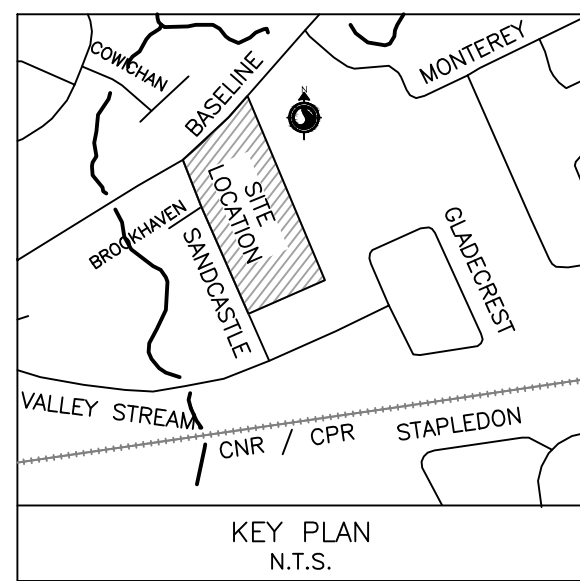
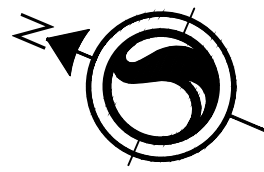




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Legend

- 99.99 ORIGINAL GROUND ELEVATION
- 99.99 PROPOSED ELEVATION
- 99.99 PROPOSED LOT CORNER ELEVATION
- EXISTING ELEVATION AT LOT CORNER
- 2.0% FLOW DIRECTION AND GRADE
- FFE=100.00 FINISHED FIRST FLOOR ELEVATION
- USF=97.00 UNDERSIDE OF FOOTING ELEVATION
- E.F. ENGINEERED FILL REQUIRED
- 3:1 TERRACING 3:1 SLOPE MAXIMUM (UNLESS OTHERWISE SHOWN)
- DIRECTION OF OVERLAND FLOW
- PROPOSED VALVE BOX
- PROPOSED VALVE CHAMBER
- PROPOSED FIRE HYDRANT
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED STORM SEWER MANHOLE
- PROPOSED CATCHBASIN MANHOLE
- PROPOSED SINGLE CATCHBASIN
- PROPOSED DOUBLE CATCHBASIN
- PROPOSED CATCHBASIN ELBOW PER CITY STD S31
- PROPOSED AREA DRAIN / TRENCH DRAIN TO BE CONNECTED TO INTERNAL BUILDING MECHANICAL SYSTEMS
- PROPOSED DEPRESSED CURB LOCATION
- PROPOSED BARRIER CURB
- PROPOSED ASPHALT ACCESS LANES
- OVERLAND SPILL LOCATION
- TWS LOCATION AS PER CITY STD

Notes

PAVEMENT STRUCTURE - CAR ONLY PARKING AREAS
50mm SUPERPAVE 12.5 ASPHALTIC CONCRETE
150 OPSS GRANULAR 'A' BASE
300 OPSS GRANULAR 'B' TYPE II

PAVEMENT STRUCTURE - ACCESS LANES AND HEAVY TRUCK PARKING AREAS
40mm SUPERPAVE 12.5 ASPHALTIC CONCRETE
50mm SUPERPAVE 19.0 ASPHALTIC CONCRETE
150 OPSS GRANULAR 'A' BASE
450 OPSS GRANULAR 'B' TYPE II

PAVEMENT STRUCTURE AS PER RECOMMENDATIONS BY GEOTECHNICAL ENGINEER IN THE DOCUMENT Geotechnical Investigation - Proposed Multi-Storey Building - Tower 4 to 6, 2946 Baseline Road, Ottawa, Ontario, Patterson Group Inc., March 24, 2022

ALL RETAINING WALL ELEVATIONS PROVIDED AS GENERAL GRADING REFERENCE ONLY. ALL RETAINING WALL DESIGN BY OTHERS, INCLUDING ALL RELATED DRAINAGE AND SUB-DRAINAGE DESIGN AND DETAIL.

2	REVISED PER NEW SITE PLAN	MJS	DT	25.09.23	
1	REVISED PER NEW SITE PLAN	MJS	RB	24.07.19	
0	ISSUED FOR SPA	MJS	RB	23.05.25	
Revision		By	Appd.	YY.MM.DD	
File Name: 160401676 DB.dwg		MJS	RB	MJS	23.03.31
		Dwn.	Chkd.	Dsgn.	YY.MM.DD

Permit-Seal

Client/Project

BRIGIL HOMES

BASELINE TOWERS 3-4-5-6
2946 BASELINE ROAD
OTTAWA, ON, CANADA

Title

GRADING PLAN

Project No.
160401676

Drawing No.

Scale
1:400

Sheet

Revision

GP-1

4 of 7

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