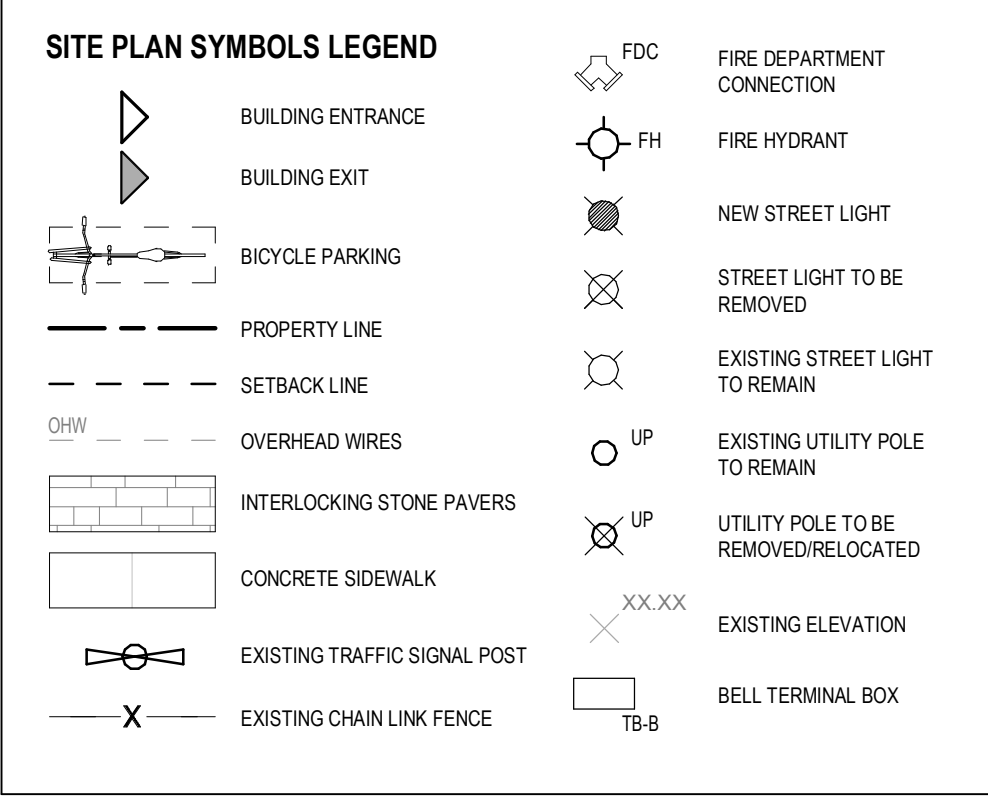


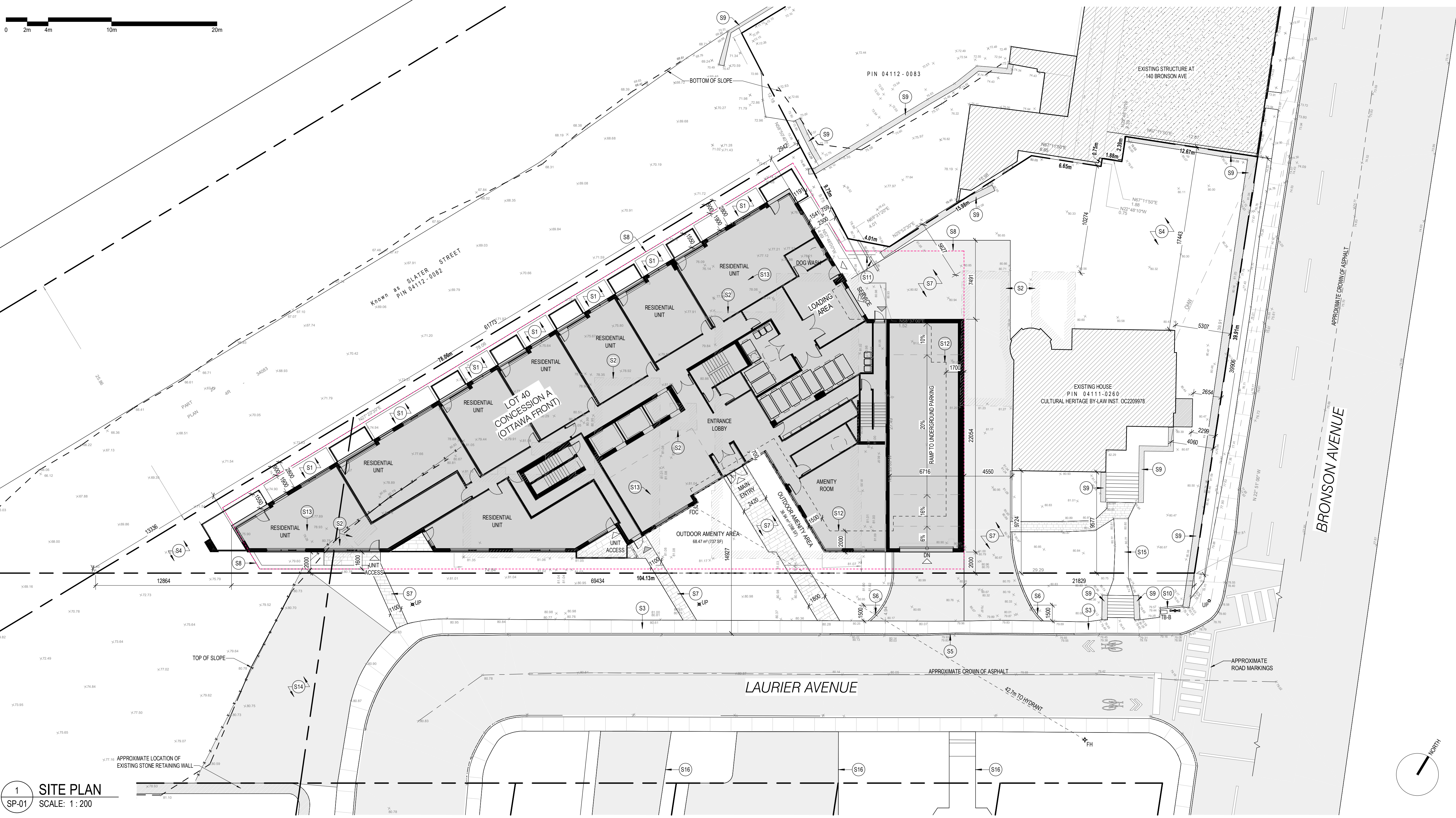
Site Statistics		
Current Zoning Designation:	R4UD & RSQ (2883) S429 - Residential Fifth Density Zone	
Total Lot Area:	2,843.2m ²	
Average Existing Grade:	78.600	
Gross Floor Area:	29,859.5m ²	
Proposed Development - 28 Storey High-Rise Apartment Building		
No. of units	326 Units	
Zoning Mechanism	Required	Provided
Minimum Lot Width Table 164A	18m	40m
Minimum Lot Area Table 164A	450m ²	2,843.2m ²
Min. Front Yard Setback Table 164A	3m (Bronson Avenue)	4.075m
Min. Corner Side Yard Setback Table 164A	3m (Laurier Avenue)	2m
Min. Interior Side Yard Setback Table 164A	If located within 2.1m of the front lot line: 1.5m If located further than 2.1m from the front lot line: 6m	2.3m from level 1 up to level 7
Min. Rear Yard Setback Table 164A	25% of the lot depth but need not exceed 7.5 metres	0.9m below Level 1 2.8m above Level 1
Maximum Building Height S. Schedule 429	9 storeys (29m)	28 storeys (87.7m)
Minimum Landscaped Area S. 163 (9)	853.0m ² Min. 30% of Lot Area	970.3m ² (34%)
Permitted Projections into Required Yards Table 65 (6)(c)	Maximum Size and Extent of Projection: 2 metres, but no closer than 1 metre from any lot line.	Max 2m, minimum 1m from lot line
Parking Space Rates 101 (Sch. 1A - Area X)	141 Spaces 0 spaces for the first 12 units - Section 101(3) 0.5 spaces / unit for 314 units - Table 101(P2)(iii) - 10% Section 101(6)	71 Spaces
Minimum Visitor Parking Rates 102 (Sch. 1A - Area X)	31 Spaces 0 spaces for first 12 units - Section 102(2) 0.1 spaces / unit for 314 units - Table 102	31 Spaces
Bicycle Parking Rates Table 111A (Sch. 1 - Area B)	163 Spaces 0.5 spaces / unit for 326 units(111A)(ii)	326 Spaces
Bicycle Parking Access S. 111 (9)	Minimum Aisle Width: 1.5m	1.5m
Bicycle Parking Space Dimensions Table 111B & S. 111(8B)	Length: 1.8m Width (Stacked): 0.37m (S. 111 8B)	Length: 1.8m Width: 0.37m
Total Amenity Area Table 137(4)(ii)	1,956m ² 6m ² / unit for 326 units	2,014m ²
Communal Amenity Area Table 137(4)(ii)	978m ² Min. 50% of Total Amenity Area	992m ²

UNIT COUNT		
NAME	TOTAL COUNT	PERCENTAGE
1-BED	173	53%
1-BED + DEN	40	12%
2-BED	80	25%
2-BED + DEN	7	2%
STUDIO	26	6%
TOTAL	326	100%



2
SP-01
LOCATION PLAN
SCALE: NTS

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PLAN OF SURVEY OF
PART OF LOT 40
CONCESSION A (OTTAWA FRONT)
Geographic Township of Nepean
CITY OF OTTAWA
Surveyed by Annis, O'Sullivan, Vollebek Ltd.

SURVEY INFO
SCALE: 1 : 100

- SITE PLAN NOTES**
- S1 RAISED PLANTER
 - S2 EXISTING STRUCTURE TO BE DEMOLISHED
 - S3 CONCRETE SIDEWALK
 - S4 SOFT LANDSCAPING
 - S5 DEPRESSED CURB
 - S6 CURB TRANSITION
 - S7 HARD LANDSCAPING
 - S8 LINE OF UNDERGROUND STRUCTURE BELOW
 - S9 EXISTING STONE RETAINING WALL
 - S10 EXISTING WOOD RETAINING WALL
 - S11 EXISTING CONCRETE RETAINING WALL
 - S12 BUILDING STEP BACK AT LEVEL S5
 - S13 OUTLINE OF TOWER FOOTPRINT
 - S14 EXISTING ASPHALT PARKING AREA
 - S15 EXISTING CONCRETE WALKWAY
 - S16 APPROXIMATE OUTLINE OF NEIGHBOURING HARDSCAPE

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ARCHITECT
PROJECT1 STUDIO
260 ST. PATRICK ST, SUITE 300
OTTAWA, ON, K1N 5K5

PLANNER
FOTENN
396 COOPER STREET, SUITE 300
OTTAWA, ON, K2P 2H7

SURVEYOR
ANNIS, O'SULLIVAN, VOLLEBEK LTD.
14 CONCOURSE GATE, SUITE 500
NEPEAN, ON, K2E 7S6

LANDSCAPE ARCHITECT
THAKAR ASSOCIATES DESIGN
54 BENNETT STREET
OTTAWA, ON, K1V 9L4

CIVIL ENGINEER
D.B. GRAY ENGINEERING INC.
700 LONG POINT CIRCLE
OTTAWA, ON, K1T 4E9

601 LAURIER

601 Laurier Avenue
Ottawa, ON
K1R 6K9

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SITE PLAN

SP-01

UNIT COUNT																														
NAME	TOTAL COUNT	PERCENTAGE	LVL 01	LVL 02	LVL 03	LVL 04	LVL 05	LVL 06	LVL 07	LVL 08	LVL 09	LVL 10	LVL 11	LVL 12	LVL 13	LVL 14	LVL 15	LVL 16	LVL 17	LVL 18	LVL 19	LVL 20	LVL 21	LVL 22	LVL 23	LVL 24	LVL 25	LVL 26	LVL 27	LVL 28
1-BED	173	53%	4	8	8	8	8	5	3	6	6	6	6	6	6	6	6	6	6	6	6	6	6	6	6	6	6	6	6	
1-BED + DEN	40	12%	1	4	4	4	3	3	0	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
2-BED	80	25%	1	3	3	3	3	3	2	2	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	
2-BED + DEN	7	2%	2	2	1	1	1	1	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
STUDIO	26	8%	0	1	1	1	1	1	0	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
TOTAL	326	100%	8	17	17	17	16	16	5	10	11	11	11	11	11	11	11	11	11	11	11	11	11	11	11	11	11	11	11	

GROSS FLOOR AREA		
LEVEL	AREA	AREA (SF)
LEVEL P3	1,695.65 m²	18,252 SF
LEVEL P2	1,695.65 m²	18,252 SF
LEVEL P1	1,695.65 m²	18,252 SF
LEVEL 1	1,274.52 m²	13,719 SF
LEVEL 2	1,242.57 m²	13,375 SF
LEVEL 3	1,242.57 m²	13,375 SF
LEVEL 4	1,242.57 m²	13,375 SF
LEVEL 5	1,174.81 m²	12,646 SF
LEVEL 6	1,174.81 m²	12,646 SF
LEVEL 7	784.96 m²	8,449 SF
LEVEL 8	777.64 m²	8,370 SF
LEVEL 9	777.64 m²	8,370 SF
LEVEL 10	777.64 m²	8,370 SF
LEVEL 11	777.64 m²	8,370 SF
LEVEL 12	777.64 m²	8,370 SF
LEVEL 13	777.64 m²	8,370 SF
LEVEL 14	777.64 m²	8,370 SF
LEVEL 15	777.64 m²	8,370 SF
LEVEL 16	777.64 m²	8,370 SF
LEVEL 17	777.64 m²	8,370 SF
LEVEL 18	777.64 m²	8,370 SF
LEVEL 19	777.64 m²	8,370 SF
LEVEL 20	777.64 m²	8,370 SF
LEVEL 21	777.64 m²	8,370 SF
LEVEL 22	777.64 m²	8,370 SF
LEVEL 23	777.64 m²	8,370 SF
LEVEL 24	777.64 m²	8,370 SF
LEVEL 25	777.64 m²	8,370 SF
LEVEL 26	777.64 m²	8,370 SF
LEVEL 27	777.64 m²	8,370 SF
LEVEL 28	777.64 m²	8,370 SF
PENTHOUSE	304.14 m²	3,274 SF
TOTAL	29,859.47 m²	321,405 SF

RENTABLE AREA (RESIDENTIAL)		
LEVEL	AREA	AREA (SF)
LEVEL 1	560.14 m²	6,029 SF
LEVEL 2	1,072.22 m²	11,541 SF
LEVEL 3	1,072.22 m²	11,541 SF
LEVEL 4	1,072.22 m²	11,541 SF
LEVEL 5	1,006.87 m²	10,838 SF
LEVEL 6	1,006.87 m²	10,838 SF
LEVEL 7	344.00 m²	3,703 SF
LEVEL 8	599.44 m²	6,452 SF
LEVEL 9	675.18 m²	7,268 SF
LEVEL 10	675.18 m²	7,268 SF
LEVEL 11	675.18 m²	7,268 SF
LEVEL 12	675.18 m²	7,268 SF
LEVEL 13	675.18 m²	7,268 SF
LEVEL 14	675.18 m²	7,268 SF
LEVEL 15	675.18 m²	7,268 SF
LEVEL 16	675.18 m²	7,268 SF
LEVEL 17	675.18 m²	7,268 SF
LEVEL 18	675.18 m²	7,268 SF
LEVEL 19	675.18 m²	7,268 SF
LEVEL 20	675.18 m²	7,268 SF
LEVEL 21	675.18 m²	7,268 SF
LEVEL 22	675.18 m²	7,268 SF
LEVEL 23	675.18 m²	7,268 SF
LEVEL 24	675.18 m²	7,268 SF
LEVEL 25	675.18 m²	7,268 SF
LEVEL 26	675.18 m²	7,268 SF
LEVEL 27	675.18 m²	7,268 SF
LEVEL 28	675.18 m²	7,268 SF
TOTAL	20,237.56 m²	217,835 SF

AMENITY SCH. (PRIVATE)		
LEVEL	AREA	AREA (SF)
LEVEL 1	75.34 m²	811 SF
LEVEL 2	84.35 m²	908 SF
LEVEL 3	84.35 m²	908 SF
LEVEL 4	84.35 m²	908 SF
LEVEL 5	136.58 m²	1,470 SF
LEVEL 6	80.70 m²	869 SF
LEVEL 7	17.86 m²	190 SF
LEVEL 8	13.41 m²	144 SF
LEVEL 9	22.75 m²	245 SF
LEVEL 10	21.78 m²	234 SF
LEVEL 11	22.75 m²	245 SF
LEVEL 12	21.78 m²	234 SF
LEVEL 13	22.75 m²	245 SF
LEVEL 14	21.78 m²	234 SF
LEVEL 15	22.75 m²	245 SF
LEVEL 16	21.78 m²	234 SF
LEVEL 17	22.75 m²	245 SF
LEVEL 18	21.78 m²	234 SF
LEVEL 19	22.75 m²	245 SF
LEVEL 20	21.78 m²	234 SF
LEVEL 21	22.75 m²	245 SF
LEVEL 22	21.78 m²	234 SF
LEVEL 23	22.75 m²	245 SF
LEVEL 24	21.78 m²	234 SF
LEVEL 25	22.75 m²	245 SF
LEVEL 26	21.78 m²	234 SF
LEVEL 27	22.75 m²	245 SF
LEVEL 28	21.78 m²	234 SF
TOTAL	1,022.03 m²	11,001 SF

AMENITY SCH. (COMMUNAL)			
LEVEL	NAME	AREA	AREA (SF)
LEVEL 1	LVL 1 AMENITY ROOM	67.52 m²	727 SF
LEVEL 1	AMENITY AREA	52.84 m²	567 SF
LEVEL 1	OUTDOOR AMENITY AREA	66.47 m²	717 SF
LEVEL 1	DOG WASH	7.20 m²	78 SF
LEVEL 5	OUTDOOR AMENITY AREA	36.94 m²	398 SF
LEVEL 7	LVL 7 AMENITY ROOM	190.30 m²	2,048 SF
LEVEL 7	LVL 7 AMENITY TERRACE	333.46 m²	3,589 SF
LEVEL 7	LVL 7 AMENITY ROOM 2	127.18 m²	1,369 SF
LEVEL 8	LVL 8 AMENITY ROOM	67.06 m²	722 SF
LEVEL 8	LVL 8 AMENITY TERRACE	41.40 m²	446 SF
TOTAL		992.17 m²	10,680 SF

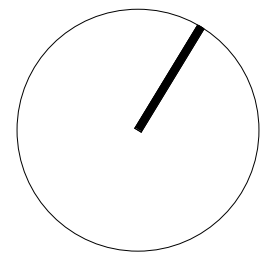
PARKING SCH. (VEHICLE)	
TYPE	COUNT
LEVEL P1	
RESIDENT	6
VISITOR	28
LEVEL P2	
RESIDENT	31
VISITOR	3
LEVEL P3	
RESIDENT	34
TOTAL	102

PARKING SCH. (BICYCLE)	
TYPE	COUNT
LEVEL P3	
STACKED HORIZONTAL (370 x 1800mm)	326
TOTAL	326

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1	ISSUED FOR CITY REVIEW	2024-04-29

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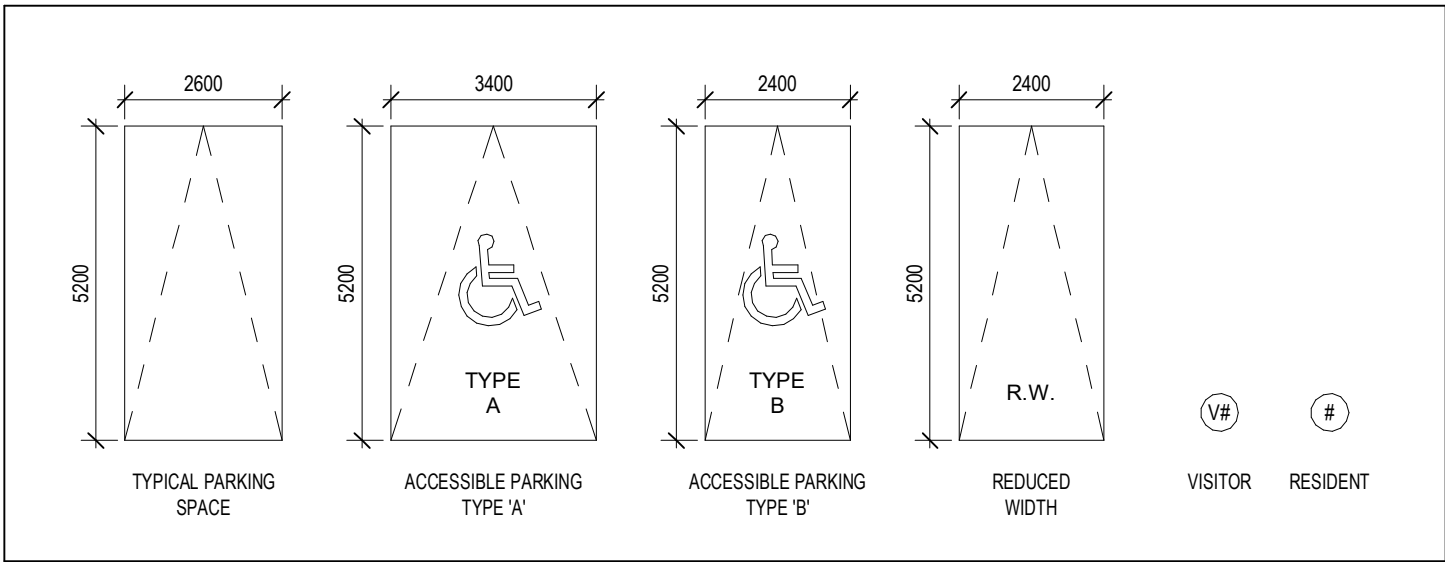
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2318	NOTED	BH	JH

PROJECT STATISTICS AND
ZONING INFORMATION

SP-02



PARKING LEGEND
SCALE: 1 : 125

FLOOR/ROOF PLAN NOTES

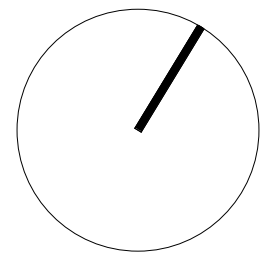
P1 GLASS JULIETTE BALCONIES ON WEST ELEVATION, TYPICAL
P2 RAILING AT PERIMETER OF LEVEL 7 AND 8 AMENITY TERRACE
TO BE 1.8m HIGH ABOVE PAVEMENT HEIGHT AND BE CONSTRUCTED
AS A NOISE BARRIER (STC 30 MIN.) REFER TO NOISE STUDY.

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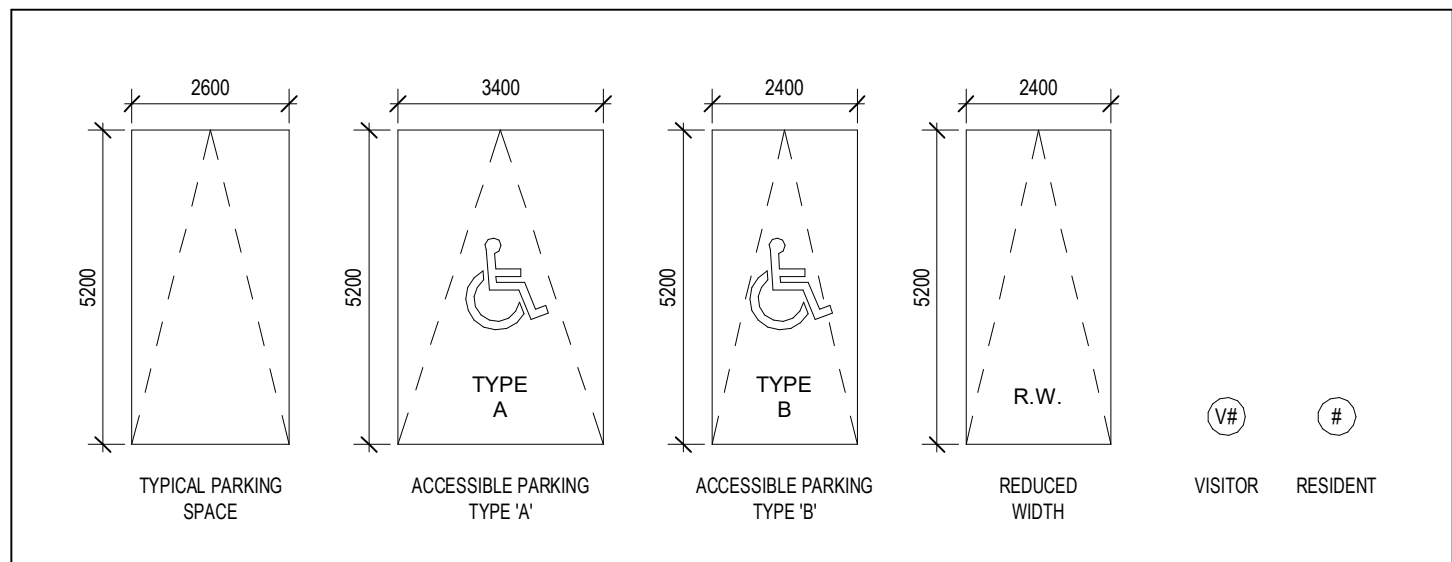
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FLOOR PLAN LEVEL P3

A100a



PARKING LEGEND

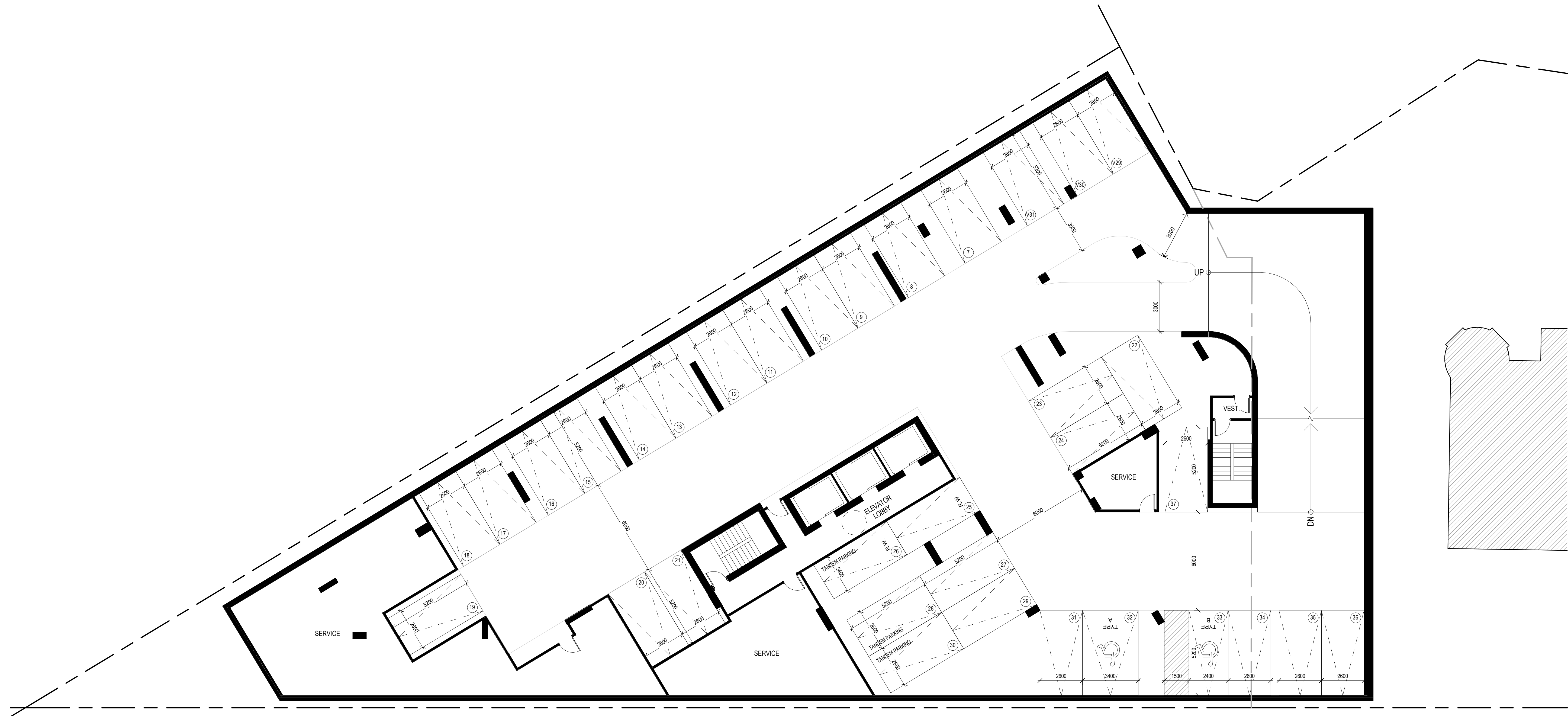
SCALE: 1 : 125

FLOOR/ROOF PLAN NOTES

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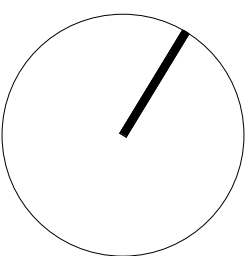
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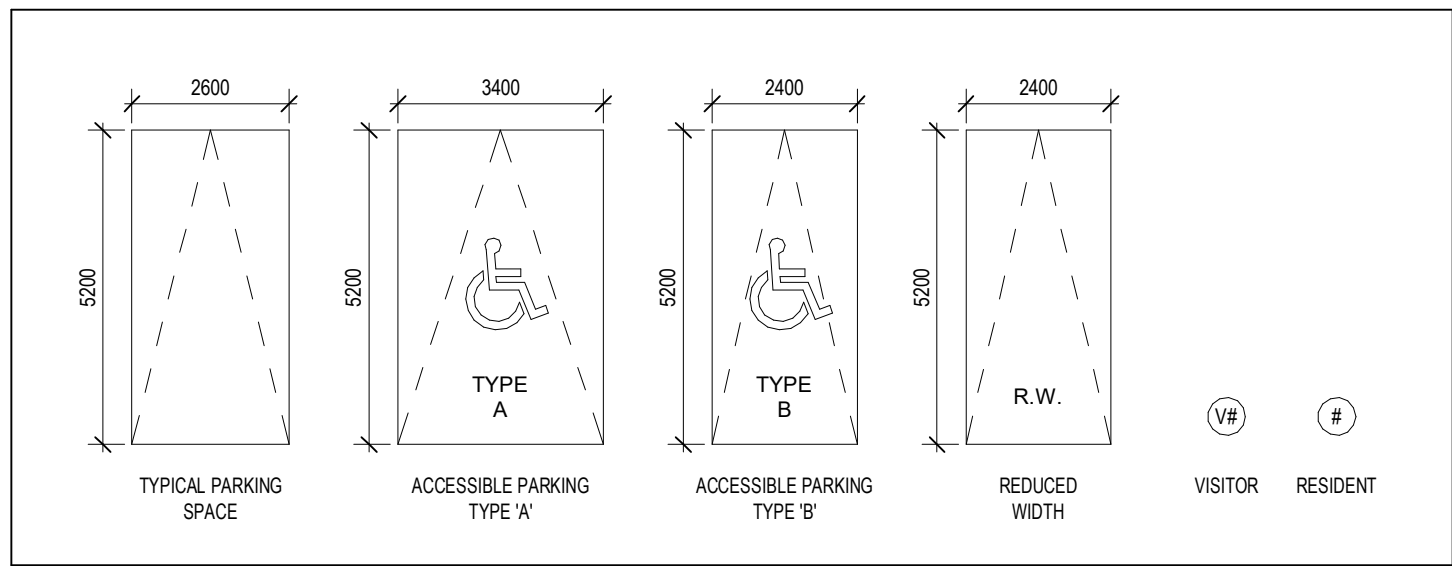
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FLOOR PLAN LEVEL P2

A100b



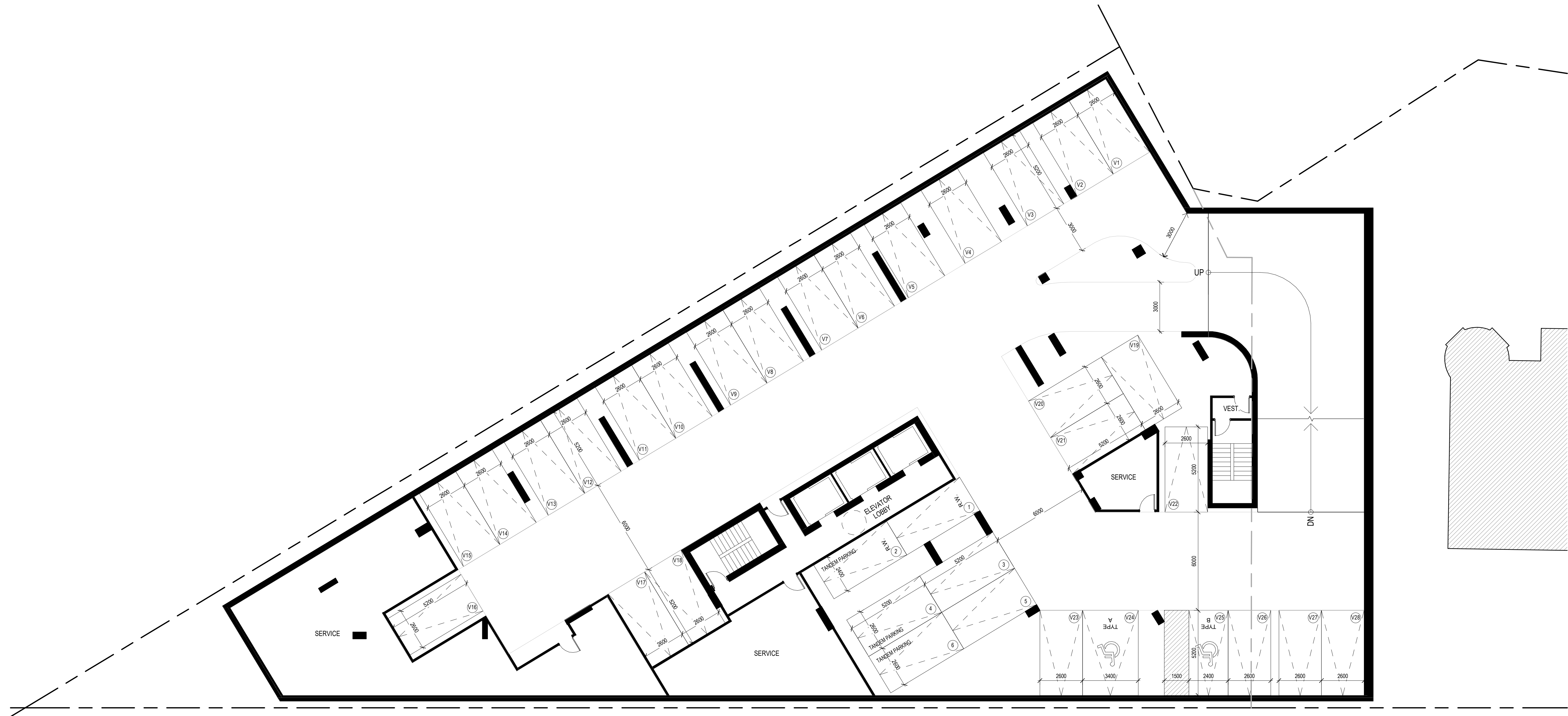
PARKING LEGEND
SCALE: 1 : 125

FLOOR/ROOF PLAN NOTES

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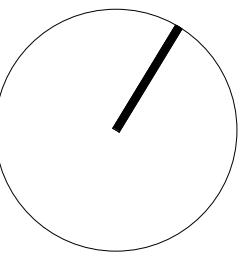
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FLOOR PLAN LEVEL P1

A100c

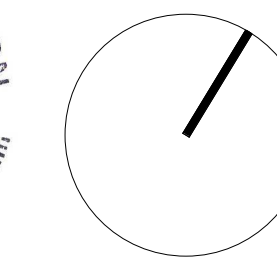
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FLOOR PLAN LEVEL 1

A101



FLOOR/ROOF PLAN NOTES

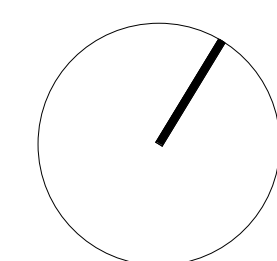
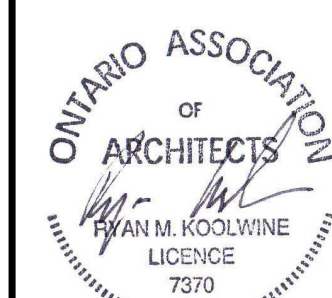
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6	REISSUED FOR ZBLA	2025-09-16
5	REISSUED FOR ZBLA	2025-03-21
3	ISSUED FOR ZBLA	2024-10-18
2	ISSUED FOR COORDINATION	2024-08-09
1	ISSUED FOR CITY REVIEW	2024-04-29

ISSUE RECORD



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K1R 6K9

PROJ	SCALE	DRAWN	REVIEWED
2318	NOTED	BH	JH

FLOOR PLAN LEVEL 2 - 4

A102



FLOOR/ROOF PLAN NOTES

P1 GLASS JULIETTE BALCONIES ON WEST ELEVATION, TYPICAL
P2 RAILING AT PERIMETER OF LEVEL 7 AND 8 AMENITY TERRACE
TO BE 1.8m HIGH ABOVE PAVEMENT HEIGHT AND BE CONSTRUCTED
AS A NOISE BARRIER (STC 30 MIN.) REFER TO NOISE STUDY.

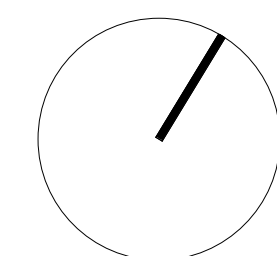
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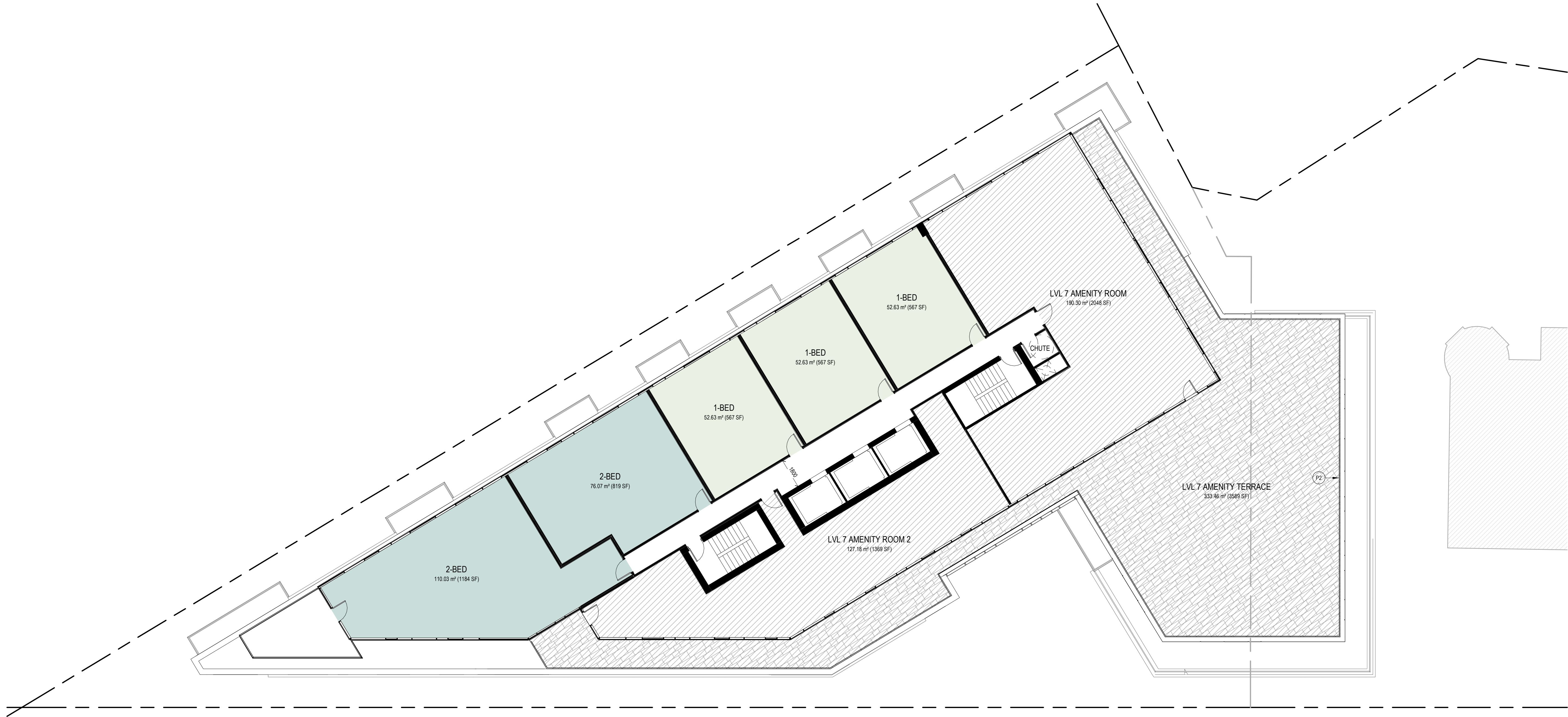
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PROJ	SCALE	DRAWN	REVIEWED
2318	NOTED	BH	JH

FLOOR PLAN LEVEL 5 - 6

A103

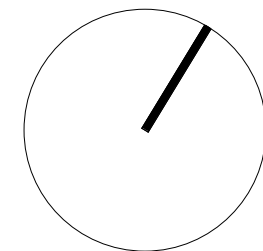


- FLOOR/ROOF PLAN NOTES**
- P1 GLASS JULIETTE BALCONIES ON WEST ELEVATION, TYPICAL
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PROJ	SCALE	DRAWN	REVIEWED
2318	NOTED	BH	JH

FLOOR PLAN LEVEL 7

A104



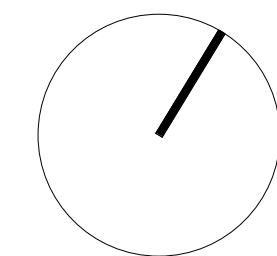
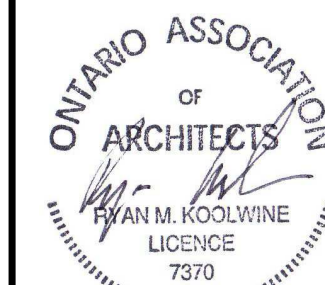
FLOOR/ROOF PLAN NOTES
P1 GLASS JULIETTE BALCONIES ON WEST ELEVATION, TYPICAL
P2 RAILING AT PERIMETER OF LEVEL 7 AND 8 AMENITY TERRACE
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PROJ	SCALE	DRAWN	REVIEWED
2318	NOTED	BH	JH

FLOOR PLAN LEVEL 8

A105

FLOOR/ROOF PLAN NOTES
P1 GLASS JULIETTE BALCONIES ON WEST ELEVATION, TYPICAL
P2 RAILING AT PERIMETER OF LEVEL 7 AND 8 AMENITY TERRACE
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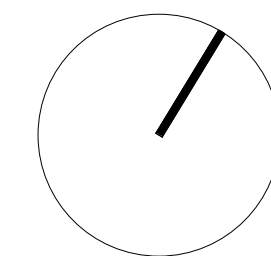
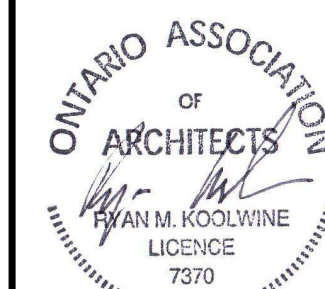
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TOWER FLOOR PLATE AREA:
WITHOUT BALCONIES: 777m²
WITH BALCONIES: 799m²



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1	ISSUED FOR CITY REVIEW	2024-04-29

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FLOOR PLAN LEVEL 9-28

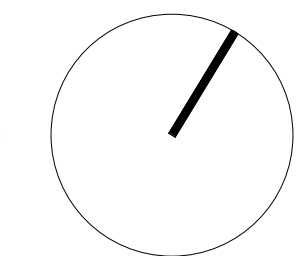
A106

FLOOR/ROOF PLAN NOTES
P1 GLASS JULIETTE BALCONIES ON WEST ELEVATION, TYPICAL
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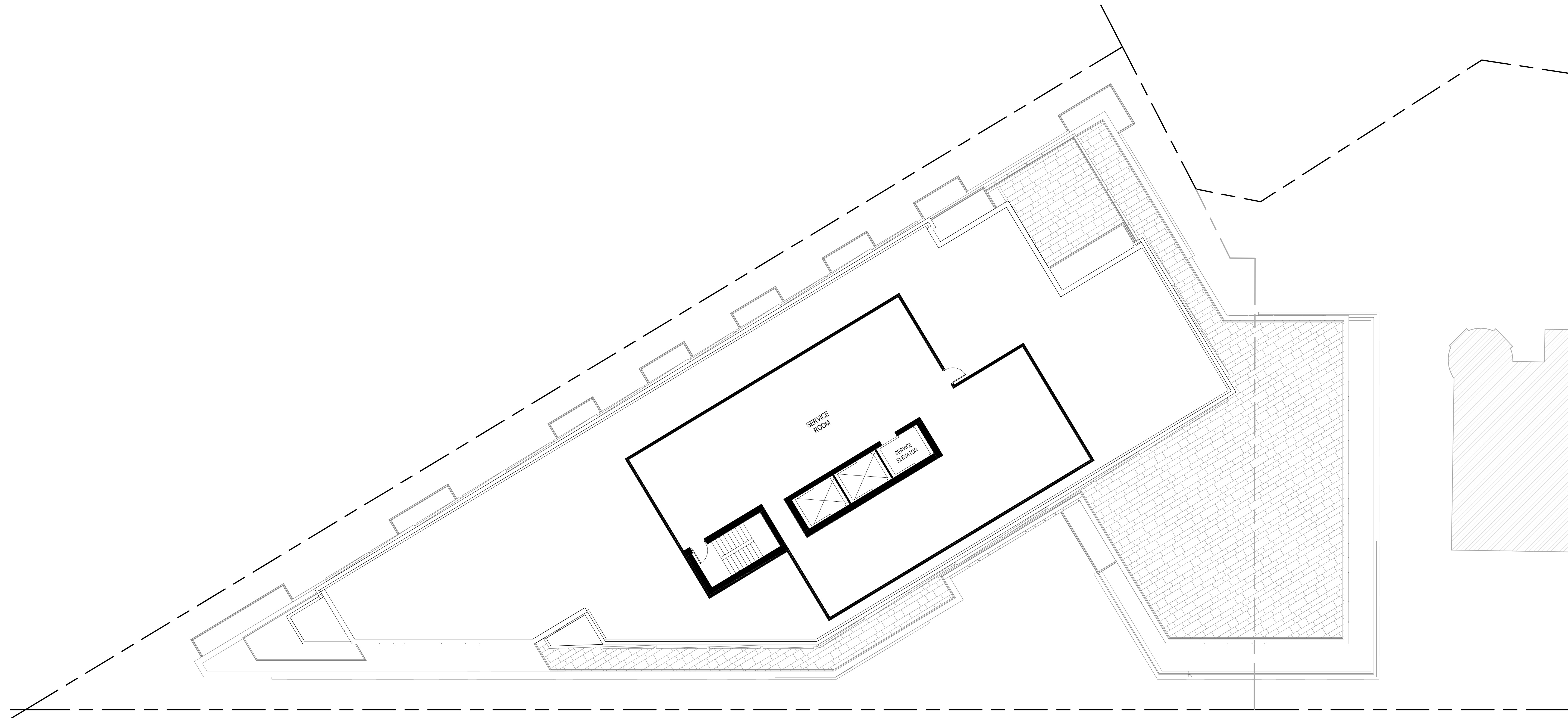
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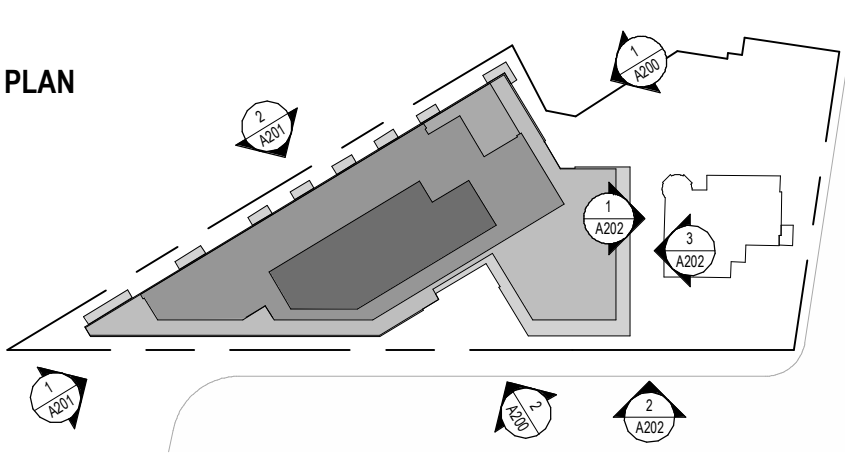
PROJ	SCALE	DRAWN	REVIEWED
2318	NOTED	BH	JH

**FLOOR PLAN - PENTHOUSE
LEVEL**

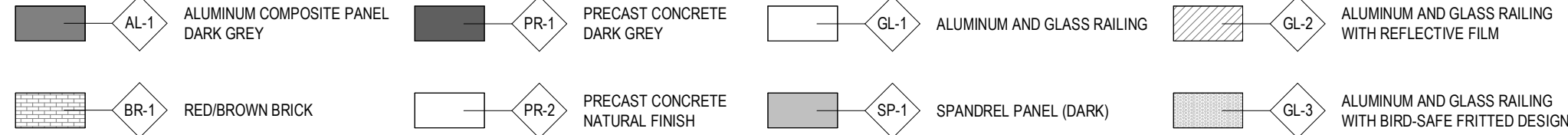
A107



KEY PLAN

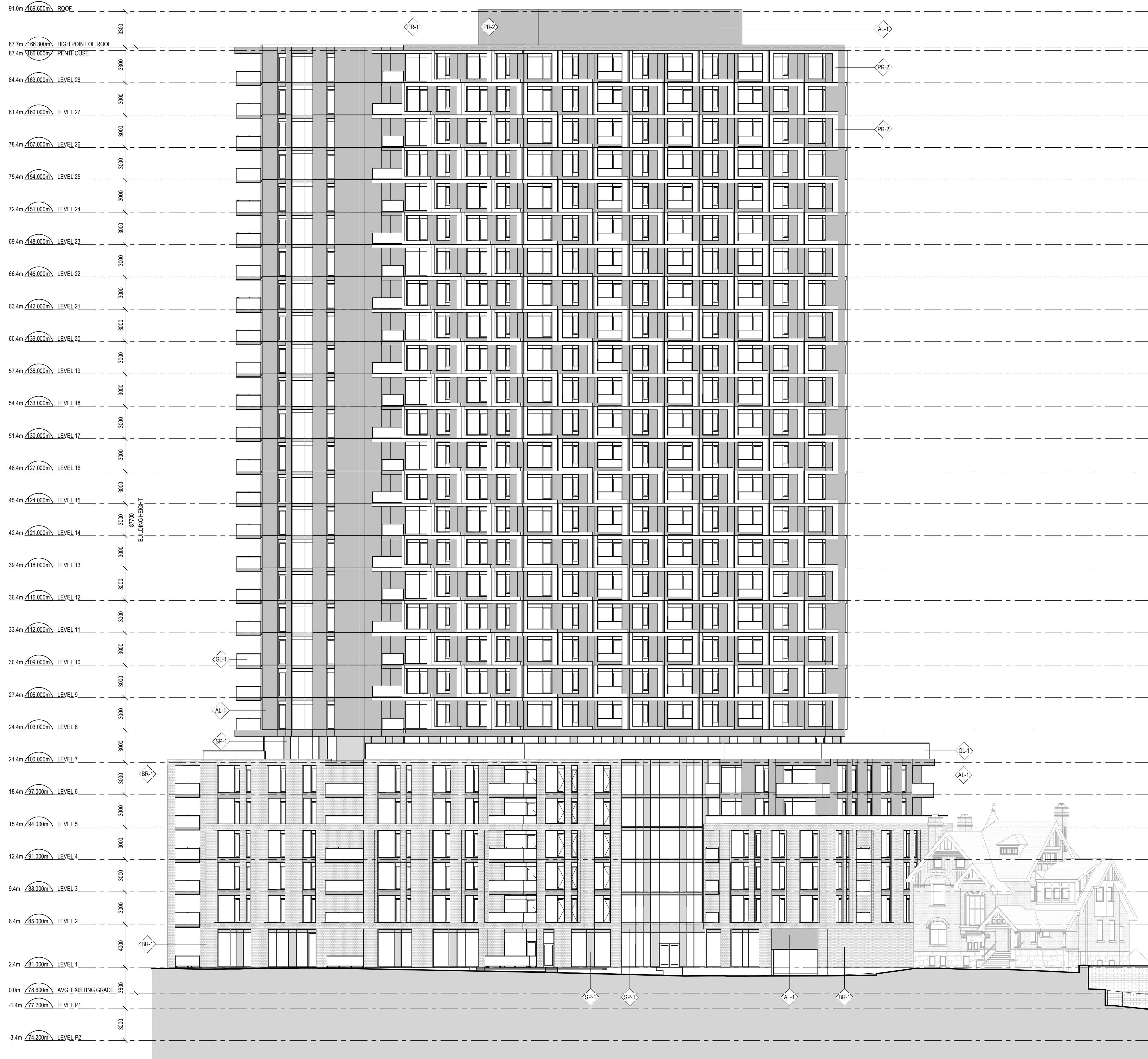


CLADDING LEGEND:

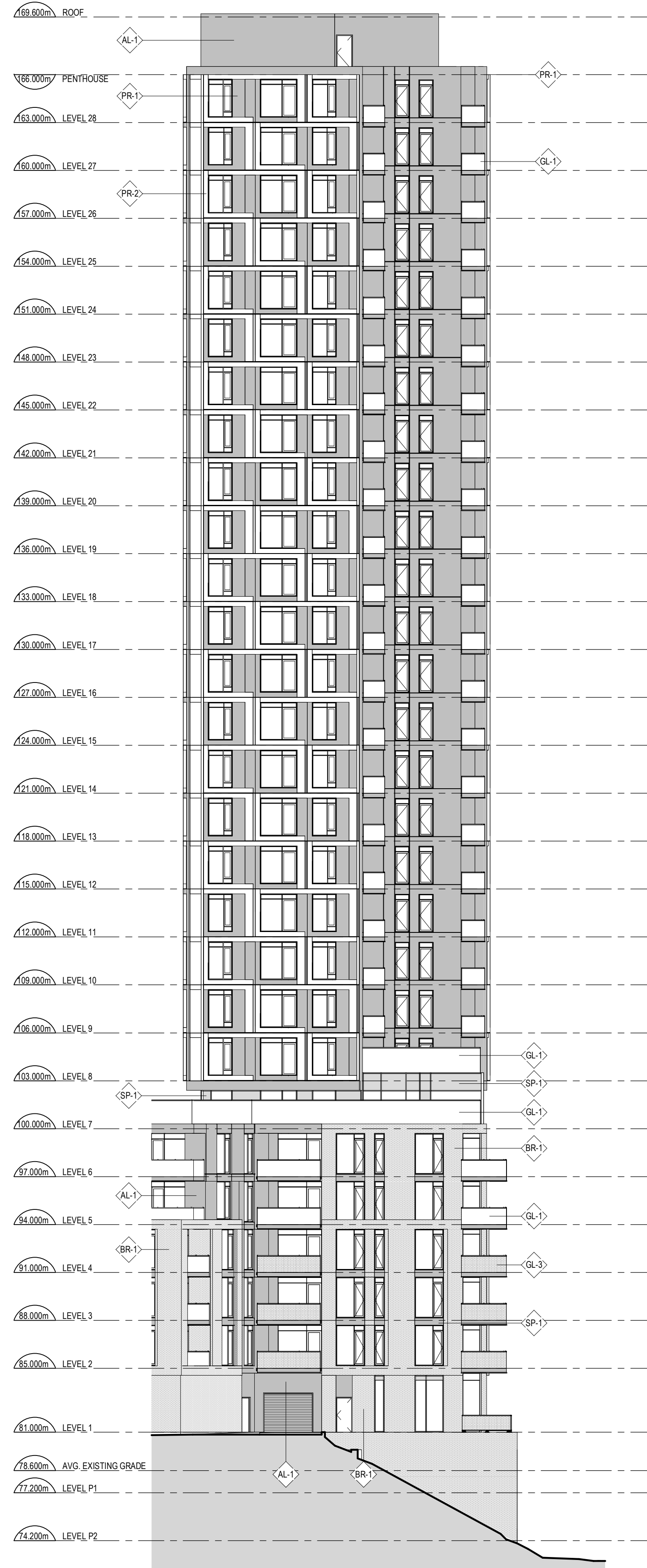


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2 EAST ELEVATION
A200 SCALE: 1 : 200



1 NORTH ELEVATION
A200 SCALE: 1 : 200

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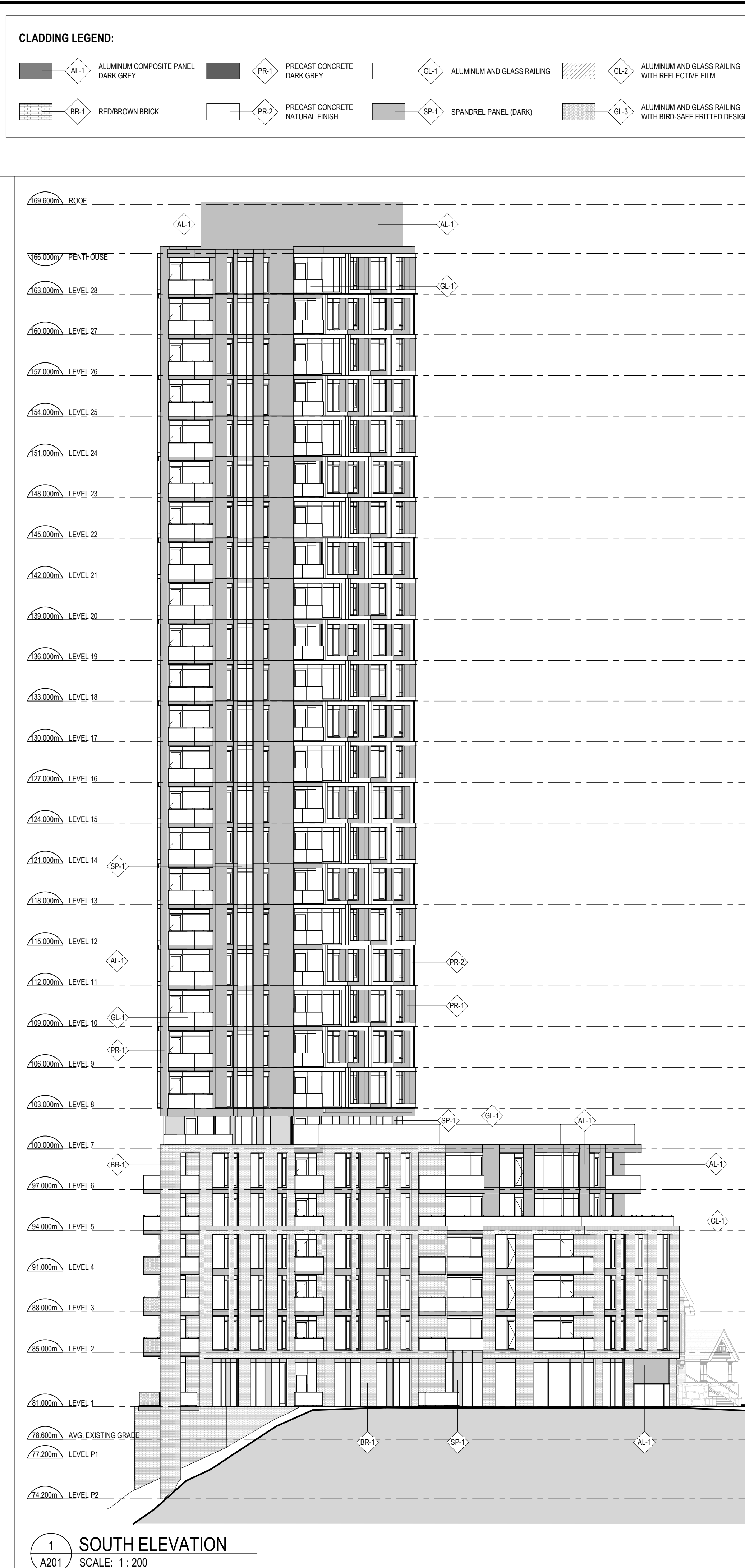
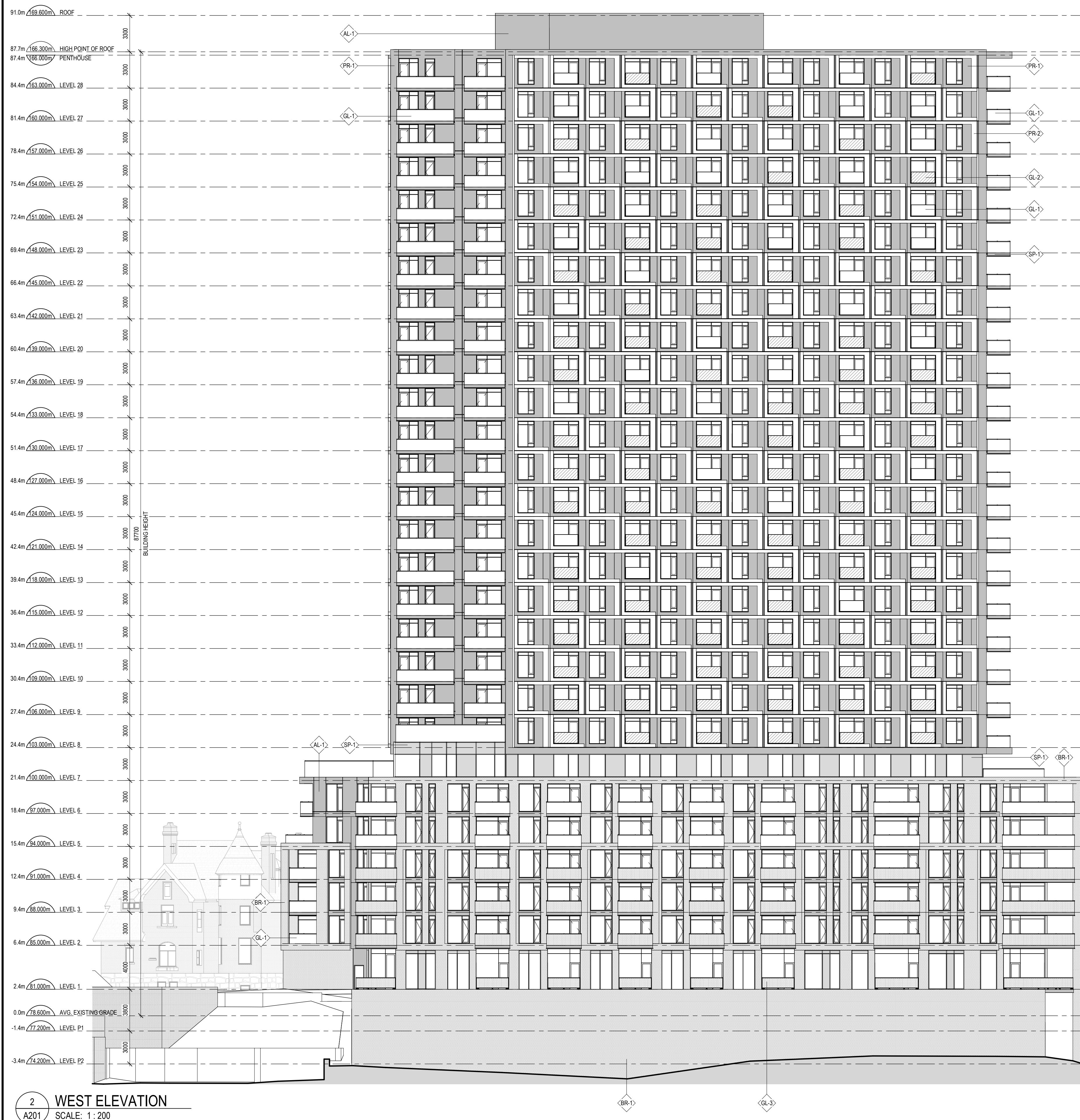
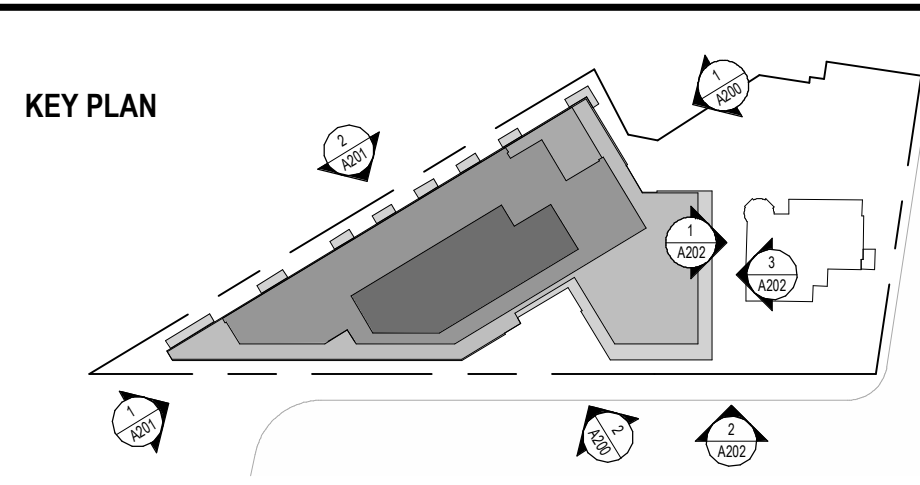
601 LAURIER

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PROJ	SCALE	DRAWN	REVIEWED
2318	NOTED	BH	JH

ELEVATIONS

A200



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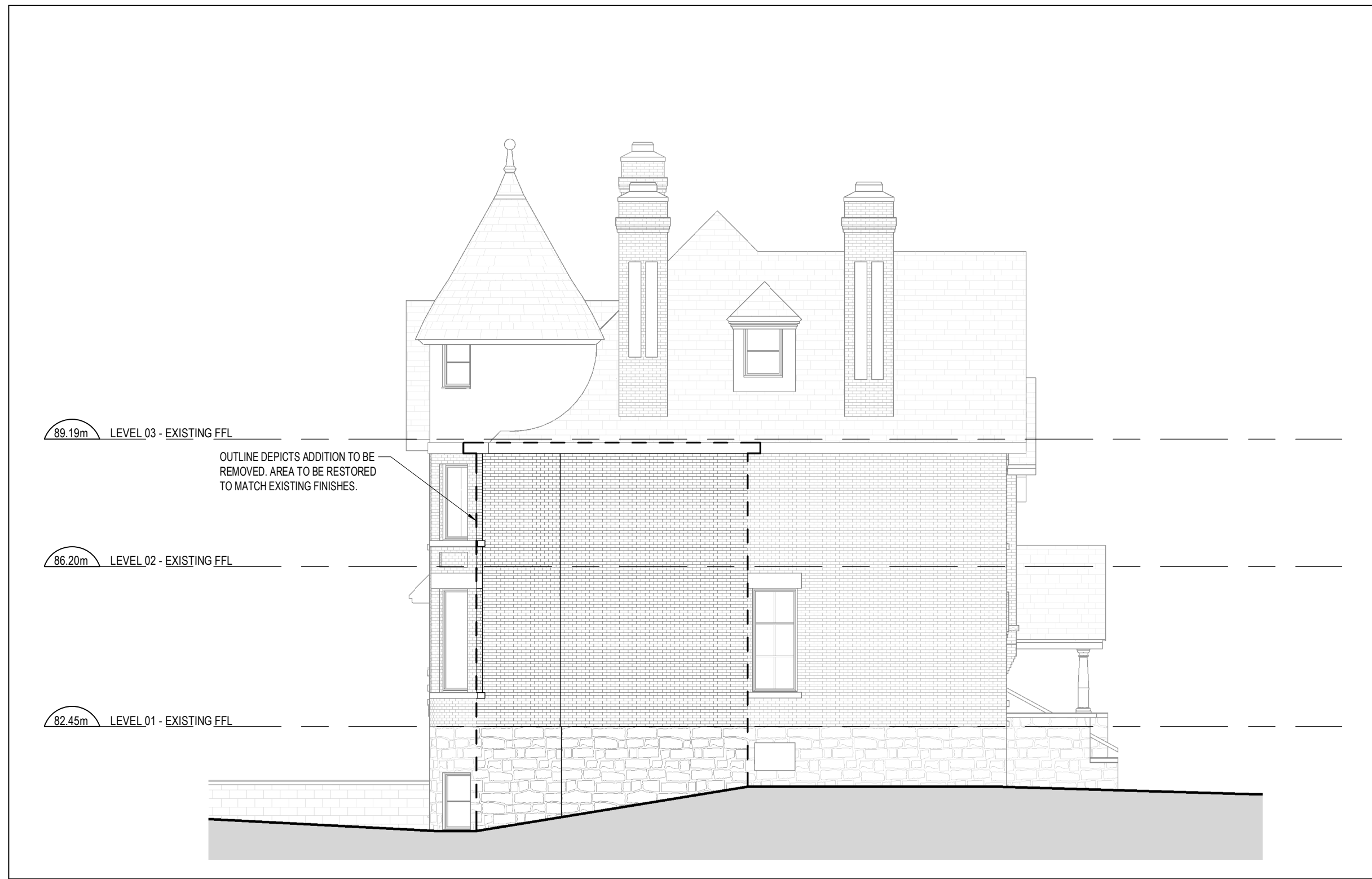
PROJ	SCALE	DRAWN	REVIEWED
2318	NOTED	BH	JH

ELEVATIONS

A201



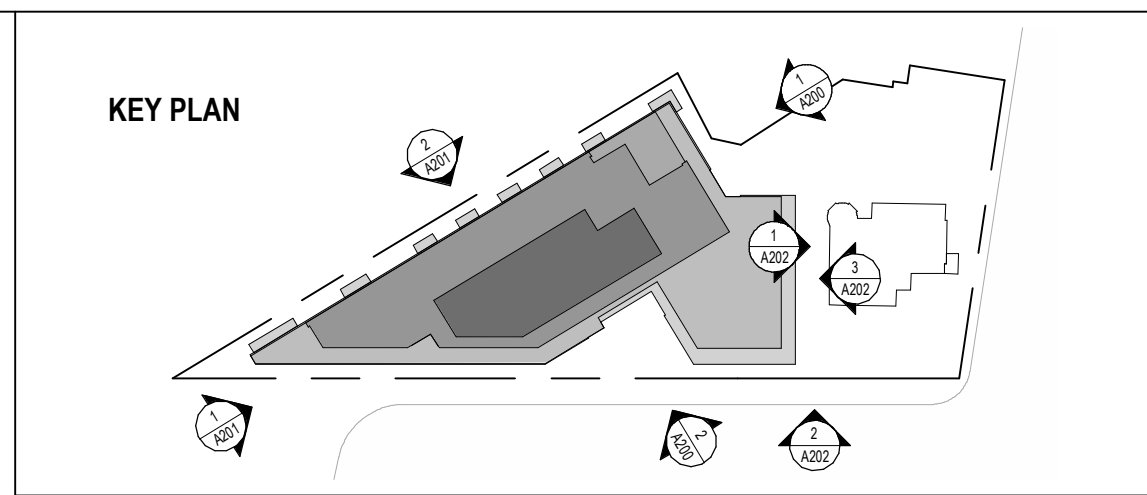
3 NORTHEAST PARTIAL ELEVATION
A202 SCALE: 1 : 100



1 WEST ELEVATION - ANDREW FLECK HOUSE
A202 SCALE: 1 : 100



2 SOUTHEAST PARTIAL ELEVATION
A202 SCALE: 1 : 100



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ELEVATIONS

A202