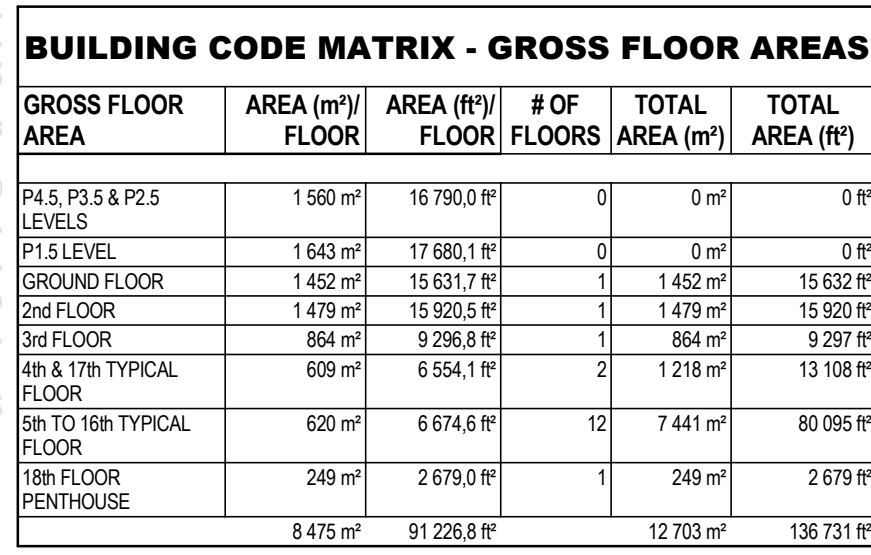
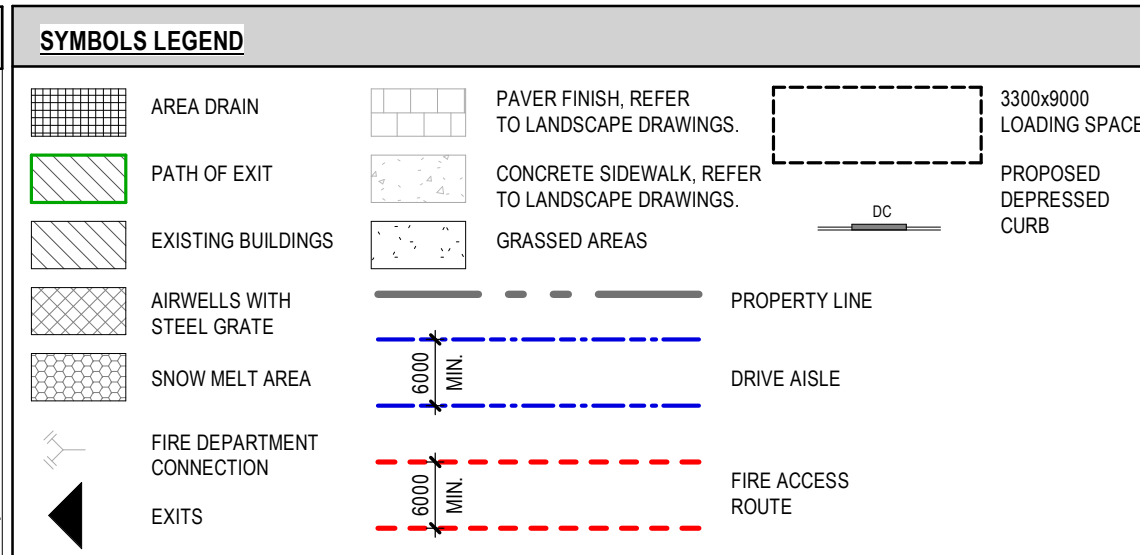




NOTES

- FOR EXISTING SITE CONDITIONS, PROPERTY BOUNDARY INFORMATION, AND CONFIGURATION OF LOT PARTS, SEE SURVEY PLAN BY ANNIS, O'SULLIVAN, VOLLEBECK LTD., REGISTERED PLANS #4R-36923, SUBMITTED SEPARATELY.
- FOR PROPERTY IDENTIFICATION NUMBERS (PIN) FOR LOT OF L8, 19, 20 (SOUTH YORK STREET) AND LOT OF L8, 19, 20 (NORTH GEORGE STREET), REFER TO SURVEY PLAN BY ANNIS, O'SULLIVAN, VOLLEBECK LTD.
- FOR EXISTING & NEW GRADES AND SITE SERVICES, SEE CIVIL ENGINEERING PLANS BY NOVATECH ENGINEERING CONSULTANTS, SUBMITTED SEPARATELY.
- FOR NEW LANDSCAPING DESIGN, SEE LANDSCAPING PLANS BY JAMES B. LENOX & ASSOCIATES, SUBMITTED SEPARATELY.
- FOR PROPOSED LIGHTING LAYOUT, SEE ELECTRICAL ENGINEERING PLANS BY JAIN CONSULTING, SUBMITTED SEPARATELY.
- ZONING GFA INCLUDES AREA MEASURED FROM THE INTERIORS OF OUTSIDE WALLS, AS DEFINED IN CITY OF OTTAWA ZONING BY-LAW DEFINITION (2008-250).
- SNOW STORAGE: SNOW WILL BE HAULED OFF SITE.



SOLID WASTE COLLECTION REQUIREMENTS		
ZONING MECHANISM	REGULATION	PROPOSED
Hotel Waste	Garbage (Compacted) = 0.053y ³ /unit Require 19y ³	Garbage (Compacted) = 3 x 8y ³ containers Total = 24y ³
York - 154 units Andaz - 200 units	Recycling (GMP) = 0.018y ³ /unit Require 7y ³	Recycling (GMP) = 2 x 8y ³ containers Total = 16y ³
Total = 354 units	Recycling (Fibres) = 0.038y ³ /unit Require 14y ³	Recycling (Fibres) = 2 x 8y ³ containers Total = 16y ³
	Organics = 240L container/50 units Require 8 containers	Organics = 8 x 240L containers Total = 1920L

OCCUPANCY	UNITS / STOREYS	PROPOSED ZONING GFA
Hotel Rooms	4th and 17th floors (11 rooms/floor) 5th to 16th floors (11 rooms/floor) Minimum 10% of rooms are required to be Barrier-Free (BF) and distributed throughout the storeys.	424m ² x 2 floors= 848m ² 443m ² x 12 floors=5,316m ² TOTAL = 6,164m ² 22 of 154 units (14%) provided
Assembly	Ground floor	647m ² /floor
	2nd floor	841m ² /floor
Hotel Administration	3rd floor	94m ² /floor
		TOTAL = 1,582m ²
	TOTAL	7,746m²

MIXED-USE WITH GROUND FLOOR COMMERCIAL - ZONING - MD2 (2919) S489/ MD2 (113) S74
(COMBINED WITH 141 GEORGE STREET - MD2 (2031) S307)

ZONING RULE	REQUIREMENT	PROVIDED
Minimum lot area	No minimum	Combined lots 141 George Street = 3,109.10m ² 110 York = 520.72m ² 116 York = 1,015.88m ² = 4,645.70m ²
Minimum lot width	No minimum	40.47m along York Street
Minimum front yard	Maximum 1m	0.13m
Minimum interior side yard	No minimum	West side: connected to adjacent hotel. East side: 0.49m
Minimum rear yard	No minimum	Combined lot with 141 George Street. 1.13m, 5.48m and 5.77m.
Maximum building height	12m high within 9m from York. 52m high overall 12m high within 8m from back. As per OUTDATED Schedule 489, not including 116 York. Projections permitted beyond building height. As per Exception 2919 (By-law 2023-502)	12.6m within 10m from York and Podium. (3 storey max) 54.3m Tower.
Maximum floor space index	Not applicable	-
Minimum width of landscape area	No minimum except that where a yard is provided and not used for required driveways, aisles, parking, loading spaces, or outdoor commercial patio, the whole yard must be landscaped	Yard used for required driveway, aisles and loading spaces, otherwise whole yard to be landscaped.
Provisions for buildings 10 storeys and higher (By-law 2019-353)	Not applicable. As per Exception 2919 (By-law 2023-502)	-
Ground floor use	100% of ground floor fronting a street (excluding lobby area, mechanical room, and access to other floors for a minimum depth of 3m, must be occupied by permitted use. Total gross area of lobbies, mechanical rooms and access to other floors must not exceed 50% of ground floor gross area. Hotel lobby may be included in the calculation of ground floor frontage. As per Exception 2919 (By-law 2023-502)	100% of ground fronting York Street (excluding exits from other floors) for a minimum depth of 3m, is occupied by permitted Hotel use. Total gross area of lobbies, mechanical rooms and access to other floors does not exceed 50% of ground floor gross area. Permitted Hotel use occupies more than 50% of ground floor and separate and direct access is provided on York and Dalhousie Street from existing Hotel building.

AMENITY AND PARKING REQUIREMENTS ZONING - 110 YORK - MDZ (2919) S489 116 YORK - MDZ (113) S74 (COMBINED WITH 141 GEORGE STREET - MDZ (2031) S307)		
ZONING MECHANISM	REGULATION	PROPOSED
Shared Parking 141 GEORGE	None required for Hotel, Residential or Commercial use. 25 visitor parking spaces required 0.083 spaces per unit (Exception 2031)	P1 29 spaces (13 reduced) P2 44 spaces (14 reduced) P3 44 spaces (14 reduced) P4 46 spaces (14 reduced) 6.0m drive aisle provided.
110 & 116 YORK		P1 16 spaces (11 reduced) P2 39 spaces (10 reduced) P3 41 spaces (10 reduced) P4 41 spaces (10 reduced) Total: 300 spaces shared between building users. (96 reduced 32%) 141 George 163 spaces (55 reduced 34%) 110 York 137 spaces (41 reduced 30%) 25 Visitor parking shown on P3 & P4.
Barrier-Free Parking Combined 110-116 York & 141 George	251- 300 spaces requires 8 barrier-free spaces 4 type As 4 type Bs (Traffic and Parking By-Law 2017-301)	York P1- 1 type A & 1 type B P2 P3 - 2 type B per floor George P1,P3,P4 - 1 type A per floor Total: 9 spaces 4 type As + 5 type Bs
Minimum Bicycle Parking 141 GEORGE	Residential: 0.5 spaces x 297 units = 149 bicycle parking spaces Retail: 1 space per 250m² of GFA 468m² GFA / 250m² = 2 bicycle parking spaces	Residential: 56 (P1) 70 (P2) 31 (P3) Total 157 spaces Retail : 5 (Exterior)
110 & 116 YORK	Hotel: 1 per 1000m² of GFA +/-7,746m² GFA/1,000m² = 8 bicycle parking spaces Minimum 50% to be horizontal racks.	Hotel: 9 (Interior) Total: 171 spaces 76 (~44%) vertical mount
Loading (110-116 York)	2 spaces required. Minimum 3.3m width of a loading space. As per Exception 2919 (By-law 2023-502)	2 outdoor spaces provided. 3.3m wide x 9m length for parallel application.

Seal



Client

 **CLARIDGE**
HOMES

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Project
110-116 YORK STREET

Location	No.
OTTAWA	13098.00

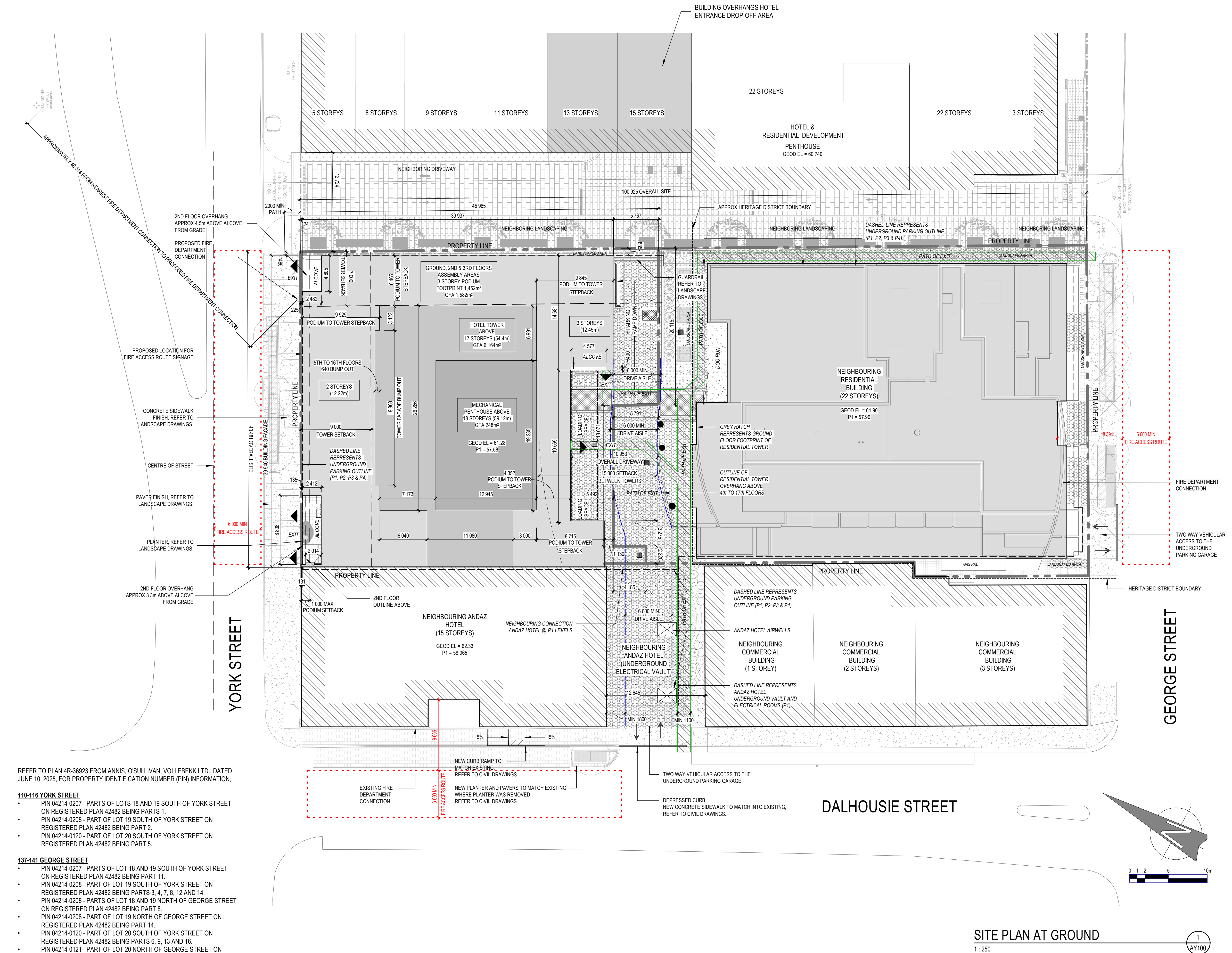
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JJJ	FOR COORDINATION	2025.04.04
LLL	ISSUED FOR SUPERSTRUCTURE PERMIT	2025.05.01
MMM	FOR COORDINATION	2025.06.01
NNN	FOR SITE PLAN APPROVAL	2025.06.03
PPP	FOR HH SD REVIEW #7	2025.07.01
QQQ	FOR THE FINAL APPROVAL	2025.07.01
TTT	FOR COORDINATION	2025.08.01
UUU	ISSUED FOR PERMIT	2025.08.01
VVV	FOR SITE PLAN APPROVAL	2025.09.01
WWW	FOR REVISED SUPERSTRUCTURE PERMIT	2025.09.02
YYY	FOR COORDINATION	2025.10.01
ZZZ	FOR COORDINATION	2025.11.01
BBBBB	FOR COORDINATION	2025.11.11
CCCCC	FOR SITE PLAN APPROVAL	2025.11.11

Drawn by
SJ/AA
DATE (aa.mm.jj)
MAY 2023

Drawing Title
SITE PLAN

Revision	Dwg Number
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19235



REFER TO PLAN 4R-36923 FROM ANNIS, O'SULLIVAN, VOLLEBEKK LTD., DATED JUNE 10, 2025, FOR PROPERTY IDENTIFICATION NUMBER (PIN) INFORMATION;

110-116 YORK STREET

- PIN 04214-0207 - PARTS OF LOTS 18 AND 19 SOUTH OF YORK STREET ON REGISTERED PLAN 42482 BEING PARTS 1.
- PIN 04214-0208 - PART OF LOT 19 SOUTH OF YORK STREET ON REGISTERED PLAN 42482 BEING PART 2.
- PIN 04214-0120 - PART OF LOT 20 SOUTH OF YORK STREET ON REGISTERED PLAN 42482 BEING PART 5.

137-141 GEORGE STREET

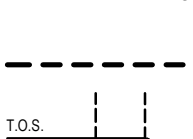
- PIN 02414-0207 - PARTS OF LOT 18 AND 19 SOUTH OF YORK STREET ON REGISTERED PLAN 42482 BEING PART 11.
- PIN 02414-0208 - PART OF LOT 19 SOUTH OF YORK STREET ON REGISTERED PLAN 42482 BEING PARTS 3, 4, 7, 8, 12 AND 14.
- PIN 02414-0208 - PARTS OF LOT 18 AND 19 NORTH OF GEORGE STREET ON REGISTERED PLAN 42482 BEING PART 8.
- PIN 02414-0208 - PART OF LOT 19 NORTH OF GEORGE STREET ON REGISTERED PLAN 42482 BEING PART 14.
- PIN 02414-0120 - PART OF LOT 20 SOUTH OF YORK STREET ON REGISTERED PLAN 42482 BEING PARTS 6, 9, 13 AND 16.
- PIN 02414-0121 - PART OF LOT 20 NORTH OF GEORGE STREET ON REGISTERED PLAN 42482 BEING PARTS 10 AND 15.

ELEVATION LEGEND

 **EXTERIOR FINISH**
REFER TO ELEVATION KEYNOTE LEGEND

 WINDOW TYPE REFER TO WINDOW SCHEDULE

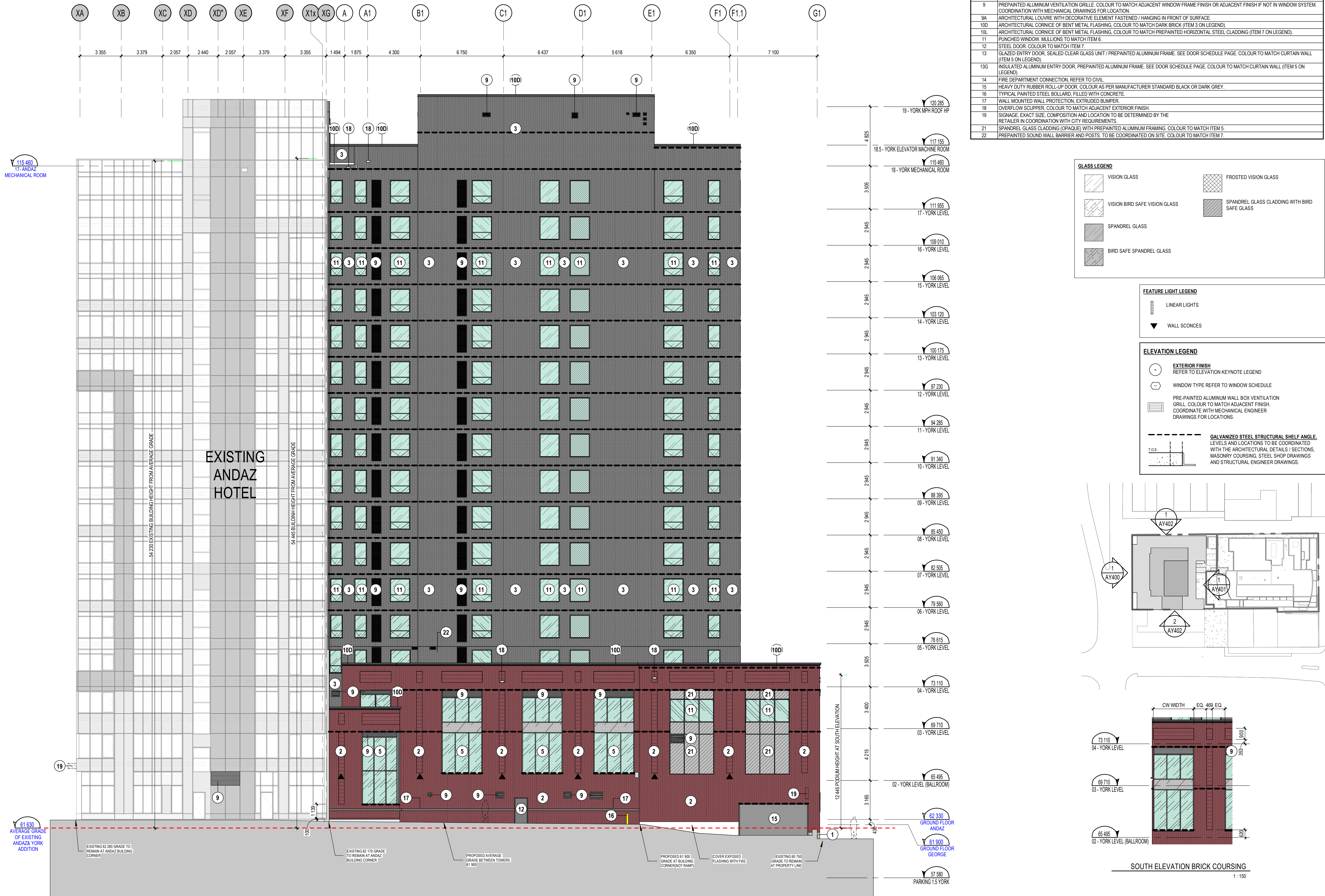
 PRE-PAINTED ALUMINIUM WALL BOX VENTILATION GRILL. COLOUR TO MATCH ADJACENT FINISH. COORDINATE WITH MECHANICAL ENGINEER DRAWINGS FOR LOCATIONS.

 **GALVANIZED STEEL STRUCTURAL SHELF ANGLE**
LEVELS AND LOCATIONS TO BE COORDINATED WITH THE ARCHITECTURAL DETAILS / SECTIONS, MASONRY COURSING, STEEL SHOP DRAWINGS AND STRUCTURAL ENGINEER DRAWINGS.



Revision **CCCC** Dwg Number **AY400**

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SOUTH ELEVATION
1:150

1
AY401

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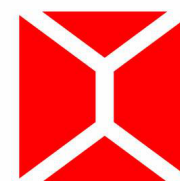
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Seal



NEUF
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Project

110-116 YORK STREET

Location

OTTAWA No. 13098.00

NO	REVISION	DATE (yyyy-mm-dd)
BBB	FOR HH SD REVIEW #6	2025.02.20
CCC	FOR COORDINATION	2025.02.20
EEE	FOR COORDINATION	2025.03.31
FFF	FOR COORDINATION	2025.04.03
JJJ	FOR COORDINATION	2025.04.30
LLL	ISSUED FOR SUPERSTRUCTURE PERMIT	2025.05.15
NNN	FOR COORDINATION	2025.06.18
NNN	FOR SITE PLAN APPROVAL	2025.06.30
PPP	FOR HH SD REVIEW #7	2025.07.03
QQQ	FOR SITE PLAN APPROVAL	2025.07.15
UUU	ISSUED FOR PERMIT	2025.08.12
VVV	FOR SITE PLAN APPROVAL	2025.09.15
YYY	FOR COORDINATION	2025.10.03
ZZZ	FOR COORDINATION	2025.11.05
BBBB	FOR COORDINATION	2025.11.10
CCCC	FOR SITE PLAN APPROVAL	2025.11.11

Drawn by

SJ/OM

DATE (aa.mm.jj)
JUN 2023

Drawing Title

ELEVATIONS (SOUTH)

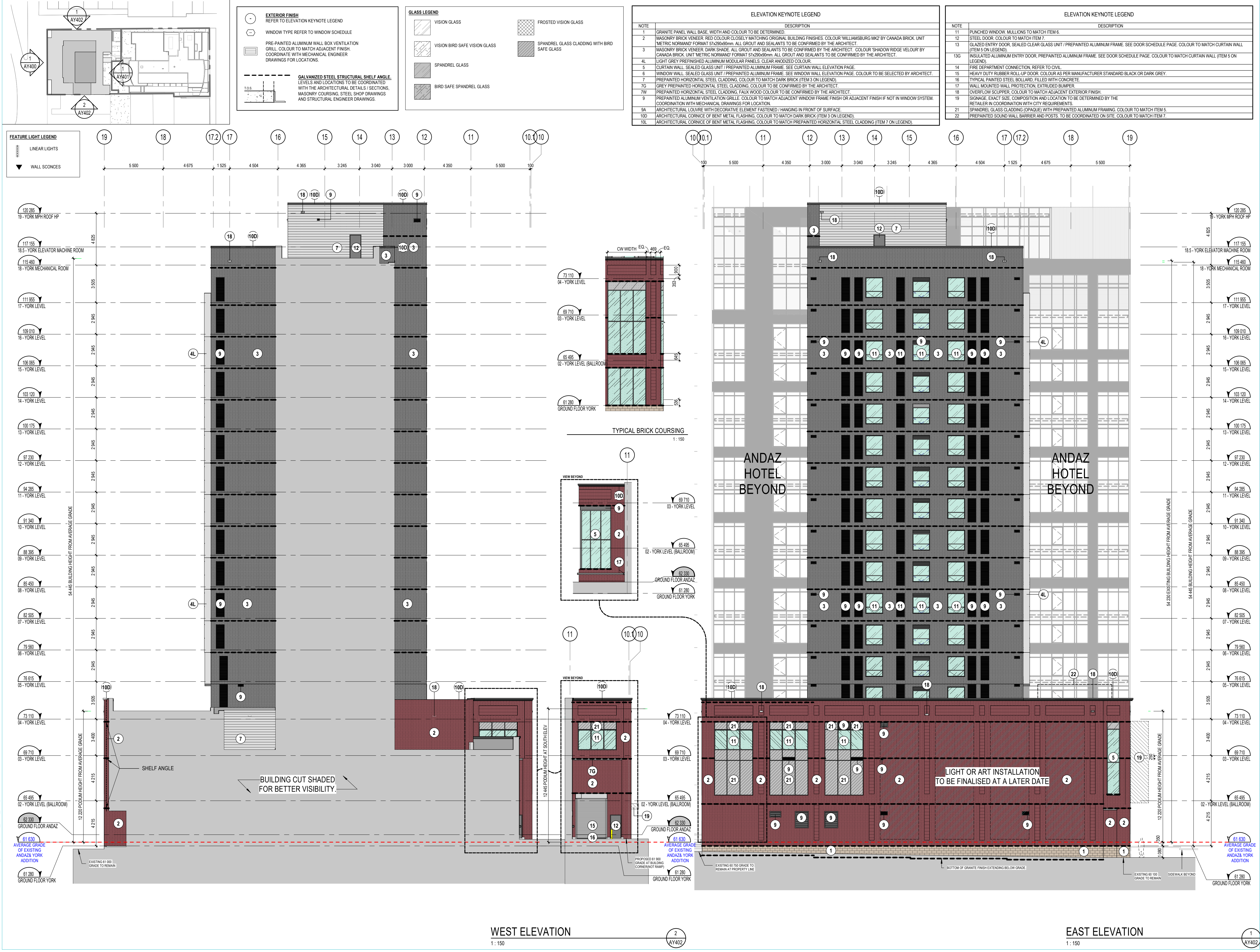
Revision

CCCC

Dwg Number

AY401

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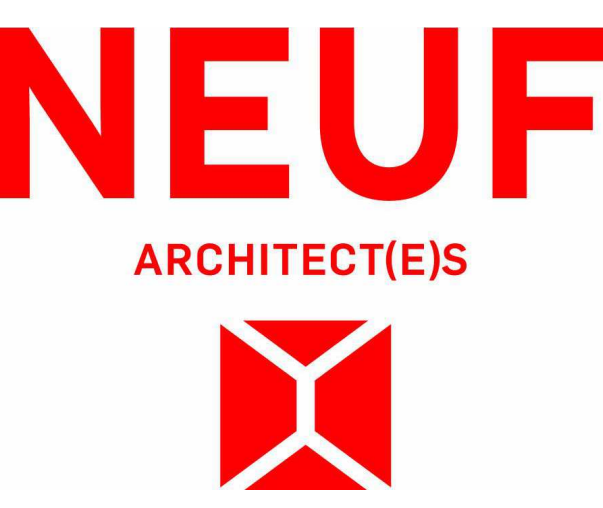
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Project
110-116 YORK STREET

Location
OTTAWA

NO	REVISION	DATE (yyyy-mm-dd)
BBB	FOR HH SD REVIEW #6	2025.02.20
CCC	FOR COORDINATION	2025.02.20
EEE	FOR COORDINATION	2025.03.31
FFF	FOR COORDINATION	2025.04.03
JJJ	FOR COORDINATION	2025.04.30
LLL	ISSUED FOR SUPERSTRUCTURE PERMIT	2025.05.15
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NNN	FOR SITE PLAN APPROVAL	2025.06.30
PPP	FOR HH SD REVIEW #7	2025.07.03
QQQ	FOR SITE PLAN APPROVAL	2025.07.15
UUU	ISSUED FOR PERMIT	2025.08.12
VVV	FOR SITE PLAN APPROVAL	2025.09.15
YYY	FOR COORDINATION	2025.10.03
ZZZ	FOR COORDINATION	2025.11.05
BBB	FOR COORDINATION	2025.11.10
CCC	FOR SITE PLAN APPROVAL	2025.11.11

Drawn by
SJ/OM
DATE (aa.mm.jj)
APRIL 2024

Checked by
LH
Scale
As indicated

Drawing Title
ELEVATIONS (EAST AND WEST)

Revision
CCCC

Dwg Number
AY402

19235