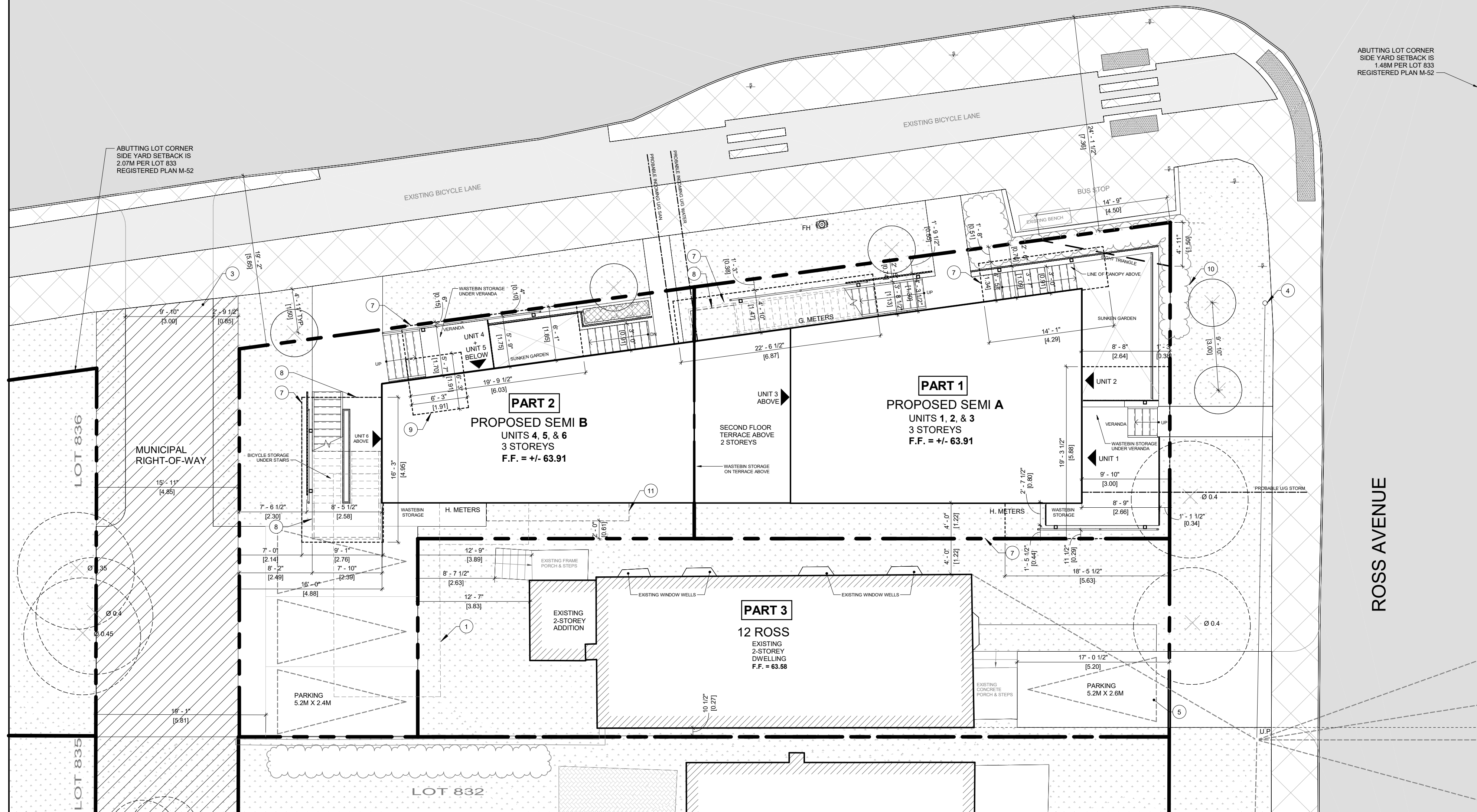




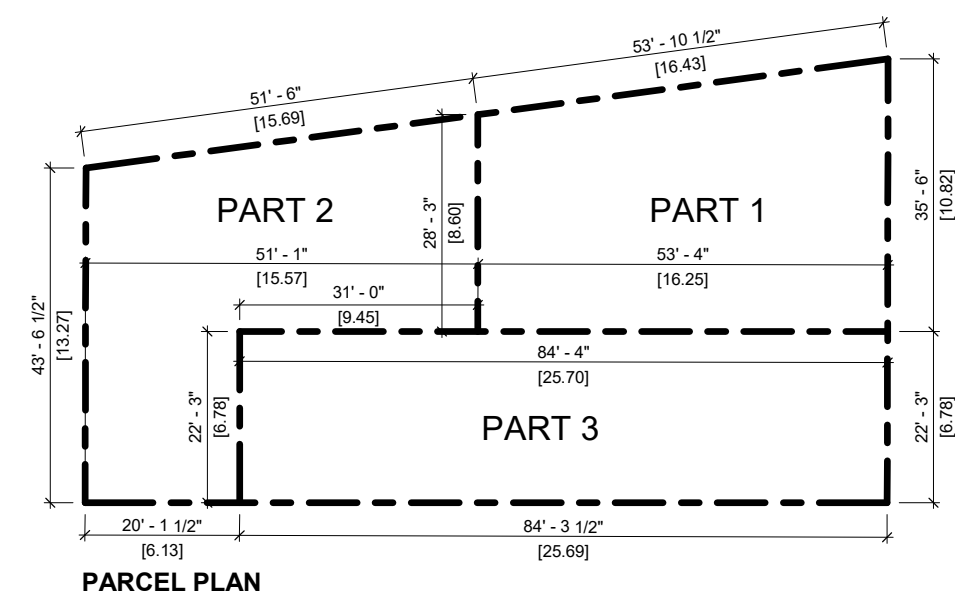
ABUTTING LOT CORNER
SIDE YARD SETBACK IS
1.48M PER LOT 833
REGISTERED PLAN M-52 —

ABUTTING LOT CORNER
SIDE YARD SETBACK IS
2.07M PER LOT 833
REGISTERED PLAN M-52



1 SITE PLAN
SP1 1/8" = 1'-0"

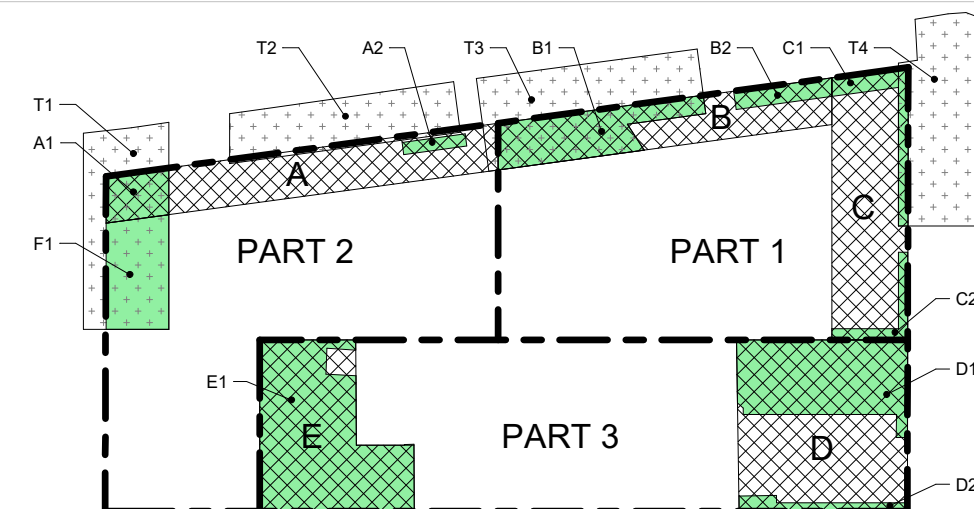
DEVELOPMENT INFO	
Development	100%
Testing	100%
Deployment	100%
Documentation	100%
Support	100%
Training	100%
Rollback	100%
Monitoring	100%
Logging	100%
Configuration	100%
Security	100%
Performance	100%
Scalability	100%
Availability	100%
Disaster Recovery	100%
Compliance	100%
Accessibility	100%
Localization	100%
Internationalization	100%
Integration	100%
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Compatibility	100%
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Interoperability	100%
Compatibility	100%
Portability	100%
Flexibility	100%
Extensibility	100%
Modularity	100%



<u>PROPERTY PARCELS</u>	
	AREA
TOTAL SITE AREA	491.1 SQ.M
PART 1 AREA	157.9 SQ.M
PART 2 AREA	158.9 SQ.M
PART 1 + 2 AREA	316.8 SQ.M
PART 3 AREA	174.3 SQ.M

TREE PLANTING				
REGION	AREA	SOIL VOLUME	TREE SIZE	QUANTIT
T1	27.1 SQ.M	54.2 M³	LARGE	1
T2	18.1 SQ.M	36.2 M³	LARGE	1
T3	29.5 SQ.M	59 M³	LARGE	1
T4	30.3 SQ.M	60.6 M³	MEDIUM	2
				6

* SOIL VOLUME BASED ON 2M DEPTH AS PER GEOTECHNICAL MEMO



SOFT LANDSCAPING PLAN

SOFT LANDSCAPING AREAS	
REGION	AREA
A	28.9 SQ.M
A1	4.6 SQ.M
A2	1.2 SQ.M
B	24.6 SQ.M
B1	12.2 SQ.M
B2	2.8 SQ.M
C	32 SQ.M
C1	4.4 SQ.M
C2	2.5 SQ.M
D	45.6 SQ.M
D1	20.3 SQ.M
D2	2.6 SQ.M
E	31.9 SQ.M
E1	30.8 SQ.M
F1	10.9 SQ.M

<u>UNIT TYPE & AREAS</u>	
SEMI DETACHED A	AREA
UNIT 1 - 3BD.	84.51 SQ.M / 909.65 SQFT
UNIT 2 - 3BD.	85.82 SQ.M / 923.76 SQFT
UNIT 3 - 3BD.	129.60 SQ.M / 1395.00 SQFT
SEMI DETACHED B	
UNIT 4 - 1BD.	51.95SQ.M / 559.18 SQFT
UNIT 5 - 1BD.	52.96 SQ.M / 570.05 SQFT
UNIT 6 - 3BD.	106.09 SQ.M / 1141.93 SQFT
<u>GROSS FLOOR AREA (BUILDABLE)</u>	
	AREA
ABOVE GRADE	372.15 SQ.M / 4005.78 SQFT
BELOW GRADE	138.78 SQ.M / 1493.81 SQFT
<u>PARKING</u>	
NEW CONSTRUCTION	QUANTITY
EXISTING DUPLEX	3
	1

* UNIT AREAS MEASURED TO OUTSIDE FACE OF FRAMING AND CENTER OF PARTI WALLS

GENERAL NOTES

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS AND OMISSIONS TO THE ARCHITECT. ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS. DO NOT SCALE DRAWINGS. THESE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF COLIZZA BRUNI ARCHITECTURE INCORPORATED. COPYRIGHT RESERVED.

NO.	REV DATE	REV DESCRIPTION
01	26/04/07	FOR CLIENT REVIEW
03	26/04/15	FOR COORDINATION
04	26/05/04	FOR COORDINATION
05	26/05/14	FOR COORDINATION
06	26/05/27	FOR COORDINATION

GENERAL NOTES:

SITE PLAN DRAWING NOTES:

1. OUTLINE OF EXISTING GARAGE & CANOPY TO BE REMOVED.
2. RESERVED.
3. PROPOSED 3M WIDE DRIVEWAY ON CITY RIGHT-OF-WAY.
4. EXISTING GUY WIRE.
5. PARKING SPACE - EXISTING DUPLEX
6. RESERVED.
7. LINE OF CANOPY ABOVE.
8. LINE OF LANDING ABOVE.
9. LINE OF VOLUME ABOVE - VOLUME IS 4' (1.22m) TALLER THAN REST OF BUILDING.
10. EXISTING HEDGE TO BE REPLACED - MAX HEIGHT 1m.
11. LINE OF CANTILEVERED VOLUME ABOVE

LEGEND:

- | | |
|---|-----------------------------|
|  | EXISTING ROADWAY |
|  | EXISTING WALKING PATH |
|  | EXISTING BICYCLE PATH |
|  | EXISTING THW |
|  | TURF |
|  | EXISTING STRUCTURE |
|  | EXISTING SIGN |
|  | SETBACK LINE |
|  | PROPERTY LINE |
|  | CITY RIGHT-OF-WAY (ASPHALT) |
|  | EXISTING TREE |
|  | PROPOSED TREE |
|  | EXISTING HEDGE |
|  | PROPOSED PLANTING BED |

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PROJECT NAME
12 ROSS AVENUE

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OTTAWA, ON



DRAWING
TITLE
SITE PLAN

	
SCALE	DRAWING

SCALE AS NOTED	DATE NO.
DRAWN BY EK	SD1

DATE	26/05/27
PROJECT NO.	

SP1