

UNIT COUNTS																																
NAME	TOTAL COUNT	PERCENTAGE	LVL 01	LVL 02	LVL 03	LVL 04	LVL 05	LVL 06	LVL 07	LVL 08	LVL 09	LVL 10	LVL 11	LVL 12	LVL 13	LVL 14	LVL 15	LVL 16	LVL 17	LVL 18	LVL 19	LVL 20	LVL 21	LVL 22	LVL 23	LVL 24	LVL 25	LVL 26	LVL 27	LVL 28	LVL 29	LVL 30
1-BED	167	42%	0	2	2	2	1	1	11	11	11	6	6	6	6	6	6	6	6	6	6	6	6	6	6	6	6	6	6	6	6	
1-BED + DEN	80	20%	0	14	14	14	13	13	4	4	4	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
2-BED	125	31%	0	6	6	6	6	6	4	4	4	3	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	
STUDIO	29	7%	0	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
TOTAL	401	100%	0	23	23	23	21	21	20	20	20	10	11	11	11	11	11	11	11	11	11	11	11	11	11	11	11	11	11	11	11	11

GROSS AREA (OBC)		
LEVEL	AREA	AREA (SF)
LEVEL 01	1428.28 m ²	15374 SF
LEVEL 02	1740.31 m ²	18733 SF
LEVEL 03	1740.31 m ²	18733 SF
LEVEL 04	1740.26 m ²	18732 SF
LEVEL 05	1563.23 m ²	16826 SF
LEVEL 06	1563.17 m ²	16826 SF
LEVEL 07	1350.76 m ²	14539 SF
LEVEL 08	1350.76 m ²	14539 SF
LEVEL 09	1350.76 m ²	14539 SF
LEVEL 10	749.67 m ²	8069 SF
LEVEL 11	749.67 m ²	8069 SF
LEVEL 12	749.67 m ²	8069 SF
LEVEL 13	749.67 m ²	8069 SF
LEVEL 14	749.67 m ²	8069 SF
LEVEL 15	749.67 m ²	8069 SF
LEVEL 16	749.67 m ²	8069 SF
LEVEL 17	749.67 m ²	8069 SF
LEVEL 18	749.67 m ²	8069 SF
LEVEL 19	749.67 m ²	8069 SF
LEVEL 20	749.67 m ²	8069 SF
LEVEL 21	749.67 m ²	8069 SF
LEVEL 22	749.67 m ²	8069 SF
LEVEL 23	749.67 m ²	8069 SF
LEVEL 24	749.67 m ²	8069 SF
LEVEL 25	749.67 m ²	8069 SF
LEVEL 26	749.67 m ²	8069 SF
LEVEL 27	749.67 m ²	8069 SF
LEVEL 28	749.67 m ²	8069 SF
LEVEL 29	749.67 m ²	8069 SF
LEVEL 30	749.67 m ²	8069 SF
TOTAL	29570.94 m ²	316299 SF

LEASEABLE AREA (RESIDENTIAL)		
LEVEL	AREA	AREA (SF)
LEVEL 02	1553.65 m ²	16723 SF
LEVEL 03	1553.65 m ²	16723 SF
LEVEL 04	1553.65 m ²	16723 SF
LEVEL 05	1411.41 m ²	15192 SF
LEVEL 06	1411.41 m ²	15192 SF
LEVEL 07	1207.51 m ²	12989 SF
LEVEL 08	1207.51 m ²	12989 SF
LEVEL 09	1207.51 m ²	12989 SF
LEVEL 10	572.43 m ²	6162 SF
LEVEL 11	655.55 m ²	7056 SF
LEVEL 12	655.55 m ²	7056 SF
LEVEL 13	655.55 m ²	7056 SF
LEVEL 14	655.55 m ²	7056 SF
LEVEL 15	655.55 m ²	7056 SF
LEVEL 16	655.55 m ²	7056 SF
LEVEL 17	655.55 m ²	7056 SF
LEVEL 18	655.55 m ²	7056 SF
LEVEL 19	655.55 m ²	7056 SF
LEVEL 20	655.55 m ²	7056 SF
LEVEL 21	655.55 m ²	7056 SF
LEVEL 22	655.55 m ²	7056 SF
LEVEL 23	655.55 m ²	7056 SF
LEVEL 24	655.55 m ²	7056 SF
LEVEL 25	655.55 m ²	7056 SF
LEVEL 26	655.55 m ²	7056 SF
LEVEL 27	655.55 m ²	7056 SF
LEVEL 28	655.55 m ²	7056 SF
LEVEL 29	655.55 m ²	7056 SF
LEVEL 30	655.55 m ²	7056 SF
TOTAL	24789.70 m ²	266834 SF

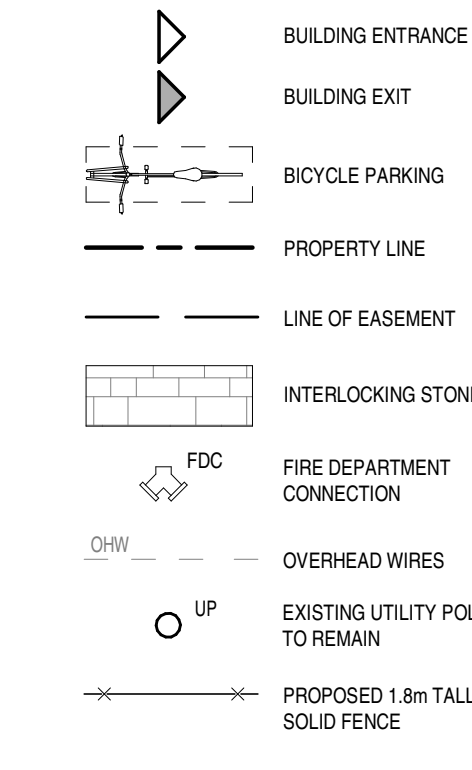
AMENITY SCH. (PRIVATE)		
LEVEL	AREA	AREA (SF)
LEVEL 02	116.86 m ²	1258 SF
LEVEL 03	112.27 m ²	1208 SF
LEVEL 04	112.27 m ²	1208 SF
LEVEL 05	125.65 m ²	1352 SF
LEVEL 06	103.15 m ²	1113 SF
LEVEL 07	284.16 m ²	3059 SF
LEVEL 08	170.94 m ²	1840 SF
LEVEL 09	170.94 m ²	1840 SF
LEVEL 10	171.05 m ²	1841 SF
LEVEL 11	89.29 m ²	961 SF
LEVEL 12	75.25 m ²	810 SF
LEVEL 13	75.25 m ²	810 SF
LEVEL 14	75.25 m ²	810 SF
LEVEL 15	75.25 m ²	810 SF
LEVEL 16	75.25 m ²	810 SF
LEVEL 17	75.25 m ²	810 SF
LEVEL 18	75.25 m ²	810 SF
LEVEL 19	75.25 m ²	810 SF
LEVEL 20	75.25 m ²	810 SF
LEVEL 21	75.25 m ²	810 SF
LEVEL 22	75.25 m ²	810 SF
LEVEL 23	75.25 m ²	810 SF
LEVEL 24	75.25 m ²	810 SF
LEVEL 25	75.25 m ²	810 SF
LEVEL 26	75.25 m ²	810 SF
LEVEL 27	75.25 m ²	810 SF
LEVEL 28	75.25 m ²	810 SF
LEVEL 29	75.25 m ²	810 SF
LEVEL 30	75.25 m ²	810 SF
TOTAL	2886.23 m ²	31067 SF

AMENITY SCH. (COMMUNAL)			
LEVEL	NAME	AREA	AREA (SF)
LEVEL 01	L01 AMENITY ROOM 2	201.48 m ²	2169 SF
LEVEL 01	OUTDOOR AMENITY	238.87 m ²	2571 SF
LEVEL 01	L01 AMENITY ROOM 1	100.00 m ²	1076 SF
LEVEL 10	L10 AMENITY ROOM	83.14 m ²	895 SF
LEVEL 10	AMENITY TERRACE	607.14 m ²	6535 SF
TOTAL		1230.63 m ²	13246 SF

PARKING SCH. (BICYCLE)		
LEVEL	COUNT	
LEVEL 01	7	
LEVEL P1	220	
LEVEL P2	220	
TOTAL	447	

PARKING SCH. (VEHICLE)		
LEVEL	TYPE	COUNT
LEVEL 01	VISITOR	6
LEVEL P1	VISITOR	24
LEVEL P1	RESIDENT	41
LEVEL P2	RESIDENT	73
LEVEL P3	RESIDENT	87
TOTAL		231

SITE PLAN SYMBOLS LEGEND



SITE PLAN SYMBOLS
SCALE: NTS

SITE PLAN NOTES

- S1 PROPERTY LINE
- S2 SOFT LANDSCAPING
- S3 HARD LANDSCAPING
- S4 INTERLOCKING STONE PAVERS
- S5 CONCRETE SIDEWALK
- S6 CONCRETE CURB
- S8 BICYCLE LANE
- S9 EXISTING STRUCTURE TO BE DEMOLISHED
- S10 CALCULATED CENTERLINE OF ROAD BETWEEN BACK OF CURBS
- S11 OUTLINE OF BUILDING ABOVE
- S12 PROPOSED BUS SHELTER AND STOP
- S13 OUTLINE OF CANOPY ABOVE
- S14 OUTLINE OF UNDERGROUND PARKING BELOW
- S15 EXISTING BUS STOP TO BE RELOCATED

SURVEYOR'S REAL PROPERTY REPORT
PART 1 - PLAN OF SURVEY

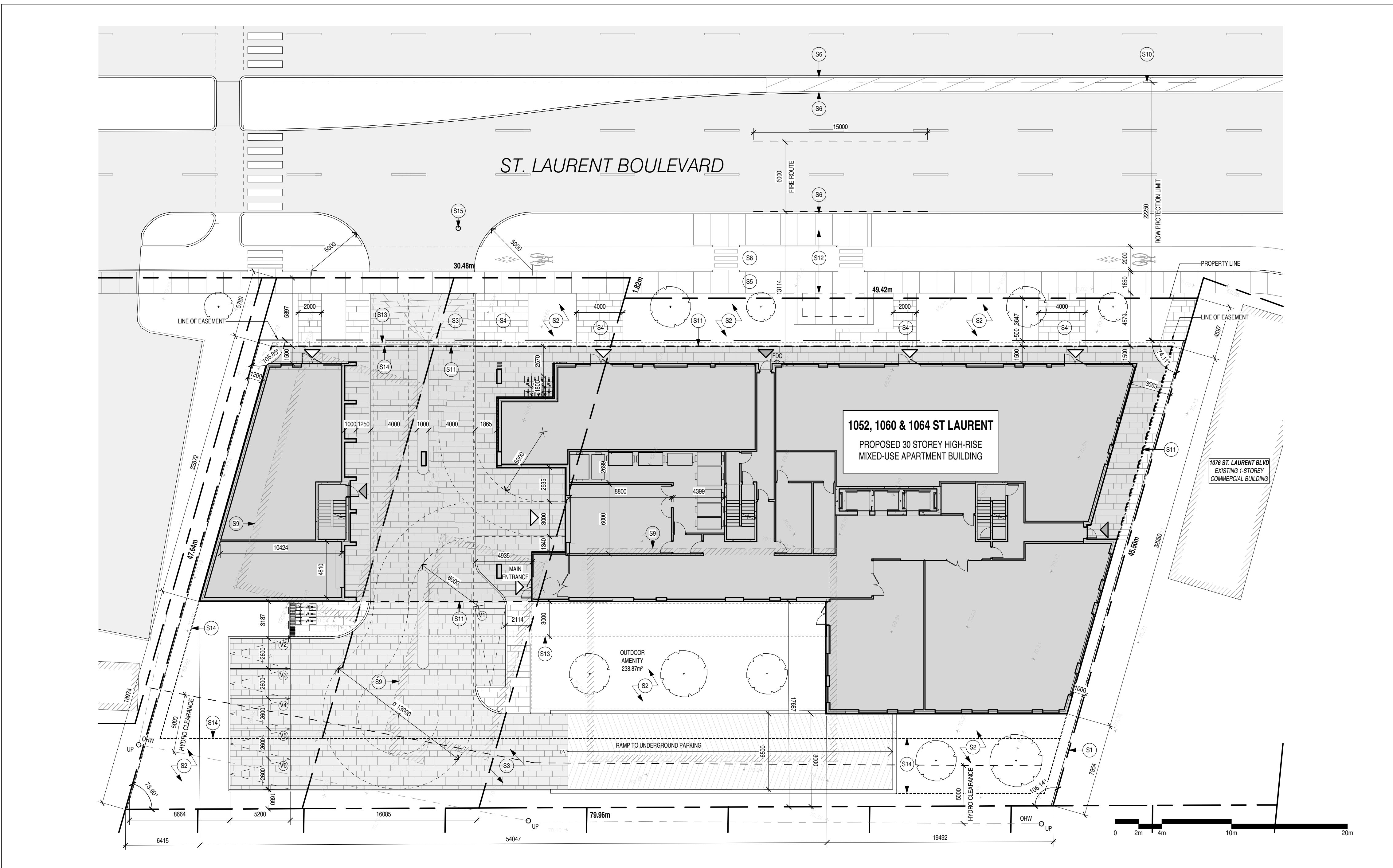
PART OF LOTS 1, 2, 3 & 4
REGISTERED PLAN 79

CITY OF OTTAWA

STANTEC GEOMATICS LTD. 2025

SURVEY INFO
SCALE: 1 : 100

SETBACK PLAN
SCALE: 1 : 400



1 SITE PLAN
SP-01 SCALE: 1 : 200



2 LOCATION PLAN
SP-01 SCALE: NTS

Site Statistics	
Current Zoning Designation:	AMAM10(2199)
Proposed Zoning Designation:	AM
Lot Width:	79401m
Total Lot Area:	3561m ²

Proposed Development - 30 Storey High-Rise Mixed-Use Building		
No. of units	401 Units	
Zoning Mechanism	Required	Provided
Minimum Lot Width 185(i)	No Minimum	79.4m
Minimum Lot Area 185(i)	No Minimum	3561m ²
Min. Front Yard Setback Table 185(c)(i)	No Minimum	0.5m
Min. Interior Side Yard Setback Table 185(d)(i)	No Minimum	1m
Min. Rear Yard Setback Table 185(e)(i)	7.5m abutting residential zone	7.5m
Maximum Building Height Table 185(f)(i) & (iv)	15m (<30m from property line abutting R4 zone) 20m (>30-30m from property line abutting R4 zone) 30m (>30 from property line abutting R4 zone)	93.1m
Parking Space Rates (Residents) 101 (Sch. 1A - Area X)	195 Spaces 0 spaces for the first 12 units - Section 101(3) 0.5 spaces/unit for 389 units - Table 101(R15) - 10% Section 101(6)	201 Spaces
Minimum Visitor Parking Rates 101 (Sch. 1A - Area X)	30 Spaces Areas X, Y and Z no more than 30 visitor parking spaces are required - Section 102(2)	30 Spaces
Bicycle Parking Rates (Residents) Table 111A (Sch. 1 - Area B)	201 Spaces 0.5 spaces / unit for 401 units [111A(b)(i)]	440 Spaces
Bicycle Parking Rates (Retail) Table 111A (Sch. 1 - Area B)	3 Spaces 1 space / 250m ² x 600.5m ² [111A(e)]	7 Spaces
Total Amenity Area Table 1374(i)(i)	2406m ² 6m ² / unit for 401 units	4117m ²
Communal Amenity Area Table 1374(i)(i)	1203m ² Min. 50% of Required Total Amenity Area	1251m ²

3 SITE & PROJECT STATISTICS
SP-01 SCALE: 1 : 1

- GENERAL ARCHITECTURAL NOTES:
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 - Upon notice in writing, the Architect will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents.
 - The Architectural Drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
 - Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
 - These documents are not to be used for construction unless specifically noted for such purpose.

KEY PLAN

- REISSUED FOR OPA & ZBLA 26-08-11
- ISSUED FOR REVIEW 26-08-07
- REISSUED FOR OPA & ZBLA 26-06-10
- ISSUED FOR REVIEW 26-06-08
- ISSUED FOR OPA & ZBLA 26-02-11
- ISSUED FOR COORDINATION 25-10-17
- ISSUED FOR COORDINATION 25-09-15

ISSUE RECORD



project1 studio

Project1 Studio Incorporated
[613.884.9339] (mail@project1studio.ca)

1052, 1060 & 1064 ST LAURENT

1052, 1060 & 1064 St. Laurent Boulevard
Ottawa, ON
K1K 3B4

PROJ SCALE DRAWN REVIEWED
2502 NOTED NL RMK

SITE PLAN

SP-01

CLADDING LEGEND:

1 BRICK MASONRY
RED2 ALUMINUM PANEL
BRONZE3 PRECAST CONCRETE
WHITE4 PRECAST CONCRETE
GREY5 ALUMINUM AND
GLASS RAILING6 SPANDREL PANEL
DARK

ELEVATION NOTES

E1 3m DEEP CANOPY

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KEY PLAN

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6	ISSUED FOR REVIEW	26-08-07
5	REISSUED FOR OPA & ZBLA	26-06-10
4	ISSUED FOR REVIEW	26-06-08
3	ISSUED FOR OPA & ZBLA	26-02-11
2	ISSUED FOR COORDINATION	25-10-17
1	ISSUED FOR COORDINATION	25-09-15

ISSUE RECORD



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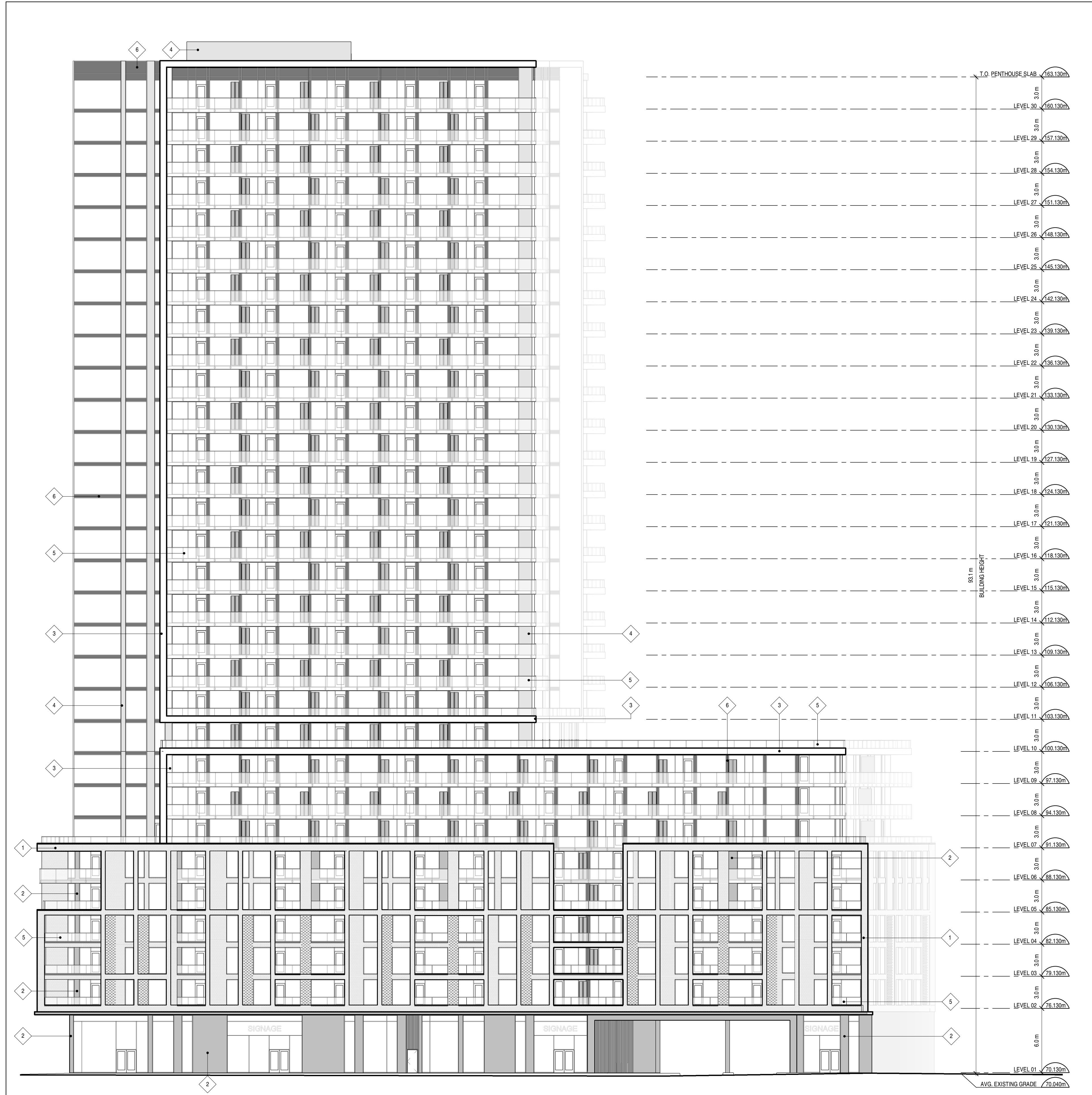
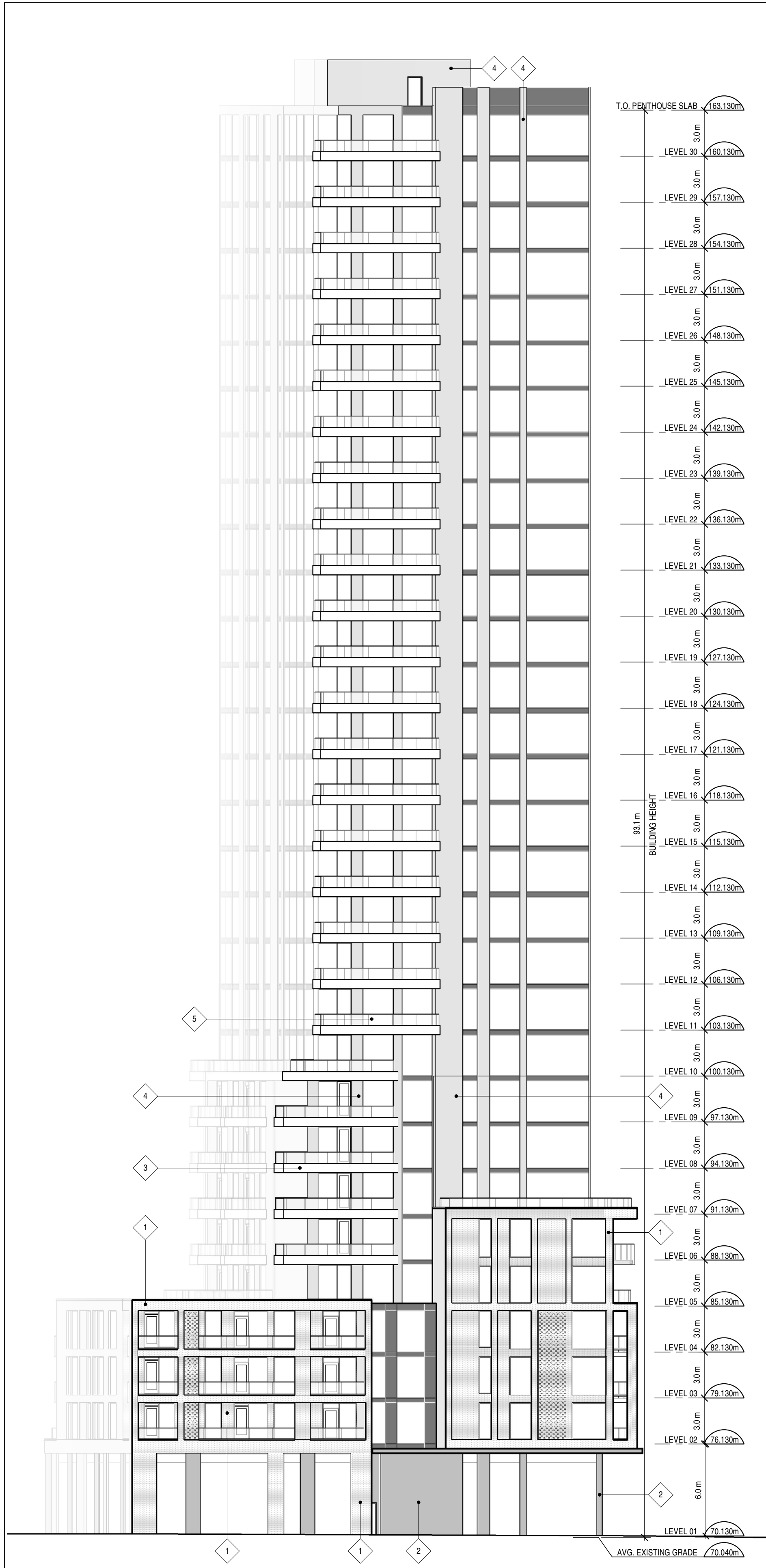
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K1K 3B4

PROJ	SCALE	DRAWN	REVIEWED
2502	NOTED	NL	RMK

ELEVATIONS

A200



CLADDING LEGEND:

1

BRICK MASONRY
RED

2

ALUMINUM PANEL
BRONZE

3

PRECAST CONCRETE
WHITE

4

PRECAST CONCRETE
GREY

5

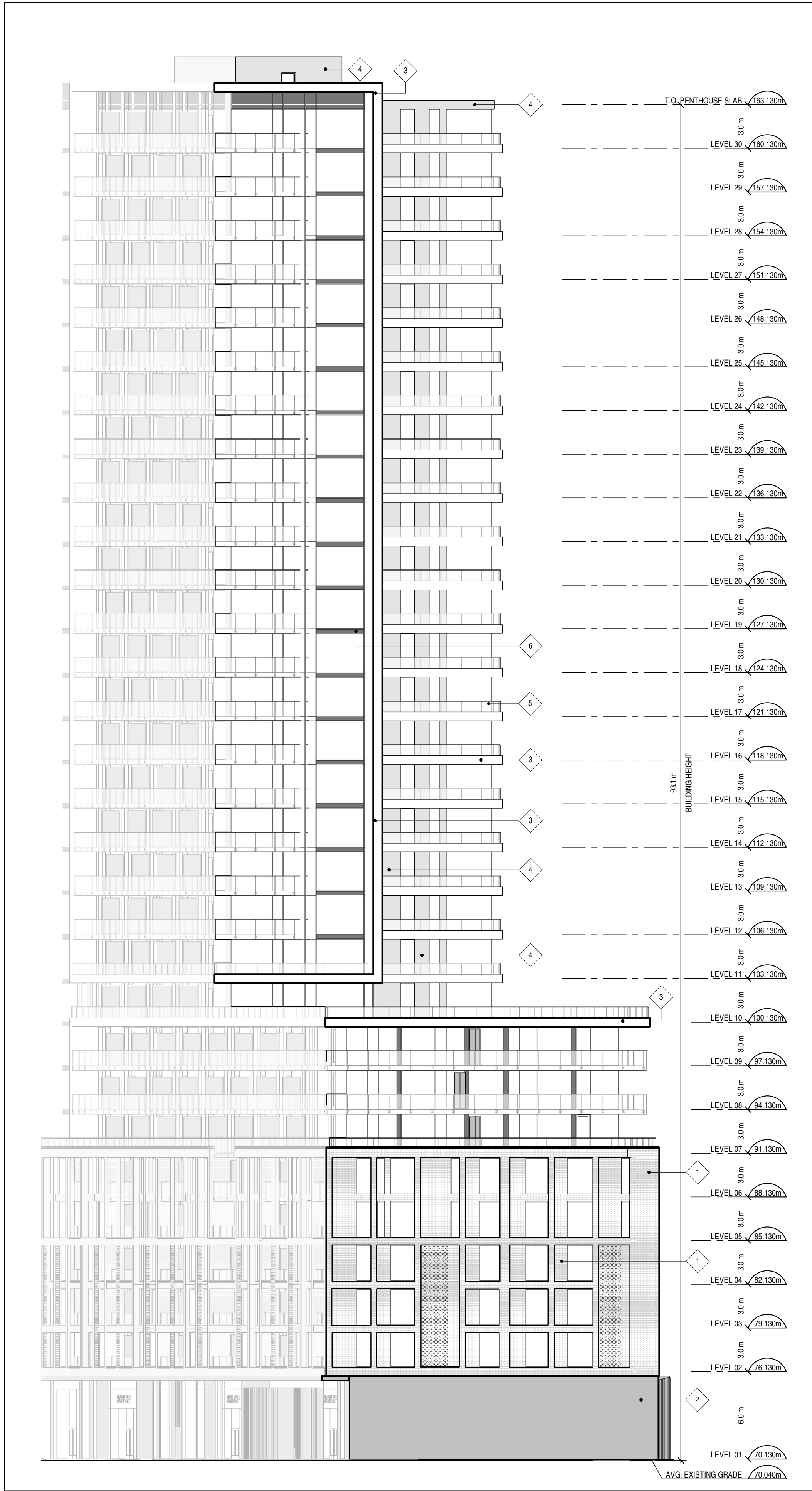
ALUMINUM AND
GLASS RAILING

6

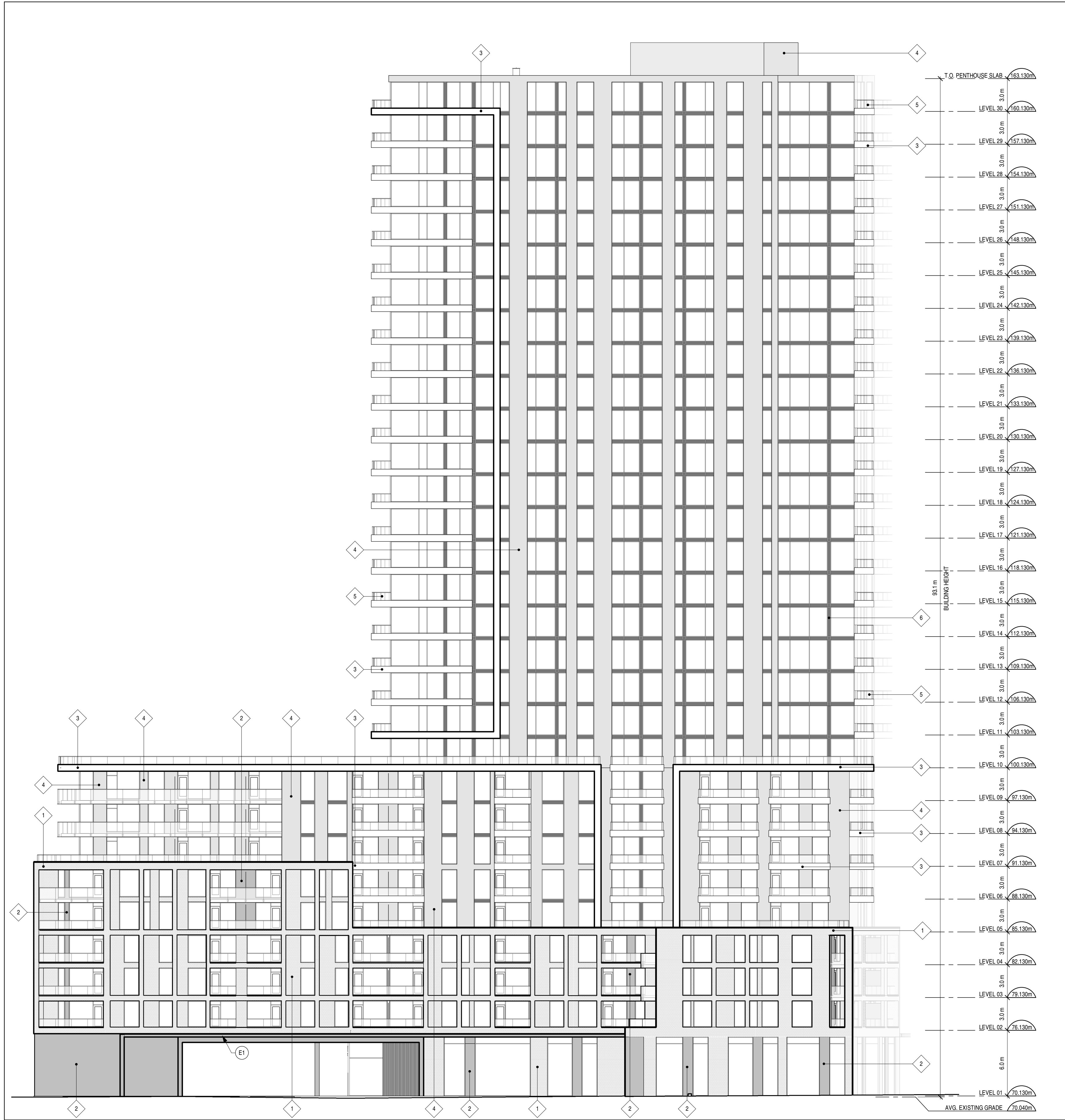
SPANDREL PANEL
DARK

ELEVATION NOTES

E1 3m DEEP CANOPY



2 NORTH ELEVATION
A201 SCALE: 1 : 200



1 WEST ELEVATION
A201 SCALE: 1 : 200

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PROJ	SCALE	DRAWN	REVIEWED
2502	NOTED	NL	RMK

ELEVATIONS

A201