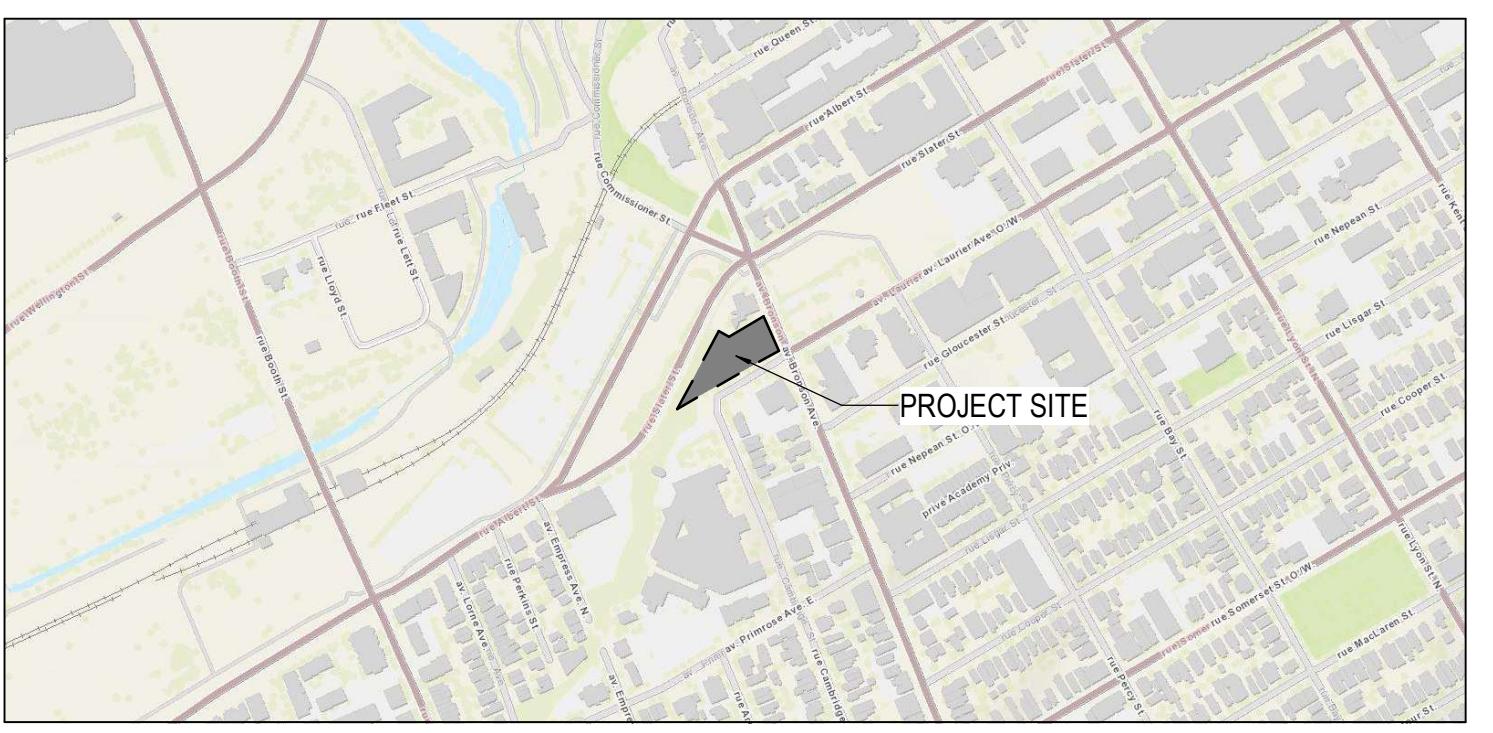
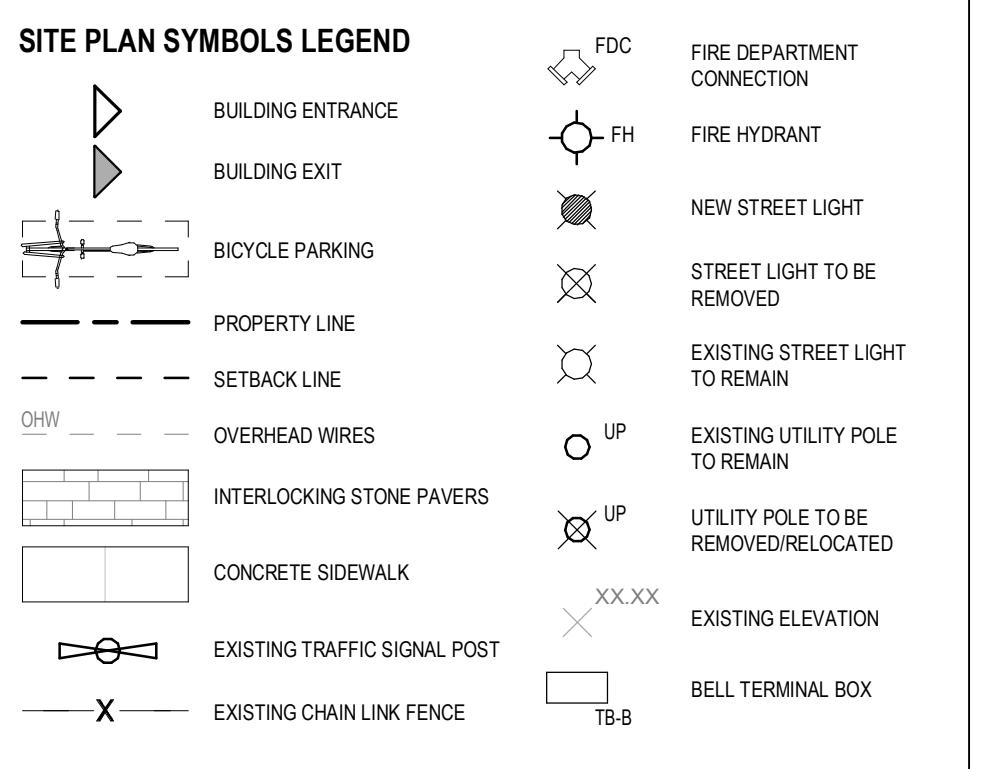


Site Statistics		
Current Zoning Designation:		
Total Lot Area:	2,843.2m ²	R4UD & RSQ (263) S429 - Residential Fifth Density Zone
Average Existing Grade:	78.600	
Gross Floor Area:	29,859.5m ²	
Proposed Development - 28 Storey High-Rise Apartment Building		
No. of units: 326 Units		
Zoning Mechanism	Required	Provided
Minimum Lot Width	18m	40m
Table 1644		
Minimum Lot Area	450m ²	2,843.2m ²
Table 1644		
Min. Front Yard Setback	3m (Bronson Avenue)	4.075m
Table 1644		
Min. Corner Side Yard Setback	3m (Laurier Avenue)	2m
Table 1644		
Min. Interior Side Yard Setback	If located within 2m of the front lot line: 1.5m If located further than 2m from the front lot line: 6m	2.3m from level 1 up to level 7
Table 1644		
Min. Rear Yard Setback	25% of the lot depth but need not exceed 7.5 metres	0.8m below Level 1 2.8m above Level 1
Table 1644		
Maximum Building Height	9 storeys (23m)	28 storeys (87.7m)
S. Schedule 429		
Minimum Landscaped Area	853.0m ²	970.3m ² (34%)
S. 163 (9)		Min. 30% of Lot Area
Permitted Projections into Required Yards	Maximum Size and Extent of Projection: 2 metres, but no closer than 1 metre from any lot line.	Max 2m, minimum 1m from lot line
Table 65 (6)(c)		
Parking Space Rates	141 Spaces 0 spaces for the first 12 units - Section 101(3) 0.5 spaces/unit for 314 units - Table 101(R12)(II) 10% Section 101(6)	71 Spaces
101 (Sch. 1A - Area X)		
Minimum Visitor Parking Rates	31 Spaces 0 spaces for first 12 units - Section 102(2) 0.1 spaces/unit for 314 units - Table 102	31 Spaces
102 (Sch. 1A - Area X)		
Bicycle Parking Rates	163 Spaces 0.5 spaces/unit for 326 units (111A(6)(j))	326 Spaces
Table 111A (Sch. 1 - Area B)		
Bicycle Parking Access	Minimum Aisle Width: 1.5m	1.5m
S. 111 (6)		
Bicycle Parking Space Dimensions	Length: 1.8m Width (Stacked): 0.37m (S. 111 B8)	Length: 1.8m Width: 0.37m
Table 111B & 111(B8)		
Total Amenity Area	1,956m ²	2,014m ²
Table 1374(II)		6m ² / unit for 326 units
Communal Amenity Area	978m ²	992m ²
Table 1374(II)		Min. 50% of Total Amenity Area

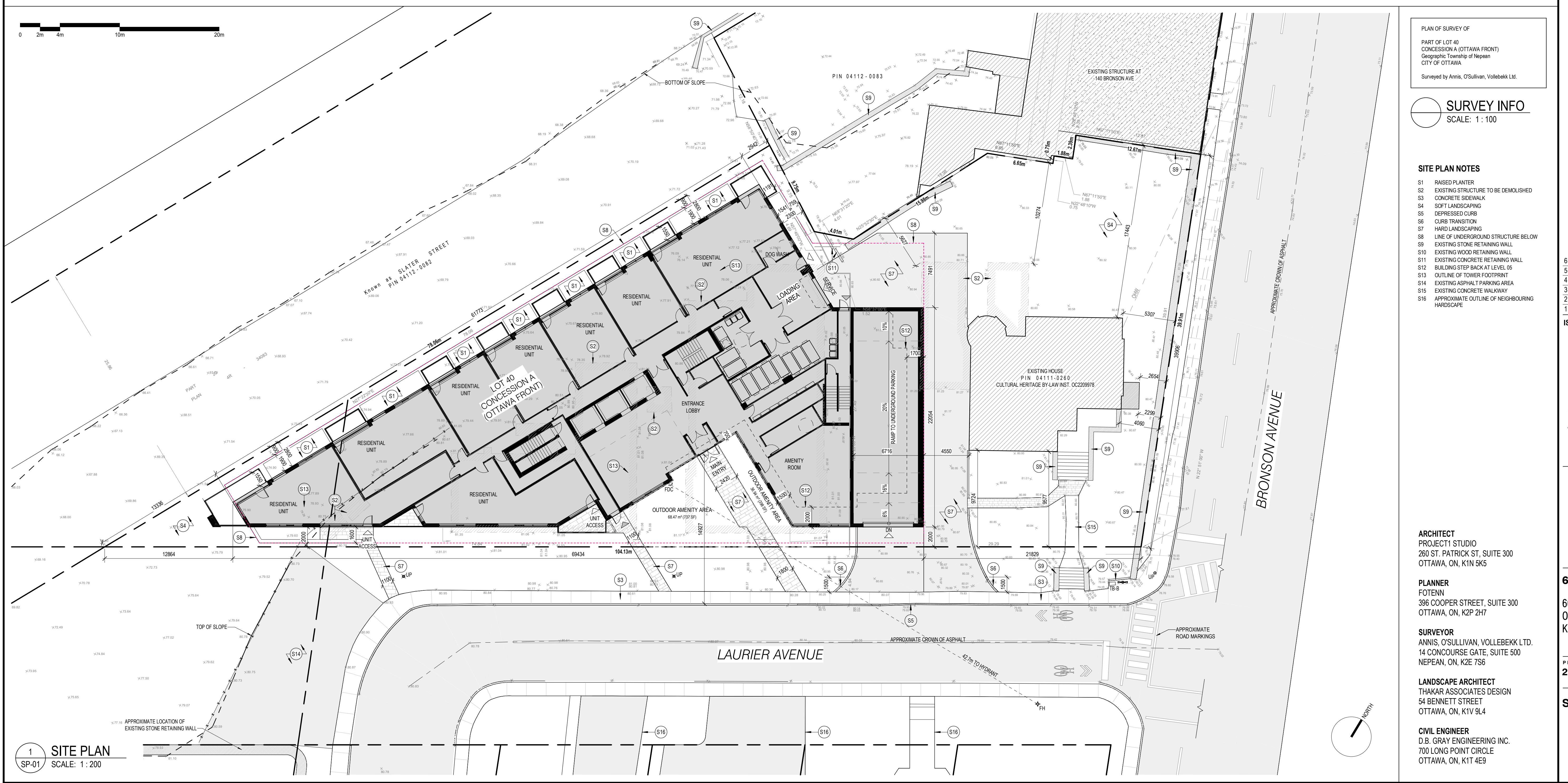
UNIT COUNT		
NAME	TOTAL COUNT	PERCENTAGE
1-BED	173	53%
1-BED + DEN	40	12%
2-BED	80	25%
2-BED + DEN	7	2%
STUDIO	26	8%
TOTAL	326	100%



2
SP-01
LOCATION PLAN
SCALE: NTS

GENERAL ARCHITECTURAL NOTES:

- This drawing is the property of the Architect and may not be reproduced or used without the express consent of the Architect.
- Drawings are not to scale. The Contractor is responsible for checking and verifying the dimensions and locations of all proposed items and discrepancies to the Architect and obtain clarification prior to commencing work.
- Upon notice in writing the Architect will provide written/graphic clarification or supplementary information regarding the intent of Contract Documents.
- The Architect's drawings are to be read in conjunction with all other Contract Documents including the Building, Mechanical and Structural, Mechanical and Electrical Drawings.
- Positions of proposed or installed Mechanical or Electrical equipment, piping and fixtures are to be shown on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings.
- Mechanical and Electrical items not clearly located will be located as directed by the Architect.
- These documents are not to be used for construction unless specifically noted for such purpose.



GENERAL ARCHITECTURAL NOTES:

- This drawing is the property of the Architect and may not be reproduced or used without the express consent of the Architect.
- Drawings are not to be scaled. The Contractor is responsible for checking and verifying the dimensions and locations of all items and all discrepancies to the Architect and obtain clarification prior to commencing work.
- Upon notice in writing the Architect will provide written/graphic clarification or supplementary information regarding the intent of Contract Documents.
- No part of these drawings shall be used in conjunction with all other Contract Documents including, but not limited to, Mechanical and Structural, Mechanical Electrical Drawings, or related Mechanical or Electrical drawings. Items and locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
- These documents are not to be used for construction unless specifically noted for such purpose.

		UNIT COUNT																											
1-BED	173	53%	4	8	8	8	8	8	3	6	6	6	6	6	6	6	6	6	6	6	6	6	6	6	6	6	6	6	1
1-BED + DEN	40	12%	1	4	4	4	3	3	0	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
2-BED	80	25%	1	3	3	3	3	3	2	2	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3
2-BED + DEN	7	2%	2	1	1	1	1	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
STUDIO	26	8%	0	1	1	1	1	1	0	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
TOTAL	326	100%	8	17	17	17	16	16	5	10	11	11	11	11	11	11	11	11	11	11	11	11	11	11	11	11	11	11	11

PARKING SCH. (VEHICLE)	
TYPE	COUNT
LEVEL P1	6
RESIDENT	6
VISITOR	28
LEVEL P2	31
RESIDENT	31
VISITOR	3
LEVEL P3	34
RESIDENT	34
TOTAL	102

PARKING SCH. (BICYCLE)	
TYPE	COUNT
LEVEL P3	326
STACKED HORIZONTAL (370 x 1800mm)	326
TOTAL	326

GROSS FLOOR AREA		RENTABLE AREA (RESIDENTIAL)		AMENITY SCH. (PRIVATE)		AMENITY SCH. (COMMUNAL)			
LEVEL	AREA	AREA (SF)	LEVEL	AREA	AREA (SF)	LEVEL	NAME	AREA	AREA (SF)
LEVEL P3	1,695.65 m ²	18,292 SF	LEVEL 1	560.14 m ²	6,029 SF	LEVEL 1	75.34 m ²	811 SF	
LEVEL P2	1,695.65 m ²	18,292 SF	LEVEL 2	1,072.22 m ²	11,541 SF	LEVEL 2	84.35 m ²	908 SF	
LEVEL P1	1,695.65 m ²	18,292 SF	LEVEL 3	1,072.22 m ²	11,541 SF	LEVEL 3	84.35 m ²	908 SF	
LEVEL 1	1,274.52 m ²	13,719 SF	LEVEL 4	1,072.22 m ²	11,541 SF	LEVEL 4	84.35 m ²	908 SF	
LEVEL 2	1,242.57 m ²	13,375 SF	LEVEL 5	1,006.87 m ²	10,838 SF	LEVEL 5	136.58 m ²	1,470 SF	
LEVEL 3	1,242.57 m ²	13,375 SF	LEVEL 6	1,006.87 m ²	10,838 SF	LEVEL 6	80.70 m ²	869 SF	
LEVEL 4	1,242.57 m ²	13,375 SF	LEVEL 7	944.00 m ²	10,156 SF	LEVEL 7	101.00 m ²	1,085 SF	
LEVEL 5	1,174.81 m ²	12,646 SF	LEVEL 8	593.44 m ²	6,426 SF	LEVEL 8	134.11 m ²	144 SF	
LEVEL 6	1,174.81 m ²	12,646 SF	LEVEL 9	675.18 m ²	7,268 SF	LEVEL 9	22.75 m ²	245 SF	
LEVEL 7	784.96 m ²	8,449 SF	LEVEL 10	675.18 m ²	7,268 SF	LEVEL 10	21.78 m ²	234 SF	
LEVEL 8	778.84 m ²	8,383 SF	LEVEL 11	675.18 m ²	7,268 SF	LEVEL 11	22.75 m ²	245 SF	
LEVEL 9	777.64 m ²	8,370 SF	LEVEL 12	675.18 m ²	7,268 SF	LEVEL 12	21.78 m ²	234 SF	
LEVEL 10	777.64 m ²	8,370 SF	LEVEL 13	675.18 m ²	7,268 SF	LEVEL 13	22.75 m ²	245 SF	
LEVEL 11	777.64 m ²	8,370 SF	LEVEL 14	675.18 m ²	7,268 SF	LEVEL 14	21.78 m ²	234 SF	
LEVEL 12	777.64 m ²	8,370 SF	LEVEL 15	675.18 m ²	7,268 SF	LEVEL 15	22.75 m ²	245 SF	
LEVEL 13	777.64 m ²	8,370 SF	LEVEL 16	675.18 m ²	7,268 SF	LEVEL 16	21.78 m ²	234 SF	
LEVEL 14	777.64 m ²	8,370 SF	LEVEL 17	675.18 m ²	7,268 SF	LEVEL 17	22.75 m ²	245 SF	
LEVEL 15	777.64 m ²	8,370 SF	LEVEL 18	675.18 m ²	7,268 SF	LEVEL 18	21.78 m ²	234 SF	
LEVEL 16	777.64 m ²	8,370 SF	LEVEL 19	675.18 m ²	7,268 SF	LEVEL 19	22.75 m ²	245 SF	
LEVEL 17	777.64 m ²	8,370 SF	LEVEL 20	675.18 m ²	7,268 SF	LEVEL 20	21.78 m ²	234 SF	
LEVEL 18	777.64 m ²	8,370 SF	LEVEL 21	675.18 m ²	7,268 SF	LEVEL 21	22.75 m ²	245 SF	
LEVEL 19	777.64 m ²	8,370 SF	LEVEL 22	675.18 m ²	7,268 SF	LEVEL 22	21.78 m ²	234 SF	
LEVEL 20	777.64 m ²	8,370 SF	LEVEL 23	675.18 m ²	7,268 SF	LEVEL 23	22.75 m ²	245 SF	
LEVEL 21	777.64 m ²	8,370 SF	LEVEL 24	675.18 m ²	7,268 SF	LEVEL 24	21.78 m ²	234 SF	
LEVEL 22	777.64 m ²	8,370 SF	LEVEL 25	675.18 m ²	7,268 SF	LEVEL 25	22.75 m ²	245 SF	
LEVEL 23	777.64 m ²	8,370 SF	LEVEL 26	675.18 m ²	7,268 SF	LEVEL 26	21.78 m ²	234 SF	
LEVEL 24	777.64 m ²	8,370 SF	LEVEL 27	675.18 m ²	7,268 SF	LEVEL 27	22.75 m ²	245 SF	
LEVEL 25	777.64 m ²	8,370 SF	LEVEL 28	675.18 m ²	7,268 SF	LEVEL 28	21.78 m ²	234 SF	
LEVEL 26	777.64 m ²	8,370 SF	TOTAL	20,237.56 m ²	217,835 SF	TOTAL	1,022.03 m ²	11,001 SF	
LEVEL 27	777.64 m ²	8,370 SF							
LEVEL 28	777.64 m ²	8,370 SF							
PENTHOUSE	304.14 m ²	3,274 SF							
TOTAL	29,859.47 m ²	32,140 SF							

PARKING SCH. (VEHICLE)

PARKING SCH. (BICYCLE)

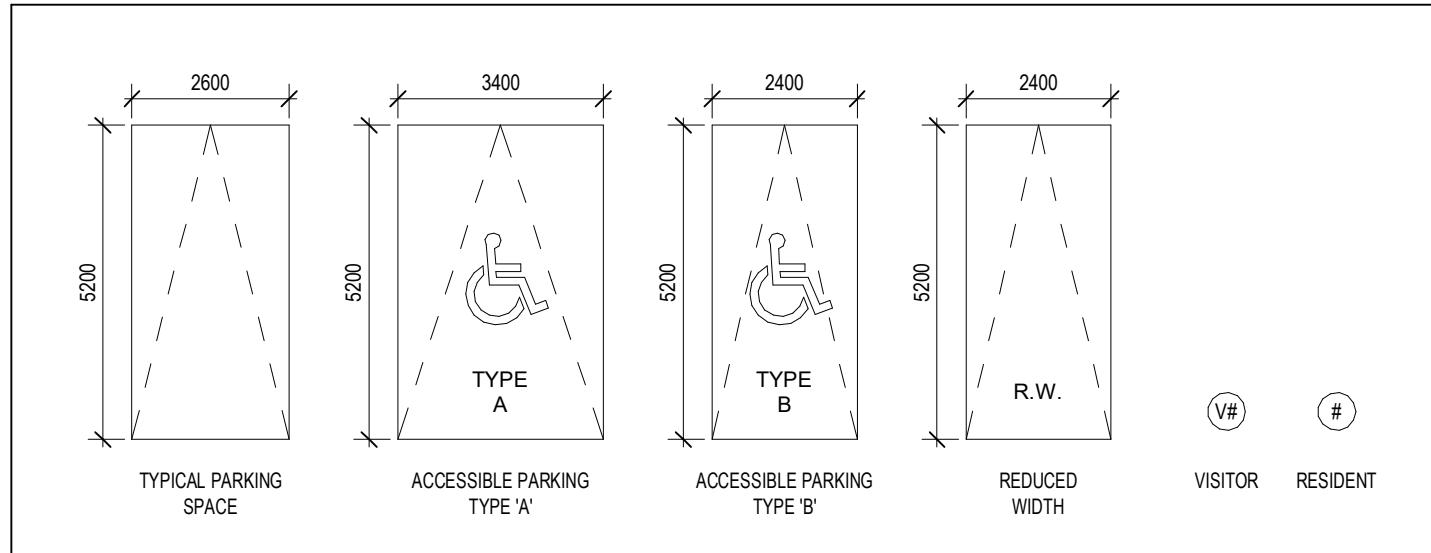
AMENITY SCH. (COMMUNAL)

AMENITY SCH. (PRIVATE)

RENTABLE AREA (RESIDENTIAL)

GROSS FLOOR AREA

6 REISSUED FOR ZBLA 2025-09-16
 5 REISSUED FOR ZBLA 2025-03-21
 3 ISSUED FOR ZBLA 2024-10-18
 2 ISSUED FOR COORDINATION 2024-08-09
 1 ISSUED FOR CITY REVIEW 2024-04





PARKING LEGEND

SCALE: 1 : 125

SCALE: 1 : 125

FLOOR/ROOF PLAN NOTES

1 GLASS JULIETTE BALCONIES ON WEST ELEVATION. TYPICAL
2 RAILING AT PERIMETER OF LEVEL 7 AND 8 AMENITY TERRACE
TO BE 1.8m HIGH ABOVE PAVER HEIGHT AND BE CONSTRUCTED
AS A NOISE BARRIER (STC 30 MIN.) REFER TO NOISE STUDY.

1. ARCHITECTURAL NOTES:

This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.

Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

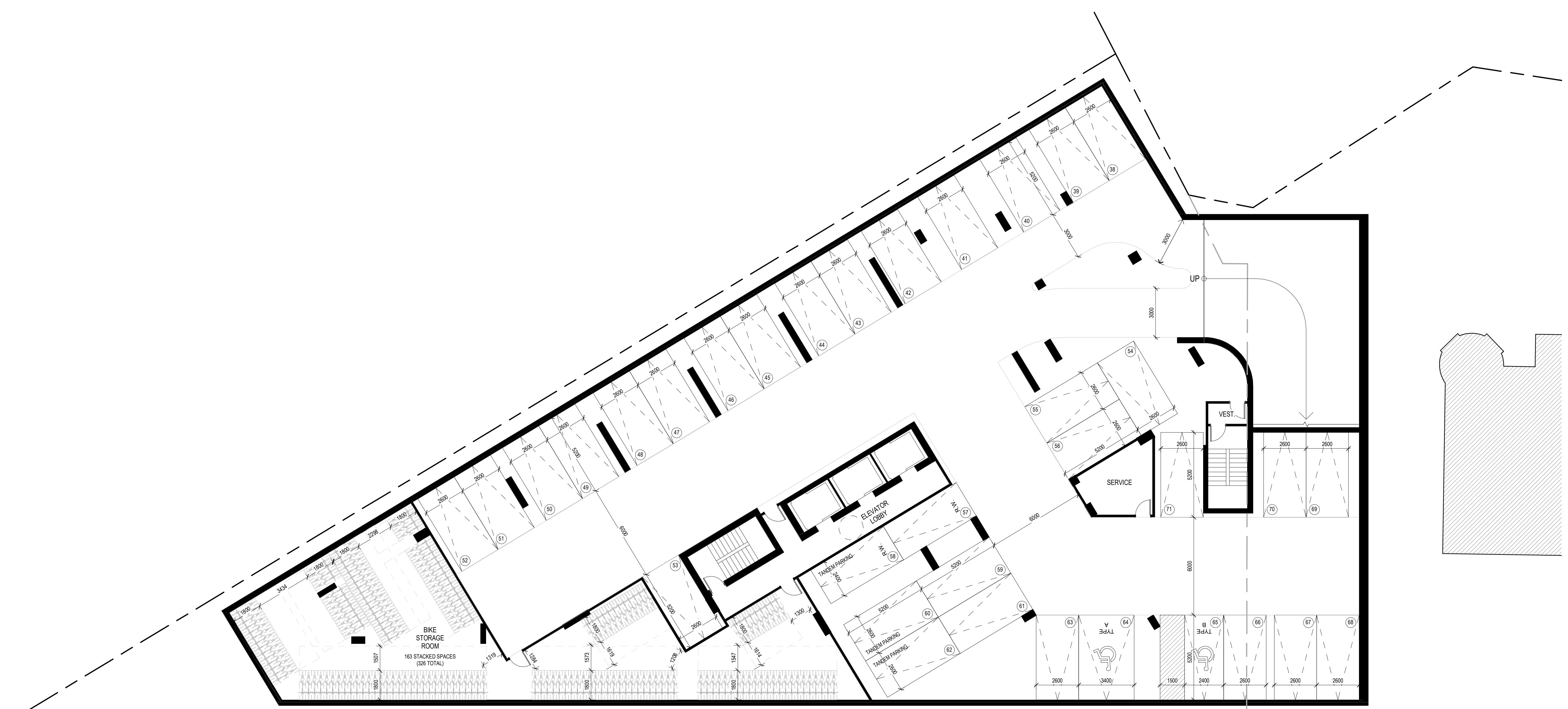
Upon notice in writing, the Architect will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents.

The Architectural drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.

Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings.

Mechanical and Electrical items not clearly located will be located as directed by the Architect.

These documents are not to be used for construction unless specifically noted for such purpose.



REISSUED FOR ZBLA	2025-09-16
REISSUED FOR ZBLA	2025-03-21
ISSUED FOR ZBLA	2024-10-18
ISSUED FOR COORDINATION	2024-08-09
ISSUED FOR CITY REVIEW	2024-04-29

ISSUE RECORD



project11 studio

Project1 Studio Incorporated
613.884.3939 | mail@project1studio.ca

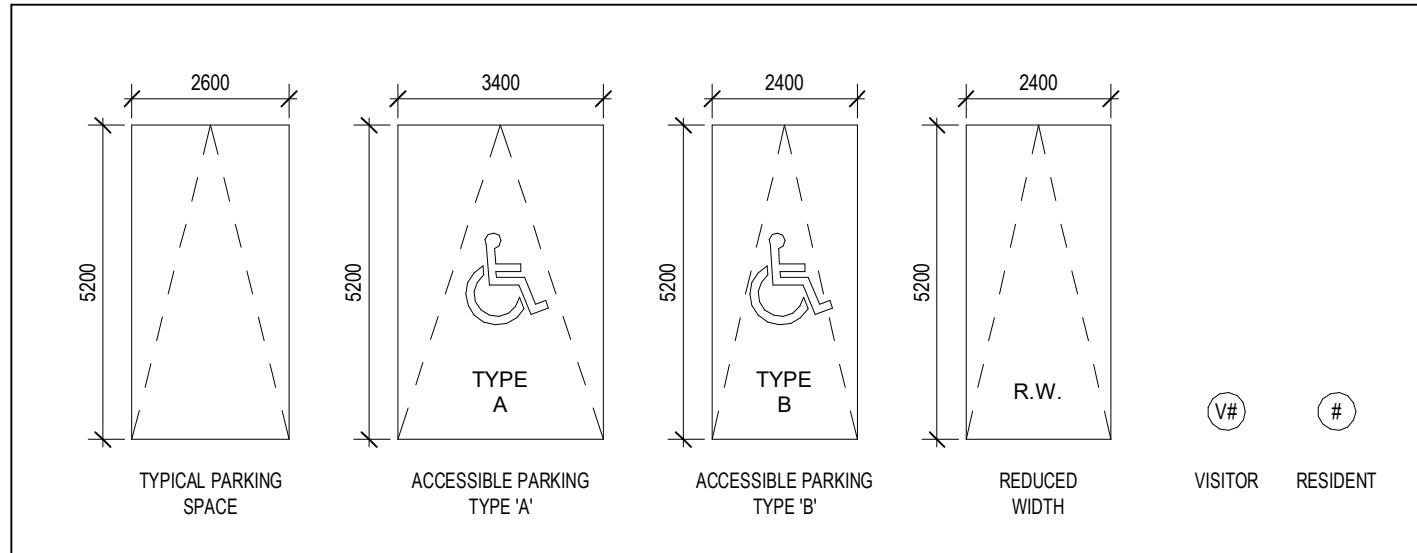
2025 RELEASE UNDER E.O. 14176

Laurier Avenue
Ottawa, ON
K1A 6K9

PROJ SCALE DRAWN REVIEWED
2318 **NOTED** **BH** **JH**

FLOOR PLAN LEVEL P3

A100a





PARKING LEGEND

SCALE: 1 : 125

SCALE: 1 : 125

FLOOR/ROOF PLAN NOTES

1 GLASS JULIETTE BALCONIES ON WEST ELEVATION. TYPICAL
2 RAILING AT PERIMETER OF LEVEL 7 AND 8 AMENITY TERRACE
TO BE 1.8m HIGH ABOVE PAVER HEIGHT AND BE CONSTRUCTED
AS A NOISE BARRIER (STC 30 MIN.) REFER TO NOISE STUDY.

1. ARCHITECTURAL NOTES:

This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.

Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

Upon notice in writing, the Architect will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents.

The Architectural drawings are to be read in conjunction with all other Contract documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.

Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings.

Mechanical and Electrical items not clearly located will be located as directed by the Architect.

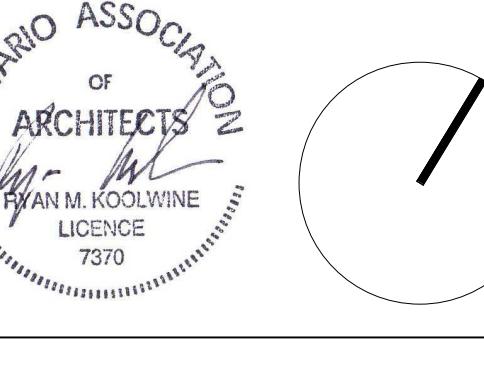
These documents are not to be used for construction unless specifically noted for such purpose.



REISSUED FOR ZBLA	2025-09-16
REISSUED FOR ZBLA	2025-03-21
ISSUED FOR ZBLA	2024-10-18
ISSUED FOR COORDINATION	2024-08-09
ISSUED FOR OUT-OF-TERM	2024-04-26

ISSUED FOR CITY R

ISSUE RECORD



project 11

studio

Project1 Studio Incorporated

| 613.884.3939 | mail@project1studio.ca

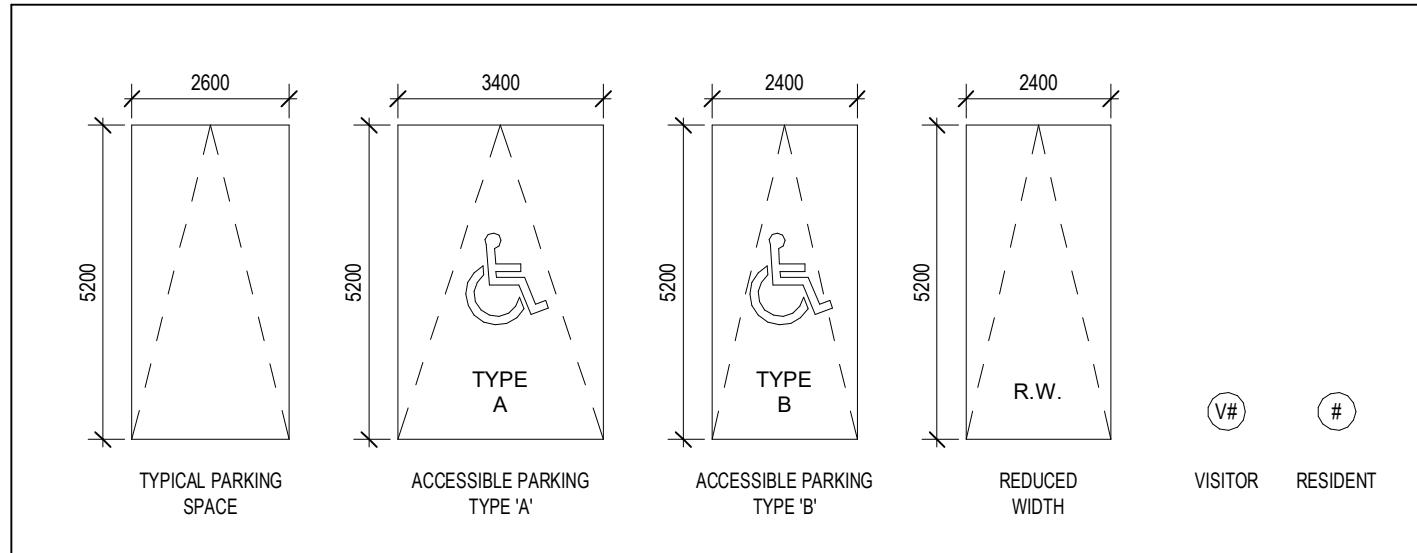
LAURIER

601 Laurier Avenue
Ottawa, ON
K1B 6K9

1 SCALE DRAWN REVIEWED
8 NOTED BH JH

FLOOR PLAN LEVEL P2

A100b



 PARKING LEGEND

SCALE: 1 : 125

FLOOR/ROOF PLAN NOTES

P1 GLASS JULIETTE BALCONIES ON WEST ELEVATION. TYPICAL
P2 RAILING AT PERIMETER OF LEVEL 7 AND 8 AMENITY TERRACE
TO BE 1.8m HIGH ABOVE PAVER HEIGHT AND BE CONSTRUCTED
AS A NOISE BARRIER (STC 30 MIN.) REFER TO NOISE STUDY.

1. ARCHITECTURAL NOTES:

This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.

Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

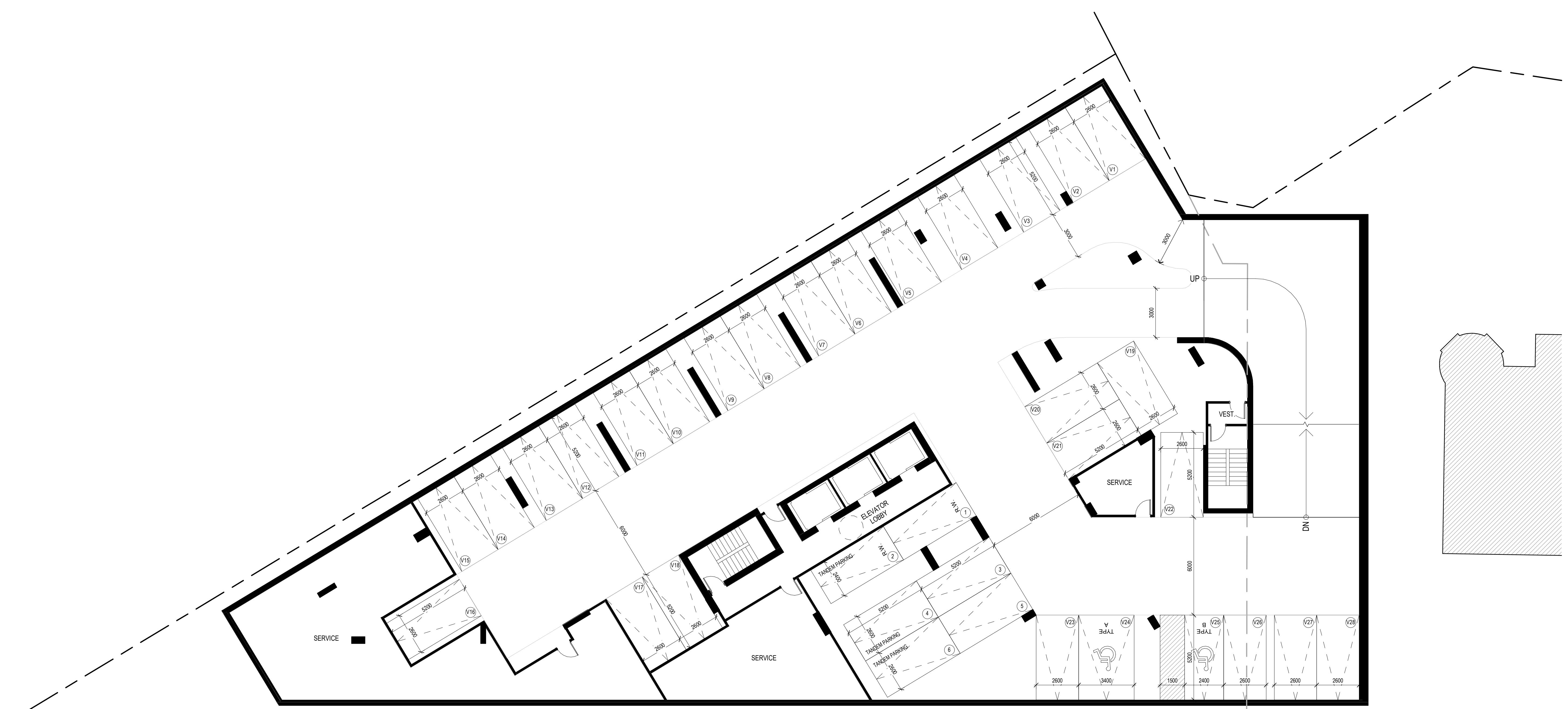
Upon notice in writing, the Architect will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents.

The Architectural drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.

Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings.

Mechanical and Electrical items not clearly located will be located as directed by the Architect.

These documents are not to be used for construction unless specifically noted for such purpose.



REISSUED FOR ZBLA	2025-09-16
REISSUED FOR ZBLA	2025-03-21
ISSUED FOR ZBLA	2024-10-18
ISSUED FOR COORDINATION	2024-08-09
ISSUED FOR CITY REVIEW	2024-04-29

ISSUE RECORD



project11 studio

Project1 Studio Incorporated

| 613.884.3939 | mail@project1studio.ca

LAURIER

601 Laurier Avenue
Ottawa, ON
K1B 6K9

PROJ SCALE DRAWN REVIEWED
2318 **NOTED** **BH** **JH**

FLOOR PLAN LEVEL P1

A100c

GENERAL ARCHITECTURAL NOTES:

- This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
- Drawings are not to be scaled. The Contractor is responsible for checking and verifying the dimensions and locations of all items and all discrepancies to the Architect and obtain clarification prior to commencing work.
- Upon notice in writing the Architect will provide written/graphic clarification or supplementary information regarding the intent of Contract Documents.
- The Architect's drawings are to be used in conjunction with all other Contract Documents including, but not limited to, the General, Mechanical, Electrical, Structural, Mechanical and Electrical Drawings.
- Positions of exposed or finished Mechanical or Electrical items, fittings and fixtures shall be indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
- These documents are not to be used for construction unless specifically noted for such purpose.

FLOOR/ROOF PLAN NOTES

P1 GLASS JULIETTE BALCONIES ON WEST ELEVATION TYPICAL
 P2 RAILING AT PERIMETER OF LEVEL 7 AND 8 AMENITY TERRACE TO BE 1.8m HIGH ABOVE PAVER HEIGHT AND BE CONSTRUCTED AS A NOISE BARRIER (STC 30 MIN.) REFER TO NOISE STUDY.



6 REISSUED FOR ZBLA 2025-09-16
 5 REISSUED FOR ZBLA 2025-03-21
 3 ISSUED FOR ZBLA 2024-10-18
 2 ISSUED FOR COORDINATION 2024-08-09
 1 ISSUED FOR CITY REVIEW 2024-04-29

ISSUE RECORD



project1
studio

Project1 Studio Incorporated

| 613.884.3939 | mail@project1studio.ca

601 LAURIER

601 Laurier Avenue
Ottawa, ON
K1R 6K9

PROJ SCALE DRAWN REVIEWED
 2318 NOTED BH JH

FLOOR PLAN LEVEL 1

GENERAL ARCHITECTURAL NOTES:

- This drawing is the property of the Architect and may not be reproduced or used without the express consent of the Architect.
- Drawings are not to be scaled. The Contractor is responsible for checking and adjusting the dimensions and locations of all items and discrepancies to the Architect and obtain clarification prior to commencing work.
- Upon notice in writing the Architect will provide written/graphic clarification or supplementary information regarding the intent of Contract Documents.
- The Architect's drawings are to be used in conjunction with all other Contract Documents including, but not limited to, General, Mechanical, Structural, Electrical Drawings.
- Positions of exposed or installed Mechanical or Electrical items, fittings and fixtures are to be indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
- These documents are not to be used for construction unless specifically noted for such purpose.

FLOOR/ROOF PLAN NOTES

P1 GLASS JULIETTE BALCONIES ON WEST ELEVATION TYPICAL
P2 RAILING AT PERIMETER OF LEVEL 7 AND 8 AMENITY TERRACE
TO BE 1.8m HIGH ABOVE PAVER HEIGHT AND BE CONSTRUCTED
AS A NOISE BARRIER (STC 30 MIN.) REFER TO NOISE STUDY.



GENERAL ARCHITECTURAL NOTES:

- This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
- Drawings are not to be scaled. The Contractor is responsible for checking and verifying the dimensions and locations of all items and discrepancies to the Architect and obtain clarification prior to commencing work.
- Upon notice in writing the Architect will provide written/graphic clarification or supplementary information regarding the intent of Contract Documents.
- The Architect's drawings are to be used in conjunction with all other Contract Documents including, but not limited to, Mechanical and Structural, Mechanical, Electrical Drawings.
- Positions of proposed or installed Mechanical or Electrical items, fittings and fixtures are to be shown on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
- These documents are not to be used for construction unless specifically noted for such purpose.

FLOOR/ROOF PLAN NOTES

P1 GLASS JULIETTE BALCONIES ON WEST ELEVATION TYPICAL
P2 RAILING AT PERIMETER OF LEVEL 7 AND 8 AMENITY TERRACE
TO BE 1.8m HIGH ABOVE PAVER HEIGHT AND BE CONSTRUCTED
AS A NOISE BARRIER (STC 30 MIN.) REFER TO NOISE STUDY.



6 REISSUED FOR ZBLA 2025-09-16
5 REISSUED FOR ZBLA 2025-03-21
3 ISSUED FOR ZBLA 2024-10-18
2 ISSUED FOR COORDINATION 2024-08-09
1 ISSUED FOR CITY REVIEW 2024-04-29

ISSUE RECORD



project1
studio

Project1 Studio Incorporated

| 613.884.3939 | mail@project1studio.ca

601 LAURIER

601 Laurier Avenue
Ottawa, ON
K1R 6K9

PROJ SCALE DRAWN REVIEWED
2318 NOTED BH JH

FLOOR PLAN LEVEL 5 - 6

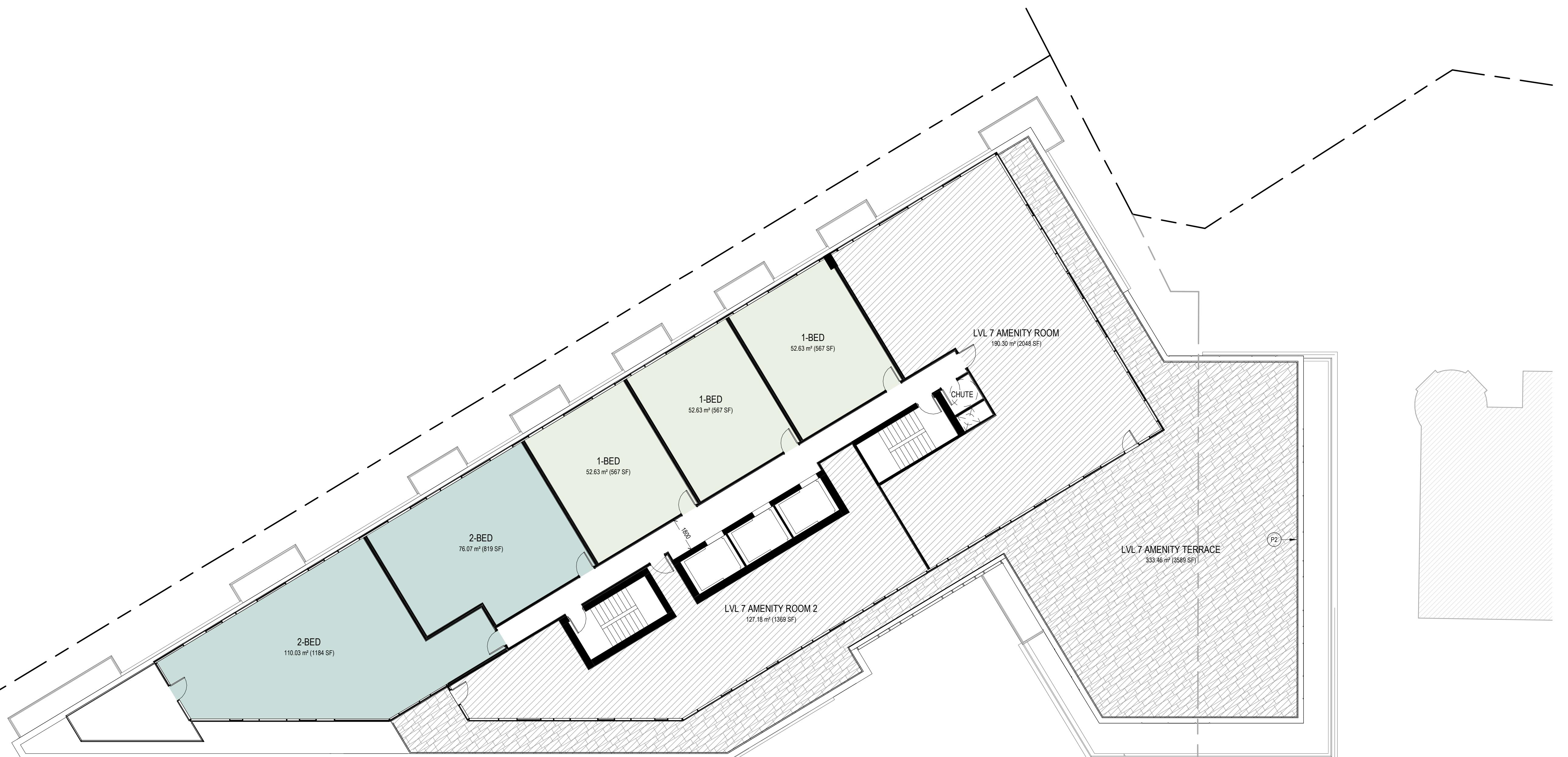
A103

GENERAL ARCHITECTURAL NOTES:

- This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
- Drawings are not to be scaled. The Contractor is responsible for checking and adjusting the drawings to suit the specific needs of the project and all discrepancies to be resolved with the Architect and obtain clarification prior to commencing work.
- Upon notice in writing the Architect will provide written/graphic clarification or supplementary information regarding the intent of Contract Documents.
- The Architect's drawings are to be used in conjunction with all other Contract Documents including the General, Mechanical and Structural, Mechanical, Electrical Drawings.
- Positions of exposed or installed Mechanical or Electrical ducts, piping and insulation are to be indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
- These documents are not to be used for construction unless specifically noted for such purpose.

FLOOR/ROOF PLAN NOTES

P1 GLASS JULIETTE BALCONIES ON WEST ELEVATION TYPICAL
P2 RAILING AT PERIMETER OF LEVEL 7 AND 8 AMENITY TERRACE TO BE 1.8m HIGH ABOVE PAVER HEIGHT AND BE CONSTRUCTED AS A NOISE BARRIER (STC 30 MIN.) REFER TO NOISE STUDY.



6 REISSUED FOR ZBLA 2025-09-16
5 REISSUED FOR ZBLA 2025-03-21
3 ISSUED FOR ZBLA 2024-10-18
2 ISSUED FOR COORDINATION 2024-08-09
1 ISSUED FOR CITY REVIEW 2024-04-29

ISSUE RECORD



project1
studio

Project1 Studio Incorporated
| 613.884.3939 | mail@project1studio.ca

601 LAURIER

601 Laurier Avenue
Ottawa, ON
K1R 6K9

PROJ SCALE DRAWN REVIEWED
2318 NOTED BH JH

FLOOR PLAN LEVEL 7

A104

GENERAL ARCHITECTURAL NOTES:

1. This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
2. Drawings are not to be scaled. The Contractor is responsible for checking and verifying the dimensions of the building and its components and discrepancies to the Architect and obtain clarification prior to commencing work.
3. Upon notice in writing the Architect will provide written/graphic clarification or supplementary information regarding the intent of Contract Documents.
4. The Architect's drawings are to be used in conjunction with all other Contract Documents including, but not limited to, Architectural, Mechanical, Electrical Drawings.
5. Positions of exposed or finished Mechanical or Electrical ducts, piping and insulation are to be indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
6. These documents are not to be used for construction unless specifically noted for such purpose.

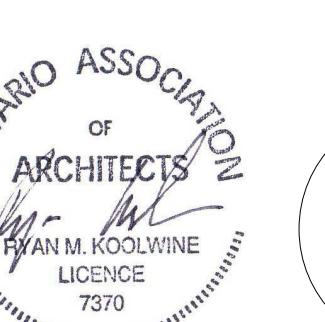
FLOOR/ROOF PLAN NOTES

P1 GLASS JULIETTE BALCONIES ON WEST ELEVATION TYPICAL
 P2 RAILING AT PERIMETER OF LEVEL 7 AND 8 AMENITY TERRACE TO BE 1.8m HIGH ABOVE PAVER HEIGHT AND BE CONSTRUCTED AS A NOISE BARRIER (STC 30 MIN) REFER TO NOISE STUDY.



6 REISSUED FOR ZBLA 2025-09-16
 5 REISSUED FOR ZBLA 2025-03-21
 3 ISSUED FOR ZBLA 2024-10-18
 2 ISSUED FOR COORDINATION 2024-08-09
 1 ISSUED FOR CITY REVIEW 2024-04-29

ISSUE RECORD



project1
studio

Project1 Studio Incorporated
(613) 884-3939 | mail@project1studio.ca

601 LAURIER

601 Laurier Avenue
Ottawa, ON
K1R 6K9

PROJ SCALE DRAWN REVIEWED
2318 NOTED BH JH

FLOOR PLAN LEVEL 8

A105

GENERAL ARCHITECTURAL NOTES:

- This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
- Drawings are not to be scaled. The Contractor is responsible for checking and verifying the dimensions of the building and its components and discrepancies to the Architect and obtain clarification prior to commencing work.
- Upon notice in writing the Architect will provide written/graphic clarification or supplementary information regarding the intent of Contract Documents.
- The Architect's drawings are to be used in conjunction with all other Contract Documents including, but not limited to, Architectural, Mechanical, Structural, Electrical Drawings.
- Positions of exposed or finished Mechanical or Electrical ducts, piping and insulation are to be indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings.
- Mechanical and Electrical items not clearly located will be located as directed by the Architect.
- These documents are not to be used for construction unless specifically noted for such purpose.

FLOOR/ROOF PLAN NOTES

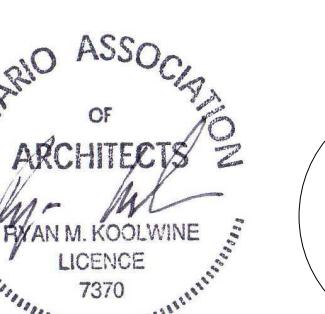
P1 GLASS JULIETTE BALCONIES ON WEST ELEVATION TYPICAL
 P2 RAILING AT PERIMETER OF LEVEL 7 AND 8 AMENITY TERRACE
 TO BE 1.8m HIGH ABOVE PAVER HEIGHT AND BE CONSTRUCTED
 AS A NOISE BARRIER (STC 30 MIN.) REFER TO NOISE STUDY.

TOWER FLOOR PLATE AREA:
 WITHOUT BALCONIES: 777m²
 WITH BALCONIES: 799m²



6 REISSUED FOR ZBLA 2025-09-16
 5 REISSUED FOR ZBLA 2025-03-21
 3 ISSUED FOR ZBLA 2024-10-18
 2 ISSUED FOR COORDINATION 2024-08-09
 1 ISSUED FOR CITY REVIEW 2024-04-29

ISSUE RECORD



project1
studio

Project1 Studio Incorporated

| 613.884.3939 | mail@project1studio.ca

601 LAURIER

601 Laurier Avenue
 Ottawa, ON
 K1R 6K9

PROJ SCALE DRAWN REVIEWED
 2318 NOTED BH JH

FLOOR PLAN LEVEL 9-28

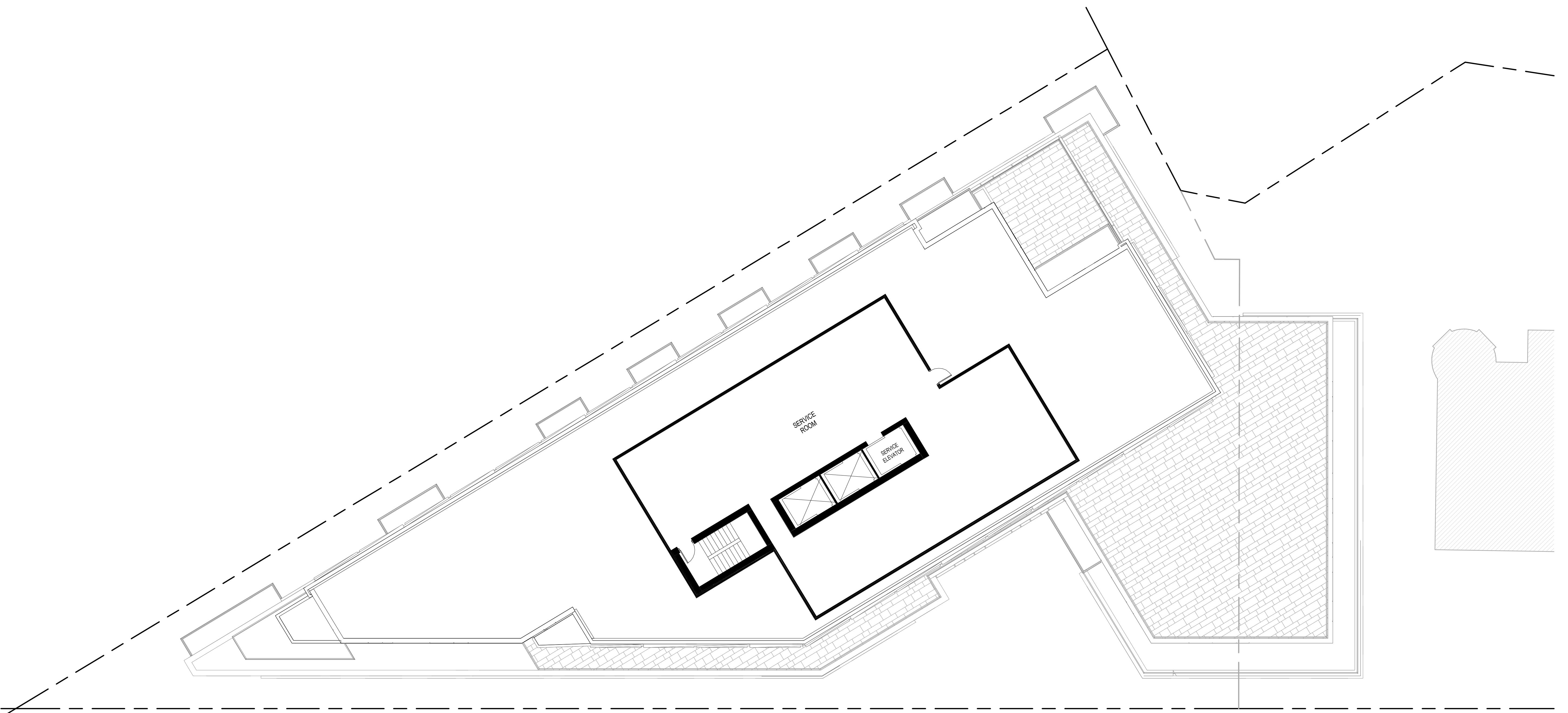
A106

GENERAL ARCHITECTURAL NOTES:

1. This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
2. Drawings are not to be scaled. The Contractor is responsible for checking and adjusting the dimensions and locations of all work to conform with all discrepancies to the Architect and obtain clarification prior to commencing work.
3. Upon notice in writing the Architect will provide written/graphic clarification or supplementary information regarding the intent of Contract Documents.
4. The Architect's drawings are to be read in conjunction with all other Contract Documents including, but not limited to, the General, Mechanical, Electrical, Structural, Mechanical and Electrical Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
5. Positions of exposed or installed Mechanical or Electrical ducts, piping and insulation are to be indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
6. These documents are not to be used for construction unless specifically noted for such purpose.

FLOOR/ROOF PLAN NOTES

P1 GLASS JULIETTE BALCONIES ON WEST ELEVATION TYPICAL
P2 RAILING AT PERIMETER OF LEVEL 7 AND 8 AMENITY TERRACE
TO BE 1.8m HIGH ABOVE PAVER HEIGHT AND BE CONSTRUCTED
AS A NOISE BARRIER (STC 30 MIN.) REFER TO NOISE STUDY.



6 REISSUED FOR ZBLA 2025-09-16
5 REISSUED FOR ZBLA 2025-03-21
3 ISSUED FOR ZBLA 2024-10-18
2 ISSUED FOR COORDINATION 2024-08-09
1 ISSUED FOR CITY REVIEW 2024-04-29

ISSUE RECORD



project1
studio

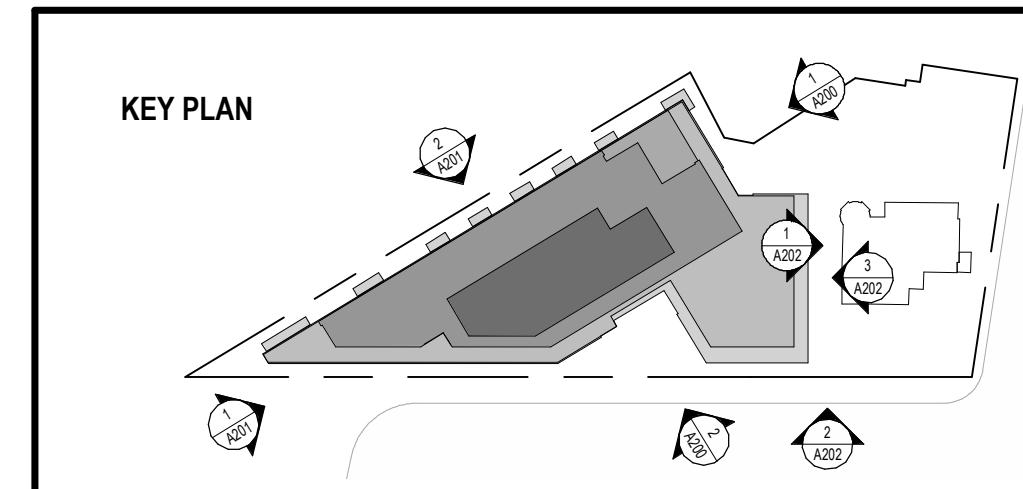
Project1 Studio Incorporated
(613) 884-3959 | mail@project1studio.ca

601 LAURIER
601 Laurier Avenue
Ottawa, ON
K1R 6K9

PROJ SCALE DRAWN REVIEWED
2318 NOTED BH JH

FLOOR PLAN - PENTHOUSE
LEVEL

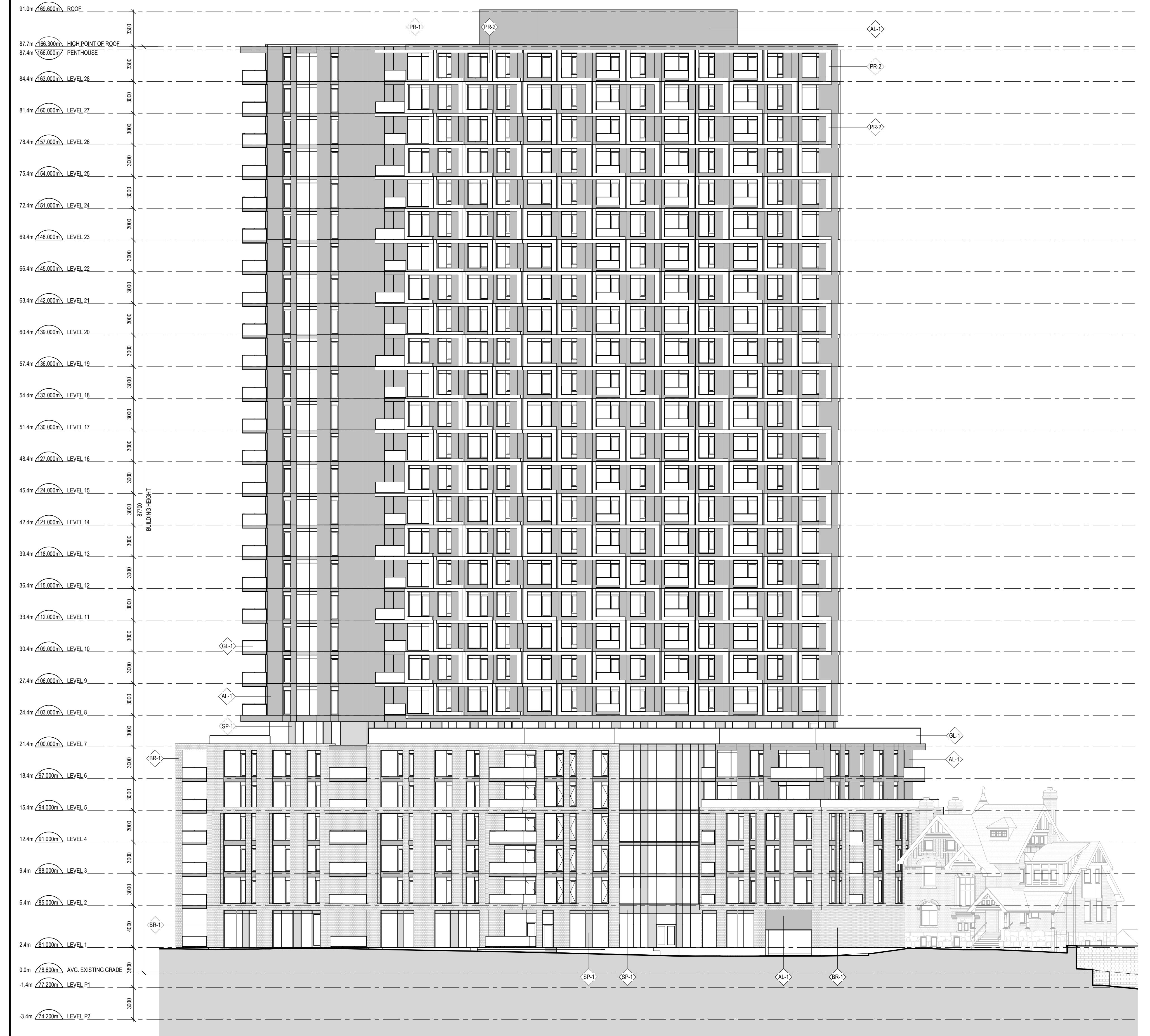
A107


CLADDING LEGEND:

	AL-1 ALUMINUM COMPOSITE PANEL DARK GREY		PR-1 PRECAST CONCRETE DARK GREY		GL-1 ALUMINUM AND GLASS RAILING		GL-2 ALUMINUM AND GLASS RAILING WITH REFLECTIVE FILM
	BR-1 RED/BROWN BRICK		PR-2 PRECAST CONCRETE NATURAL FINISH		SP-1 SPANDEL PANEL (DARK)		GL-3 ALUMINUM AND GLASS RAILING WITH BIRD-SAFE FRITTED DESIGN

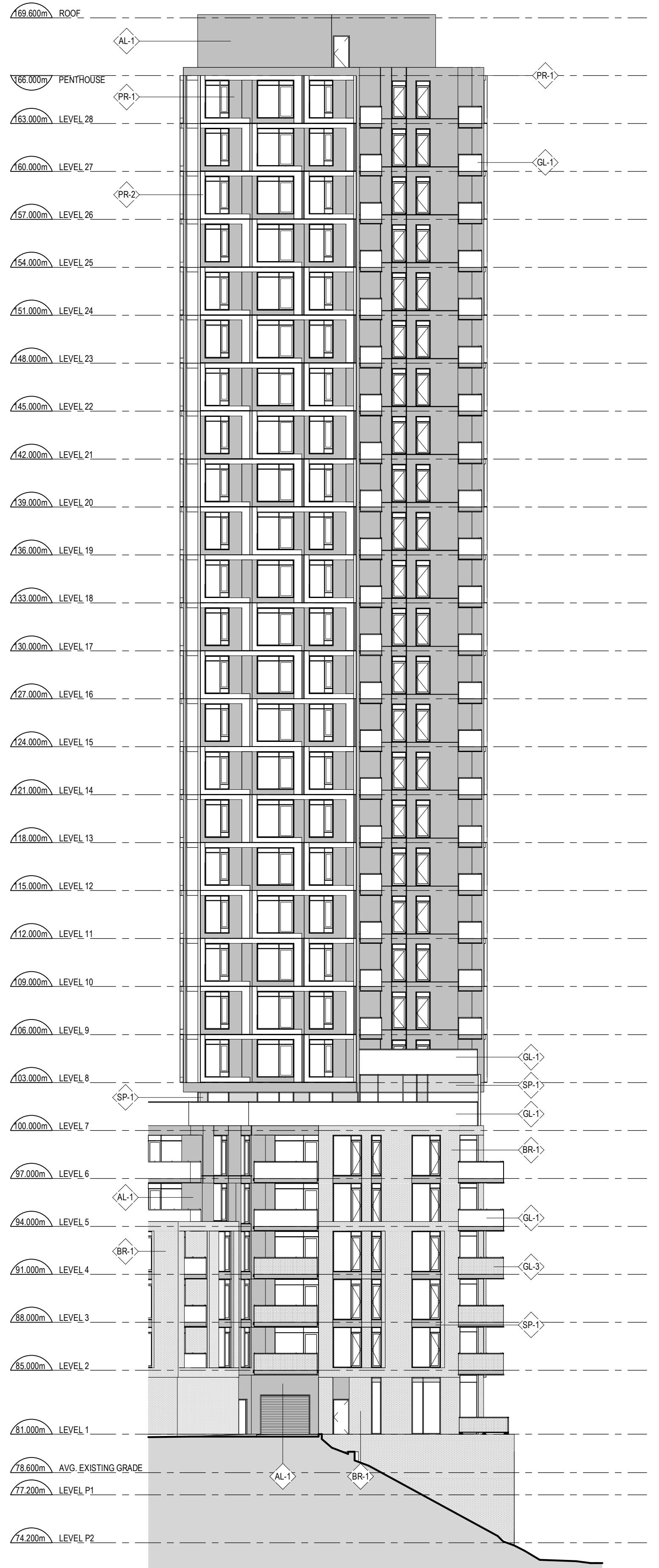
GENERAL ARCHITECTURAL NOTES:

- This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
- Drawings are not to be scaled. The Contractor is responsible for checking and verifying the dimensions and locations of all work and all discrepancies to the Architect and obtain clarification prior to commencing work.
- Upon notice in writing the Architect will provide written/graphic clarification or supplementary information regarding the intent of Contract Documents.
- The Architect's drawings are to be read in conjunction with all other Contract Documents including the General and Special Conditions, Mechanical and Electrical Drawings.
- Positions of exposed or finished Mechanical or Electrical ducts, piping and insulation are to be indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings.
- Mechanical and Electrical items not clearly located will be located as directed by the Architect.
- These documents are not to be used for construction unless specifically noted for such purpose.



2 EAST ELEVATION
A200

SCALE: 1:200



1 NORTH ELEVATION
A200

SCALE: 1:200

6 REISSUED FOR ZBLA 2025-09-16
5 REISSUED FOR ZBLA 2025-03-21
3 ISSUED FOR ZBLA 2024-10-18
2 ISSUED FOR COORDINATION 2024-08-09
1 ISSUED FOR CITY REVIEW 2024-04-29

ISSUE RECORD


project1 studio

Project1 Studio Incorporated

| 613.884.3959 | mail@project1studio.ca

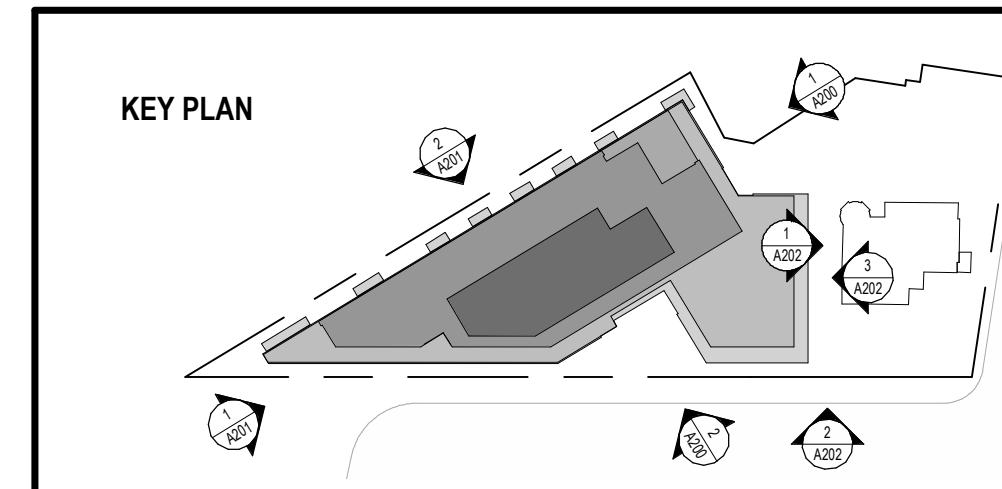
601 LAURIER

601 Laurier Avenue
Ottawa, ON
K1R 6K9

PROJ. NO. 2318 DRAWN BY BH REVIEWED BY JH

ELEVATIONS

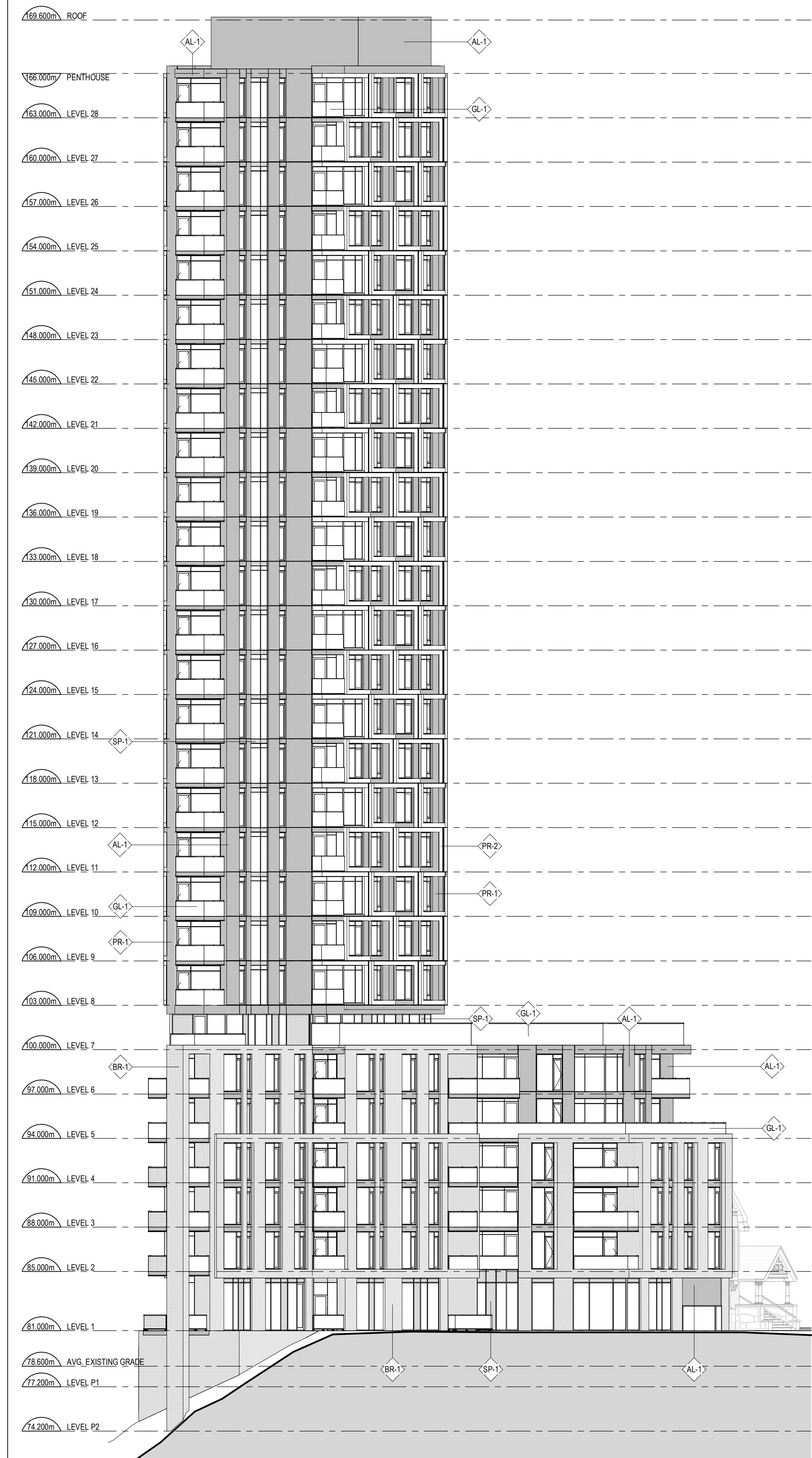
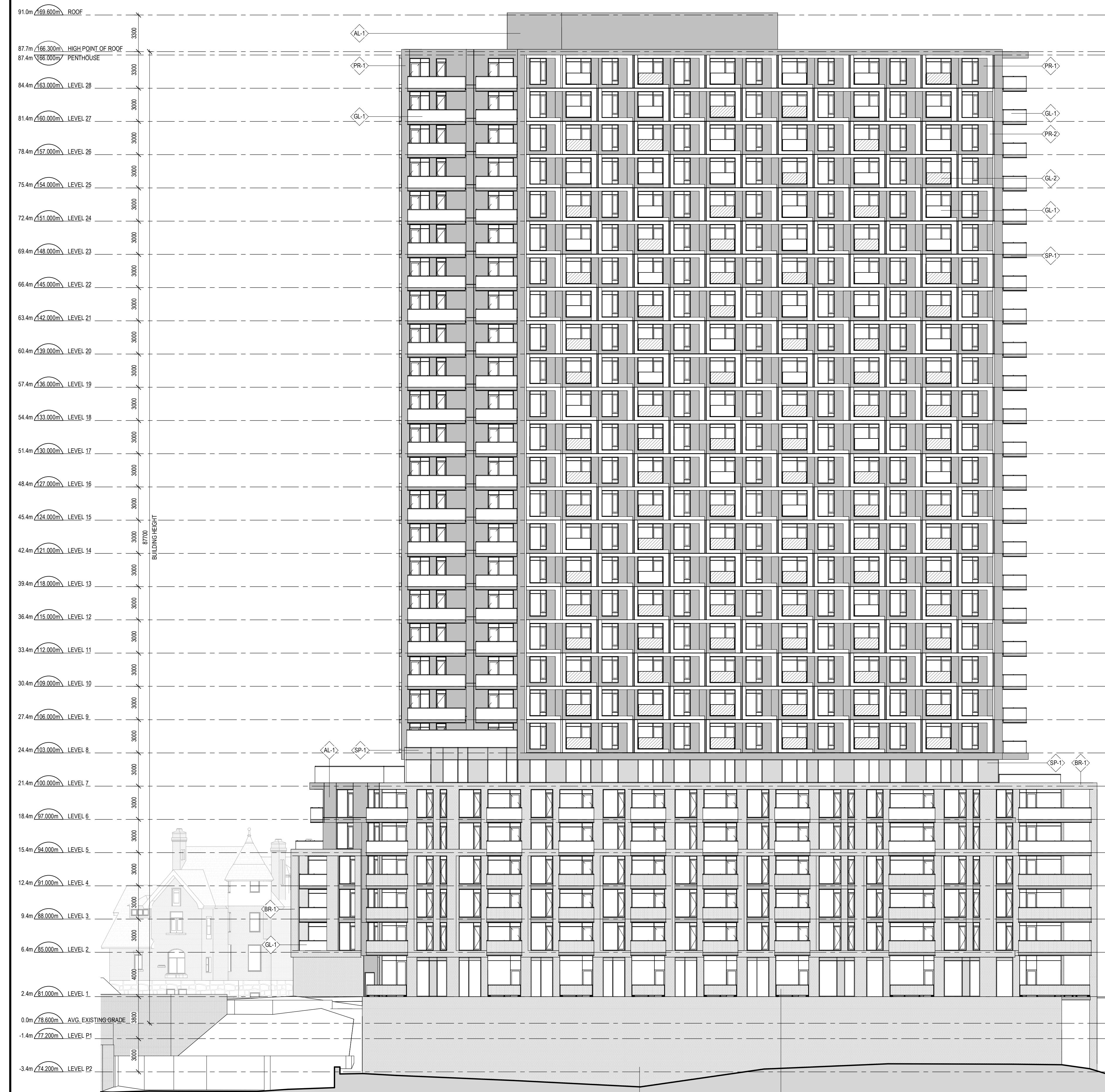
A200



CLADDING LEGEND:								
	AL-1	ALUMINUM COMPOSITE PANEL DARK GREY		PR-1	PRECAST CONCRETE DARK GREY		GL-1	ALUMINUM AND GLASS RAILING
	BR-1	RED/BROWN BRICK		PR-2	PRECAST CONCRETE NATURAL FINISH		GL-2	ALUMINUM AND GLASS RAILING WITH REFLECTIVE FILM
	SP-1	SPANDREL PANEL (DARK)		GL-3	ALUMINUM AND GLASS RAILING WITH BIRD-SAFE FRITTED DESIGN			

GENERAL ARCHITECTURAL NOTES:

- This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
- Drawings are not to be scaled. The Contractor is responsible for checking and verifying the dimensions and locations of all work and to advise the Architect of any discrepancies to the Architect and obtain clarification prior to commencing work.
- Upon notice in writing the Architect will provide written/graphic clarification or supplementary information regarding the intent of Contract Documents.
- The Architect's drawings are to be read in conjunction with all other Contract Documents including the General Conditions of Contract, Mechanical and Electrical Drawings.
- Positions of exposed or finished Mechanical or Electrical ducts, piping and insulation are to be shown on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings.
- Mechanical and Electrical items not clearly located will be located as directed by the Architect.
- These documents are not to be used for construction unless specifically noted for such purpose.



6 REISSUED FOR ZBLA 2025-09-16
5 REISSUED FOR ZBLA 2025-03-21
3 ISSUED FOR ZBLA 2024-10-18
2 ISSUED FOR COORDINATION 2024-08-09
1 ISSUED FOR CITY REVIEW 2024-04-29

ISSUE RECORD



project1
studio

Project1 Studio Incorporated

| 613.884.3959 | mail@project1studio.ca

601 LAURIER

601 Laurier Avenue
Ottawa, ON
K1R 6K9

PROJ SCALE DRAWN REVIEWED
2318 NOTED BH JH

ELEVATIONS

A201

GENERAL ARCHITECTURAL NOTES:

1. This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
2. Drawings are not to be scaled. The Contractor is responsible for checking and verifying the dimensions and locations of all work and make all necessary alterations to the Architect and obtain clarification prior to commencing work.
3. Upon notice in writing the Architect will provide written/graphic clarification or supplementary information regarding the intent of Contract Documents.
4. The Architect's drawings are to be used in conjunction with all other Contract Documents including the General, Mechanical and Structural, Mechanical, Electrical Drawings and Positions of exposed or installed Mechanical or Electrical items. Items and locations of exposed or installed Mechanical or Electrical items on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
5. These documents are not to be used for construction unless specifically noted for such purpose.



3 NORTHEAST PARTIAL ELEVATION

A202

SCALE: 1:100



1 WEST ELEVATION - ANDREW FLECK HOUSE

A202

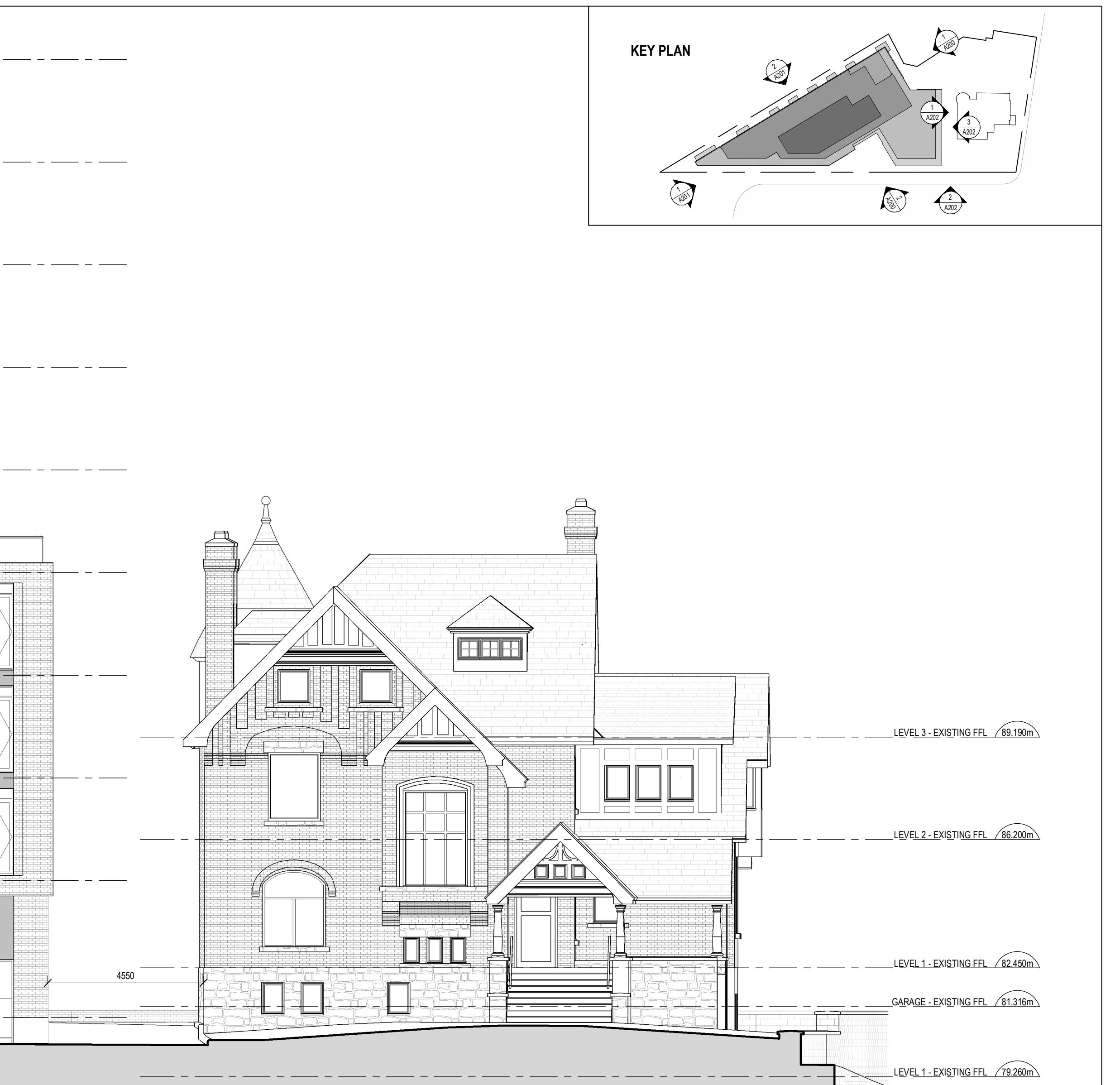
SCALE: 1:100



2 SOUTHEAST PARTIAL ELEVATION

A202

SCALE: 1:100



6 REISSUED FOR ZBLA 2025-09-16
5 REISSUED FOR ZBLA 2025-03-21

ISSUE RECORD



project1
studio

Project1 Studio Incorporated

| 613.884.3939 | mail@project1studio.ca

601 LAURIER

601 Laurier Avenue
Ottawa, ON
K1R 6K9

PROJ SCALE DRAWN REVIEWED
2318 NOTED BH JH

ELEVATIONS

A202