113,800 S.F.
TOTAL SITE A LEASABLE AREA	2,371,328 S.F.			TOTAL SITE A LEASABLE AREA	2,371,328 S.F.

01	15/02/2013	ISSUED FOR SITE PLAN APPLICATION	NB
02			

TURNER FLEISCHER
 TURNER FLEISCHER ARCHITECTS INC.
 67 Lansell Road Toronto Ont Canada M9B 2T8
 Telephone (416) 435-2222 Facsimile (416) 435-6717
 turnerfleischer.com

CREATE
 Architecture Planning & Design PLLC
 The Chrysler Building
 405 Lexington Avenue, Tower Suite 70
 New York, NY 10174
 Phone: (212) 297-0880
 www.createworldwide.com

IBI GROUP
 Architects, Engineers, Planners
 5th Floor, 230 Richmond Street West
 Toronto, ON
 M5V 1V6, Canada
 Tel: (416) 596-1800
 Fax: (416) 596-0644

h HAMMERSCHLAG + JOFFE INC.
 69 Lansell Road Toronto
 Ontario Canada M9B 2T8
 T: (416) 444-5263
 F: (416) 444-5853
 E: hjo@hamj.com

FOTENN PLANNING & URBAN DESIGN
 223 McLeod Street | Ottawa, ON | K2P 0Z8
 T: 613.730.5709 ext.234 | F: 613.730.1136

RIO CAN
 RioCan Real Estate Investment Trust
 2300 Yonge Street
 Suite 500
 Toronto, Ontario
 M4P 1E4
 (416) 646-8330

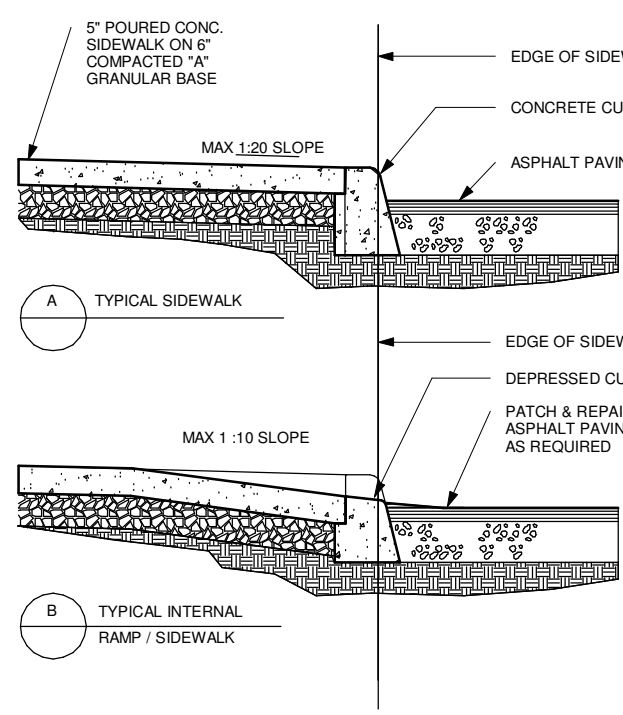
TangerOutlets
 Tanger Outlets
 3200 Northline Avenue, Suite 360
 Greensboro, North Carolina
 27408

TANGER OUTLETS KANATA

SITE PLAN

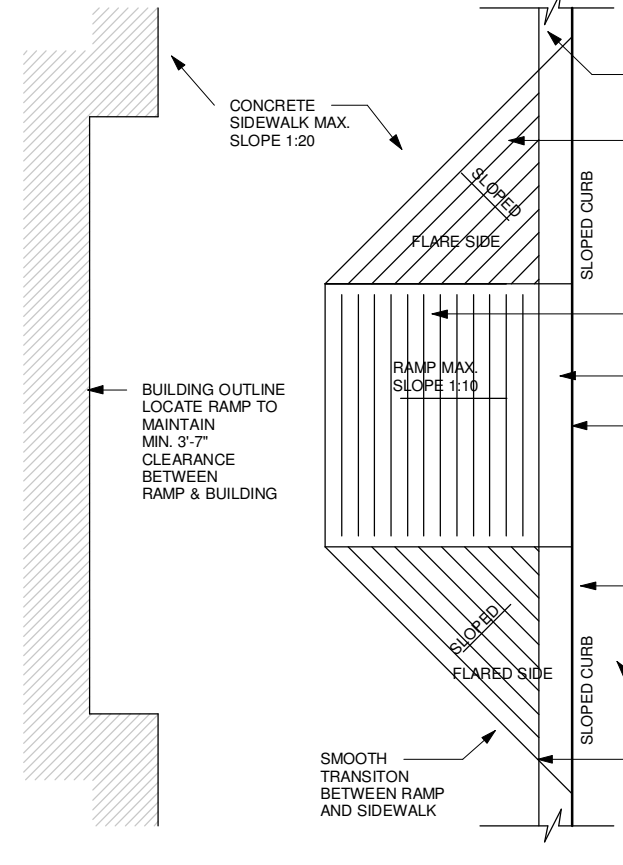
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PLOT SCALE: 1:1
 DRAWING NUMBER: A1-18.0



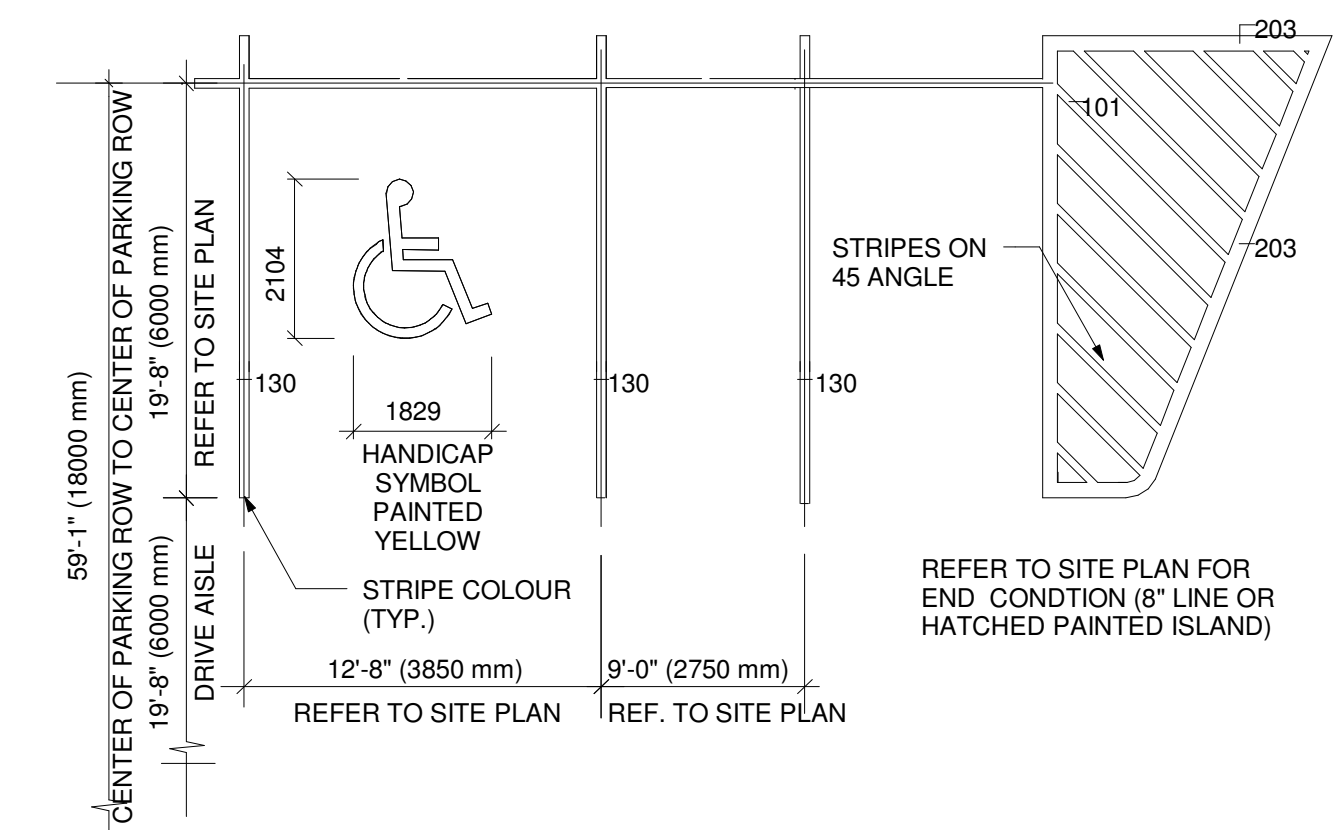
GENERAL NOTES:
 G1. SIDEWALK SLOPE TO BE 1% (1/100). MAX. 2" MAX. DIRECTIONAL CURB DEPRESSION.
 G2. EXPANSION JOINTS ARE TO BE AS SPECIFIED & AS LOCATED ON ARCHITECTURAL DOCUMENTS.
 G3. REINFORCING TO BE AS PER STRUCTURAL DOCUMENTS.
 G4. CONCRETE TO BE BROOM FINISHED AS PER ARCHITECTURAL SPECIFICATIONS.

NOTES:
 1. WHERE SIDEWALK IS CONTIGUOUSLY ADJACENT, REDUCE THE DROPPED CURB AT ENTRANCES TO 7".
 2. FOR SURFORMING PROCEDURE A 5% BATTER IS ACCEPTABLE.
 A. TREATMENT AT ENTRANCES SHALL CONFORM WITH OPSD-810 SERIES.
 B. OUTLET TREATMENT SHALL CONFORM WITH OPSD-810 SERIES.
 C. THE LENGTH OF TRANSITION FROM ONE CURB TYPE TO ANOTHER SHALL BE 3.0M, EXCEPT IN CONNECTION WITH CURB RAIL IT SHALL CONFORM TO OPSD-900 SERIES.



ACCEPTABLE MANUFACTURER:
 SUREGUARD SHIELD (CN SUREGUARD SURE-SEAL INSTALLATION KIT)
 SIZE: 7" X 42"
 COLOUR: YELLOW
 AS MANUFACTURED BY SUREGUARD SECURITY PRODUCTS (ADAM ULAS)
 P.O. BOX 1202, 820 VICTORIA ST. N. KITCHENER, ONT. N2G 4G8
 PH: (519) 772-1979, FX: (519) 742-9266
 E-MAIL: AULAS@SUREGUARD.CA

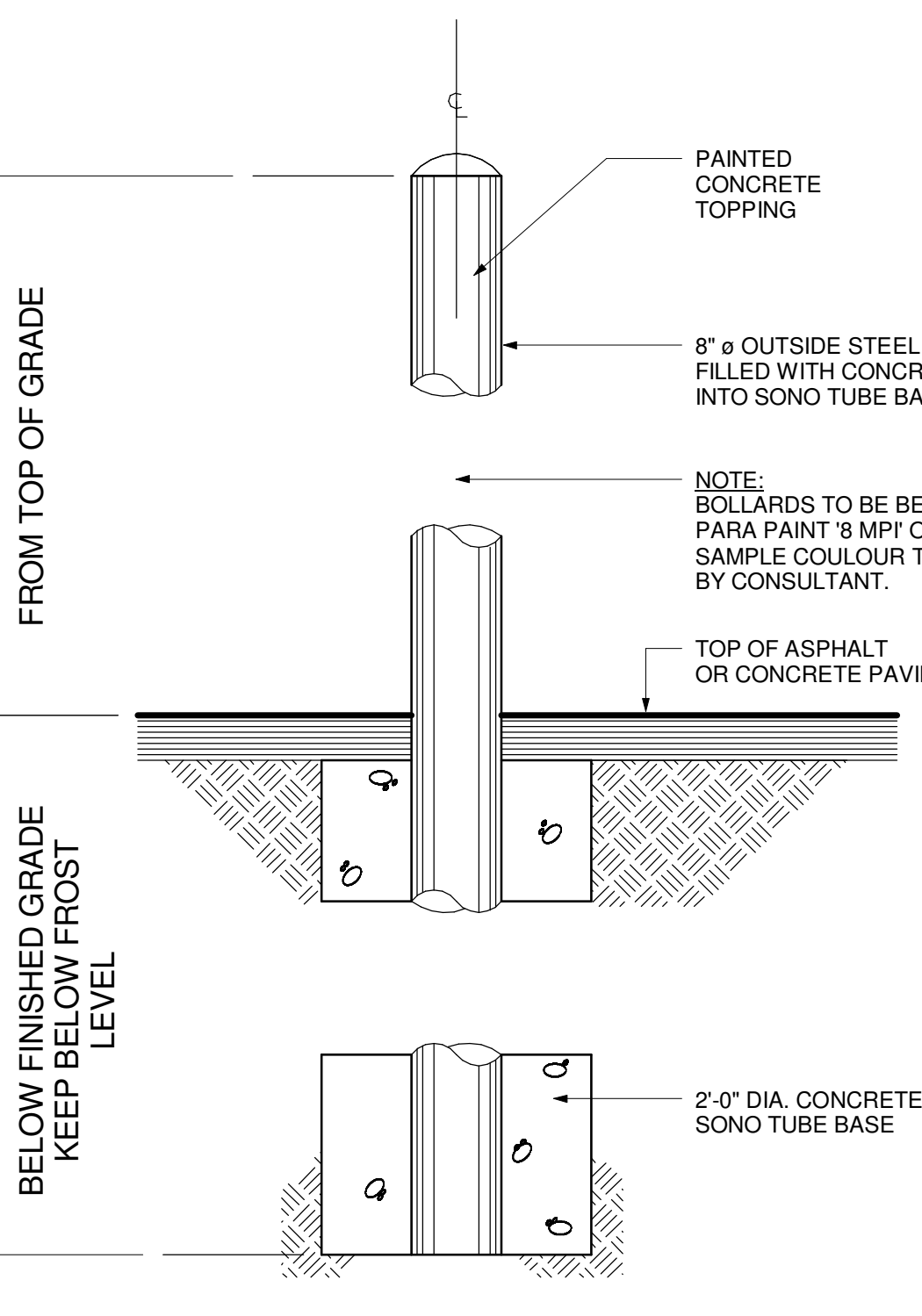
NOTES:
 1. REFER TO SITE PLAN FOR SPECIFIC PROJECT SITE PLANNING DIMENSIONS.
 2. ALL PARKING LOT LINE STRIPING TO BE PAINTED WITH PARA PAINT 3 MPI - YELLOW OR EQUAL COLOUR SAMPLE TO BE APPROVED BY LPL.
 3. ALL PARKING DIMENSIONS SHOWN ARE MINIMUM. CONFIRM REQUIRED SIZES WITH LOCAL AUTHORITY HAVING JURISDICTION.



NOTES:
 1. REFER TO SITE PLAN FOR SPECIFIC PROJECT SITE PLANNING DIMENSIONS.
 2. ALL PARKING LOT LINE STRIPING TO BE PAINTED WITH PARA PAINT 3 MPI - YELLOW OR EQUAL COLOUR SAMPLE TO BE APPROVED BY LPL.
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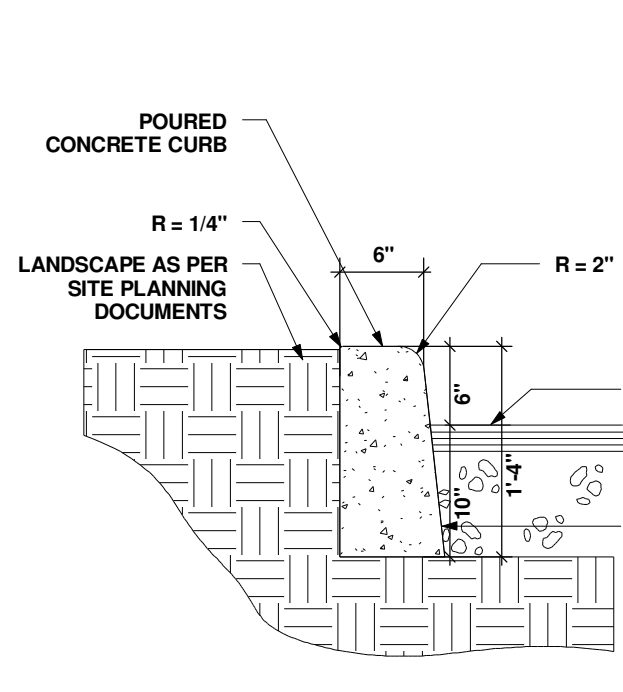
4 PARKING DETAIL
 1 : 100



NOTE:
 BOLLARDS TO BE PAINTED YELLOW. PARA PAINT 3 MPI OR EQUAL. SAMPLE COLOUR TO BE APPROVED BY CONSULTANT.

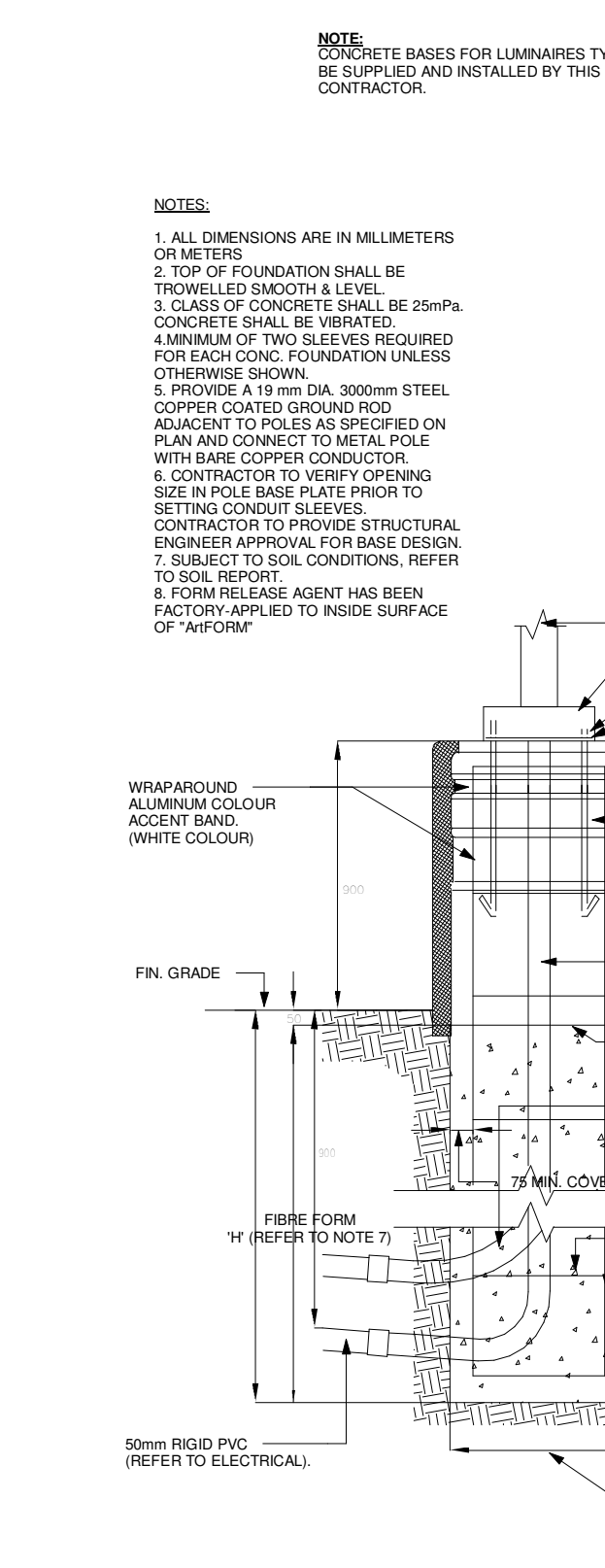
5 BOLLARD DETAIL
 1 : 15

1 CURB DEPRESSION
 1 : 35



NOTES:
 1. TREATMENT AT ENTRANCES SHALL CONFORM WITH OPSD-351-01
 2. OUTLET TREATMENT SHALL CONFORM WITH OPSD-810 SERIES
 3. THE LENGTH OF TRANSITION FROM ONE CURB TYPE TO ANOTHER SHALL BE 3.0M, EXCEPT IN CONNECTION WITH GUIDE RAIL, IT SHALL CONFORM TO OPSD-900 SERIES.

2 CONCRETE CURB SECTION
 1 : 175



NOTE:
 CONCRETE BASES FOR LUMINAIRES TYPE 1, 1.1, 1.1A & 1.1B TO BE SUPPLIED AND INSTALLED BY THE ELECTRICAL CONTRACTOR.

NOTES:
 1. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS NOTED.
 2. TOP OF FOUNDATION SHALL BE FINISHED TO FINISH GRADE.
 3. CONCRETE SHALL BE VIBRATED.
 4. MINIMUM OF TWO SLEEVES REQUIRED FOR EACH CONC. FOUNDATION UNLESS OTHERWISE SHOWN.
 5. 300MM W/STEE.
 6. COPPER COATED GROUND ROD ON ADJACENT POLES AS SPECIFIED ON PLAN AND CONNECT TO METAL POLE WITH BARE COPPER CONNECTION.
 7. SEE IN POLE BASE PLATE PRIOR TO SETTING.
 8. CONTRIBUTION TO THE STRUCTURAL DESIGNER APPROVAL FOR BASE DESIGN.
 9. SUBMIT TO THE CONSULTING ENGINEER TO SOIL REPORT.
 10. FORM RELEASE AGENT HAS BEEN FACTORY APPLIED TO INSIDE SURFACE OF FORM.

POLE LENGTH	BASE BURIAL DEPTH	REF. ROD LENGTH
06	06	06
35	150	135
5.5	215	200
7.5	215	200
7.5	215	200
8.7	245	230
8.7	245	230
10.5	260	245
13.0	275	260
13.8	290	275
15.1	305	290

3 LIGHT STANDARD
 1 : 500



NOTE:
 SIZE AND DEPTH TO BE CONFIRMED BY STRUCTURAL ENGINEER.

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No.	Date	Issued/Revision	By

TURNER FLEISCHER
 TURNER FLEISCHER ARCHITECTS INC.
 67 Lansell Road Toronto ONT Canada M9B 2T8
 Telephone (416) 435-2222 Facsimile (416) 435-6717
 turnerfleischer.com

CREATE
 Architecture Planning & Design PLLC
 The Chrysler Building
 405 Lexington Avenue, Tower Suite 70
 New York, NY 10174
 Phone: (212) 297-0880
 www.createworldwide.com

IBI GROUP
 Architects, Engineers, Planners
 5th Floor, 230 Richmond Street West
 Toronto, ON
 M5V 1V6, Canada
 Tel: (416) 596-1930
 Fax: (416) 596-0644

333 Preston Street
 Tower 1, Suite 400
 Ottawa, Ontario
 Canada K1S 5N4
 Tel: (613) 225-1311
 FAX: (613) 225-9668

h HAMMERSCHLAG + JOFFE INC.
 69 Lansell Road Toronto,
 Ontario Canada M9B 2T8
 T: (416) 444-5263
 F: (416) 444-3483
 E: info@hampor.com

FOTENN PLANNING & URBAN DESIGN
 223 McLeod Street | Ottawa, ON | K2P 0Z8
 T: 613.730.5709 ext.234 | F: 613.730.1136

RIO CAN
 RioCan Real Estate Investment Trust
 2300 Yonge Street
 Suite 500
 Toronto, Ontario
 M4P 1E4
 (416) 646-8330

TangerOutlets
 Tanger Outlets
 3200 Northline Avenue, Suite 360
 Greensboro, North Carolina
 27408

TANGER OUTLETS KANATA

KANATA ONTARIO

SITE PLAN DETAILS

PROJECT NO. 12-258 DATE JANUARY 2013

DRAWN BY NB SCALE As indicated

CHECKED BY RF FILE NAME: F:\proj\12258\12258-15_REV1\12258A-18.rvt

PLOT SCALE: 1:1
 DRAWING NUMBER: A1-18.1

ASSOCIATED ARCHITECTS
 TURNER FLEISCHER ARCHITECTS INC.
 MARGARET FLISCHER LICENCE 5004

TRUE NORTH