

SITE PLAN OF SURVEY PLAN PART 1 PLAN OF LOT 25 REGISTERED PLAN 523, CITY OF OTTAWA				
ZONING: R1GG REZONED TO R5B				
PROPOSED BUILDING TYPE: 5 STOREY, MID-RISE RENTAL BUILDING 21 RESIDENTIAL RENTAL UNITS				
LOT DEPTH: 34.39m (112.83ft)				
ADJACENT ZONING: NORTH: R1GG SOUTH: R1Y522 WEST SIDE: R1FF EAST SIDE: R3M(1710)				
SCHEDULE 1 AREA: AREA 'C' SCHEDULE 1A AREA: AREA 'C'				
LOT INFO - AFTER ZONING AMENDMENT - ALL MEASUREMENTS MADE TO ROW				
P. STANDARD	3055 RICH. REQUIRED	3055 RICH. PROPOSED	EXISTING SINGLE	NOTES
LOT WIDTH:	15m	39.44m	42.85m	
LOT AREA:	540m ²	894.88m ²	1027.5m ²	
HEIGHT:	14.5m	15.9m	6.0m	Ammand.
FRONT YARD:	3.0m	3.04m	10.83m	
CORNER YARD:	n/a	n/a	n/a	
REAR YARD:	7.5m	8.54m	17.81m	
INTERIOR YARD:	7.5m	3.00m	0.34m	Ammand.
AMENITY AREA:	125m ²	384.9m ²	n/a	339.2m ² COMM.
PARKING SPACES:	26 n/a.	9	1	Ammand.
BIKE SPACES:	4 visitor	0	0	
AGG. FRONT LAND:	40% N.O. MAX.	79.4%	0	
FIRST FL. HABITABLE SPACE	40m ²	419.4m ²	n/a	
BUILDING AREAS				
BASEMENT FL. GFA:	-	0m ²		
FIRST FL. GFA:	-	273.0m ²		
SECOND FL. GFA:	-	331.6m ²		
THIRD FL. GFA:	-	331.6m ²		
FOURTH FL. GFA:	-	293.8m ²		
STORAGE:	-	57.5m ²		
GARAGE/CARPORT:	-	285.5m ²		
EXITS/CORR. (ALL FLOORS):	-	340.1m ²		
TOTAL GFA:	-	1205.0m ²		
TOTAL ALL AREAS:	-	1830.6m ²		
PROPOSED SITE DEVELOPMENT INFO.				
NEW GROSS FLOOR AREA:	-	1205.0m ²		
EX. GROSS FLOOR AREA:	-	0.0m ²		
NUMBER OF UNITS:	-	21		
PROPOSED STOREYS:	-	5		
BUILDING COVERAGE:	-	71.2%		
SOFT LANDSCAPING COV.:	-	39.2%		
HARD LANDSCAPING COV.:	-	4.8%		
DECKS/PORCH/STEPS:	-	10.4%		
ASPHALT COV.:	-	0.0%		
OTHER:	-	1.4%		
SURVEY INFO.				
SURVEY INFO TAKEN FROM SURVEYORS REAL PROPERTY REPORT PART 1, PLAN OF LOT 25, REGISTERED PLAN 523, CITY OF OTTAWA PREPARED BY: ANNIS, O'SULLIVAN, VOLLEBEK LTD DEC. 20, 2021				

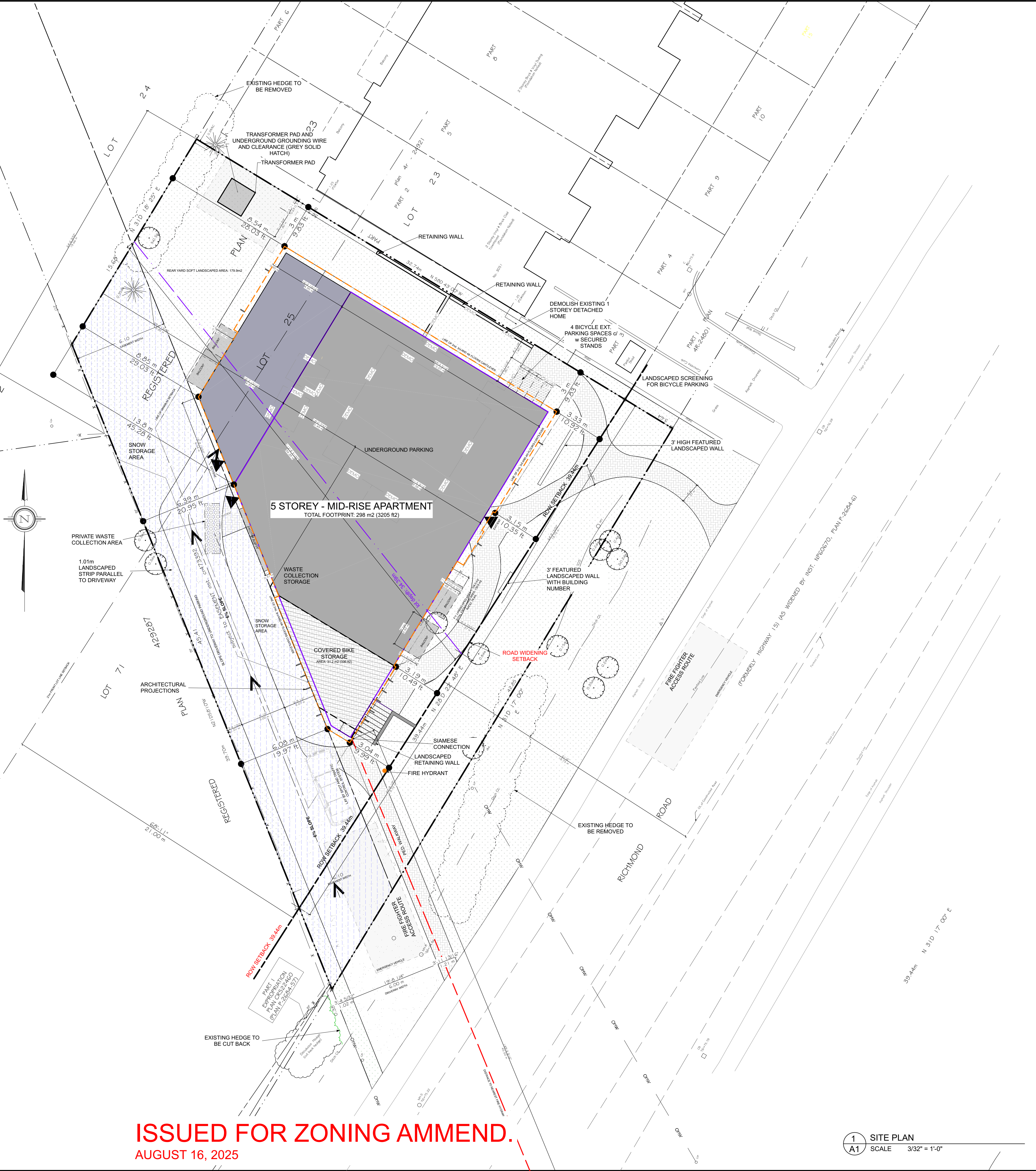
SITE LEGEND	
	EX. TREE TO BE REMOVED
	NEW CONIFEROUS TREE
	DENOTES SOFT LANDSCAPING
	DENOTES HARD LANDSCAPING
	EXISTING BUILDING FOOTPRINT
	PROPOSED RIVERSTONE
	PROPOSED ASPHALT DRIVEWAY
	PROPOSED WOOD DECKS/ BALCONIES
	CAR PARKING SPACE (ASPHALT)
	BICYCLE PARKING (ASPHALT)
	WASTE COLLECTION AREA
	SNOW STORAGE AREA
	PROPOSED/EXISTING ENTRY/EXIT
	PF - TEMPORARY PROTECTION FENCE
	EX. UTILITY POLE
	EX. CHAINED LINK/BOARD FENCE
	PROPERTY LINE
	MOTION SENSING EXT. LIGHTS
WASTE COLLECTION LEGEND	
	GB 2YD GARBAGE CONTAINER
	BB 360L FIBRE CONTAINER
	B 360L GML CONTAINER
	G 240L ORGANICS
	PRIVATE COLLECTION

SITE NOTES	
NEW ROOF DOWN SPOUTS SHALL NOT BE DIRECTED TOWARDS THE ADJACENT PROPERTIES	
EXCAVATED MATERIAL TO BE REMOVED FROM PROPERTY	
ALL GRADE TO SLOPE 2% AWAY FROM FOUNDATION WALL	
ALL MEASUREMENTS ARE METRIC (ACCOMPANYING IMPERIAL MEAS. MAY APPEAR)	
EXISTING GRADING AND DRAINAGE PATTERNS NOT TO BE ALTERED UNLESS OTHERWISE NOTED BY THE CIVIL ENGINEER	
SNOW ACCUMULATION TO BE REMOVED OFF SITE IMMEDIATELY AS NEEDED	

EXISTING PLANTING MATERIAL	
CODE	COMMON NAME
DECIDUOUS TREES	
CONIFEROUS TREES	
SHRUBS	
NEW PLANTING MATERIAL	
CODE	COMMON NAME
DECIDUOUS TREES	
DT1	RED MAPLE
CONIFEROUS TREES	
SHRUBS	

TREE CONSERVATION NOTES	
1. ERECT A FENCE AT THE CRITICAL ROOT ZONE (CRZ) OF TREES.	
2. DO NOT PLACE ANY MATERIAL OR EQUIPMENT WITHIN THE CRZ OF THE TREE.	
3. DO NOT ATTACH ANY SIGNS, NOTICES OR POSTERS TO ANY TREE.	
4. DO NOT RAISE OR LOWER THE EXISTING GRADE WITHIN THE CRZ WITHOUT APPROVAL.	
5. TUNNEL OR BORE WHEN DIGGING WITHIN THE CRZ OF A TREE.	
6. DO NOT DAMAGE THE ROOT SYSTEM, TRUNK OR BRANCHES OF ANY TREE.	
7. ENSURE THAT EXHAUST FUMES FROM ALL EQUIPMENT ARE NOT DIRECTED TOWARDS ANY TREE'S CANOPY.	
* THE CRITICAL ROOT ZONE (CRZ) IS ESTABLISHED AS BEING 10 CENTIMETRES FROM THE TRUNK OF A TREE FOR EVERY CENTIMETRE OF TRUNK DIAMETER AT BREAST HEIGHT (DBH). THE CRZ IS CALCULATED AS DBH X 10 CM.	
* TREE PROTECTION FENCE (PF) TO BE ERECTED BEFORE AND REMAIN UNTIL BUILDING CONSTRUCTION HAS COMPLETED AND TO CONSIST OF 1.8m HIGH PLYWOOD HOARDING (SEE DIAGRAM BELOW).	

3	KEY PLAN & CONTEXT
A1	SCALE NO SCALE



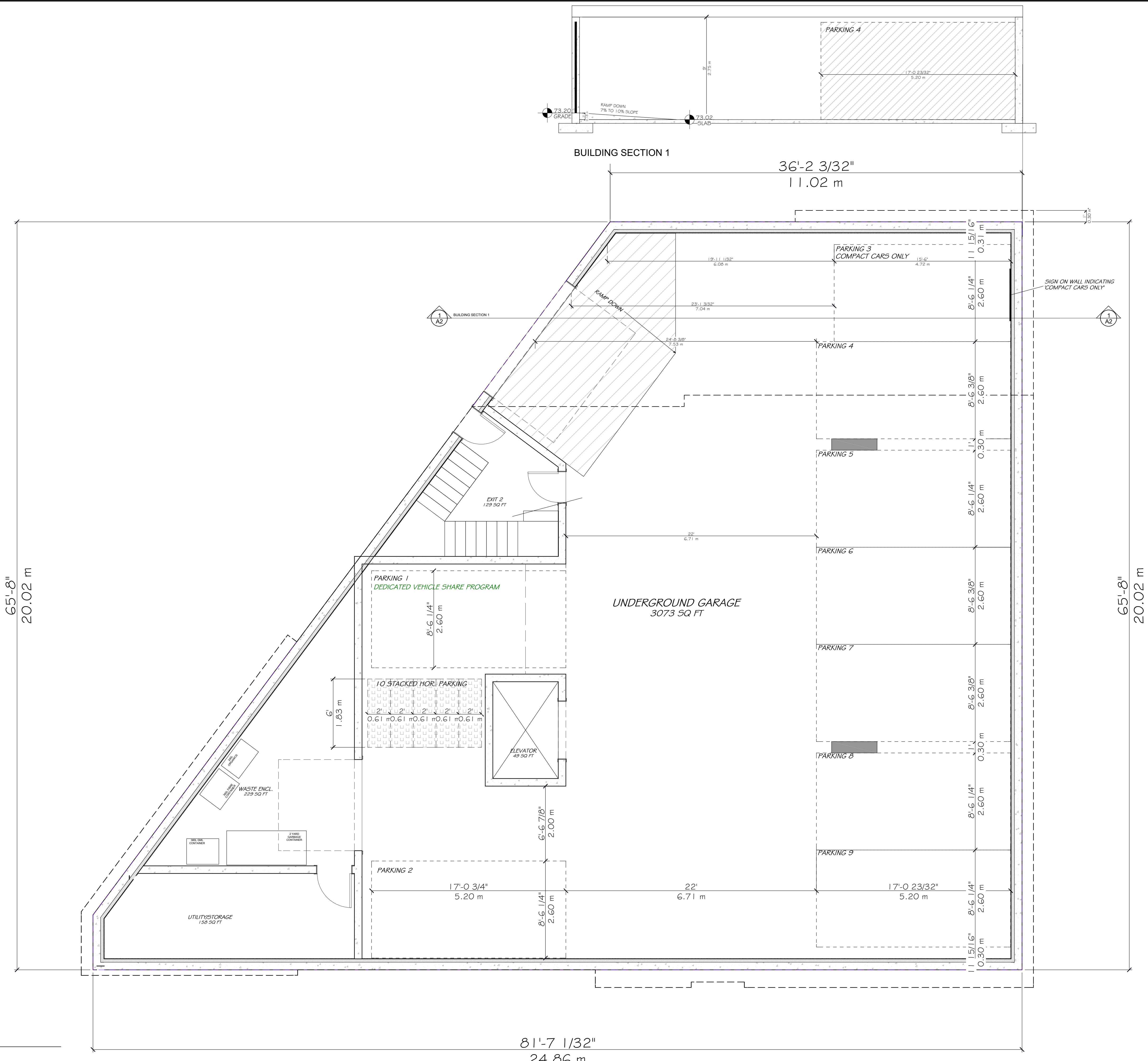
ISSUED FOR ZONING AMMEND.
AUGUST 16, 2025

1 SITE PLAN
A1 SCALE 3/32" = 1'-0"

UNPOISED ARCHITECTURE INC. 5-16 SWETLAND AVE. OTTAWA, ON K1N 7T6 AZUL DESIGNS 2777 PROSPECT AVE. OTTAWA, ON K1H 1G2	
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	
RESPONSIBILITIES: DO NOT SCALE DRAWINGS ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2006 ALL CONTRACTORS MUST WORK IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BYLAWS HAVING JURISDICTION IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT/DESIGNER	
COPYRIGHT RESERVED GENERAL NOTES:	
OWNER/DEVELOPER: PARADELLER INC. 1000 SHEPPARD AVE. E. SUITE 100 SCARBOROUGH, ON M1B 4Y9	
ARCHITECT/DESIGNER: UNPOISED ARCHITECTURE INC. 5-16 SWETLAND AVE. OTTAWA, ON K1N 7T6	
APR. CADD/PLANNER: WEST CANADA INC. 2011 GARDENWAY DR. SUITE 300 OTTAWA, ON K1H 1G2	
CIVIL ENGINEER: CJA JENSEN ENGINEERING INC. 1000 SHEPPARD AVE. E. SUITE 100 SCARBOROUGH, ON M1B 4Y9	
LANDSCAPING: AZUL DESIGNS 2777 PROSPECT AVE. OTTAWA, ON K1H 1G2	
SURVEYOR: ANNIE O'SULLIVAN, VOLLEBEK LTD 10 CONQUEST DRIVE, SUITE 300 OTTAWA, ON K1H 1G2	
CONSULTANTS:	
STRUCTURAL: TSD	MECHANICAL: TSD
ELECTRICAL: TSD	MECHANICAL: TSD
5	REVISED SITE PLAN
4	REVISED SITE PLAN
3	REVISED SITE PLAN
2	REVISED SITE PLAN
1	PRELIMINARIES
NO.	REVISION/ISSUE
PROJECT:	3055 RICHMOND RD.
3055 RICHMOND RD.	OTTAWA, ON K2B 6S8
DRAWING NAME:	SITE PLAN
DRAWN BY:	F.M.
DATE:	APRIL 12, 2022
SCALE:	AS NOTED

A1

FILE NUMBER: D07-12-22-0147



UNPOISED ARCHITECTURE INC.
5-16 SWEETLAND AVE.
OTTAWA, ON K1N 7T6
AZUL DESIGNS
2377 PROSPECT AVE.
OTTAWA, ON K1H 1G2

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RESPONSIBILITIES:
DO NOT SCALE DRAWINGS
ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2006
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COPYRIGHT RESERVED
GENERAL NOTES:

3055 RICHMOND ROAD

SCOPE OF WORK: NEW 5 STOREY MID RISE RENTAL BUILDING - 21 UNITS

OWNER/DEVELOPER:
PARADELLER INC.
1000 DUNDAS ST. W.
OTTAWA, ON K1G 1S5

ARCHITECT/DESIGNER:
UNPOISED ARCHITECTURE INC.
5-16 SWEETLAND AVE.
OTTAWA, ON K1N 7T6

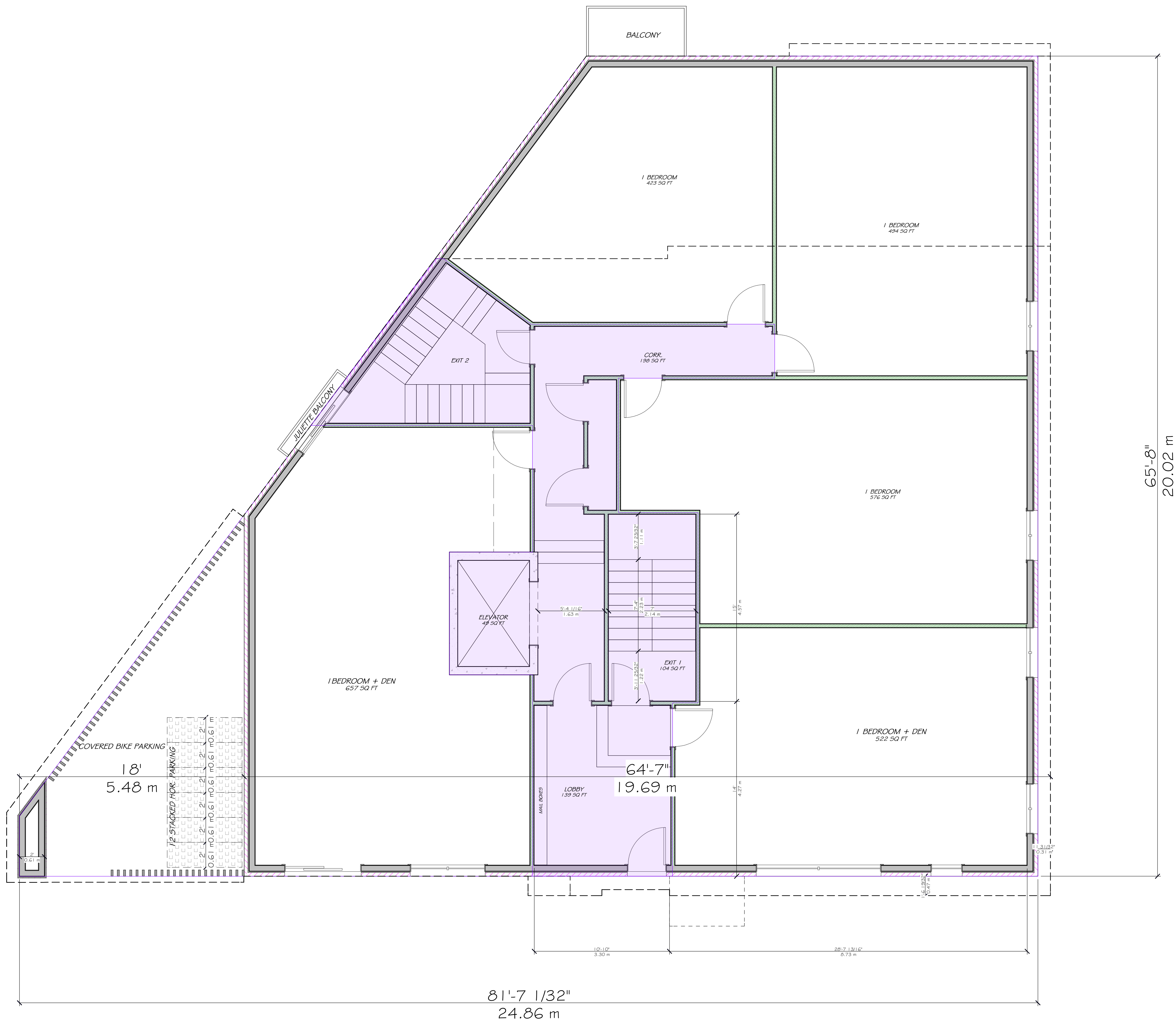
ARCHITECT PLANNER:
WEST CANADIAN
2377 PROSPECT AVE. SUITE 300
OTTAWA, ON K1H 1G2

CIVIL ENGINEER:
C.B. TOWN ENGINEERING INC.
100 DUNDAS ST. W. SUITE 100
OTTAWA, ON K1G 1S5

LANDSCAPING:
L.P. & S. ASSOCIATES
P.O. Box 437, Station 17
OTTAWA, ON K1H 1G2

SURVEYOR:
ANDR. OSULLIVAN, VOLLBERG LTD.
10 CONQUEST DRIVE, SUITE 300
OTTAWA, ON K1H 1G2

CONSULTANTS:		
STRUCTURAL: TSD		MDY
MECHANICAL: TSD		
ELECTRICAL: TSD		
5	REVISED SITE PLAN	09/08/25
4	REVISED SITE PLAN	09/08/24
3	REVISED SITE PLAN	08/09/22
2	REVISED SITE PLAN	07/09/22
1	PRELIMINARIES	04/10/22
NO.	REVISION/ISSUE	DATE
PROJECT: 3055 RICHMOND RD.		
3055 RICHMOND RD. OTTAWA, ON K2B 5S6		
DRAWING NAME: FLOOR PLANS		
DRAWN BY: F.M.	SHEET: A2	
DATE: APRIL 12, 2022		
SCALE: AS NOTED		



UNPOISED ARCHITECTURE INC.
5-16 SWEETLAND AVE.
OTTAWA, ON K1N 7T6
AZUL DESIGNS
2277 PROSPECT AVE.
OTTAWA, ON K1H 1G2

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COPYRIGHT RESERVED

GENERAL NOTES:

3055 RICHMOND ROAD

SCOPE OF WORK: NEW 5 STOREY MID RISE RENTAL BUILDING - 21 UNITS

OWNER/DEVELOPER:
PARADELLER INC.
1850 KENNEDY RD.
OTTAWA, ON K1B 1B5
KOB-185

ARCHITECT/DESIGNER:
UNPOISED ARCHITECTURE INC.
5-16 SWEETLAND AVE.
OTTAWA, ON
K1N 7T6

APRIL PLANNING:
WEST CANADIAN INC.
2511 GARDENWAY DR. SUITE 300
OTTAWA, ON
K2B 9K2

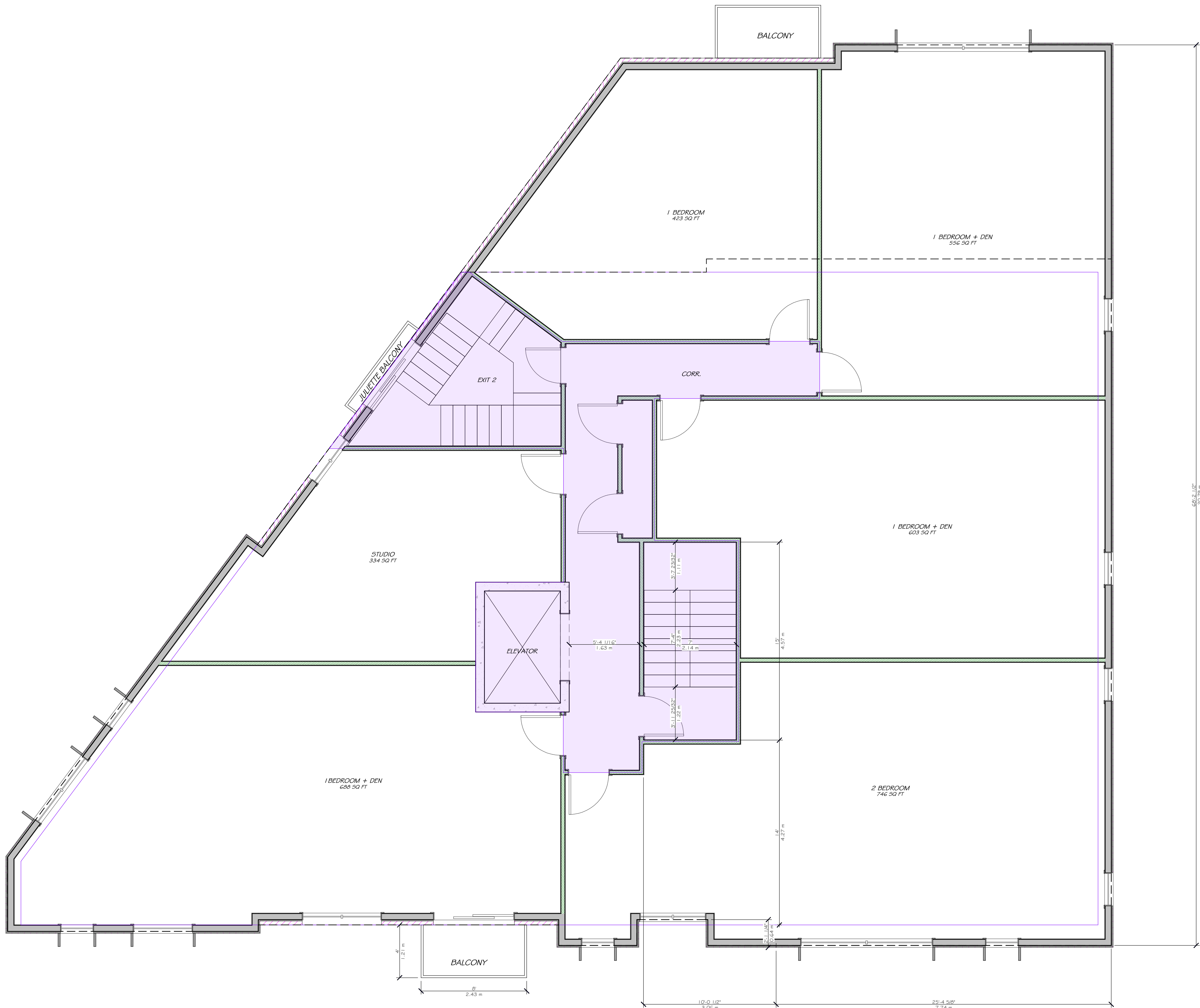
CIVIL ENGINEER:
C.B. 1504 PAPERBERRY INC.
100 LINDENHURST CIRCLE
OTTAWA, ON
K1T 1G3

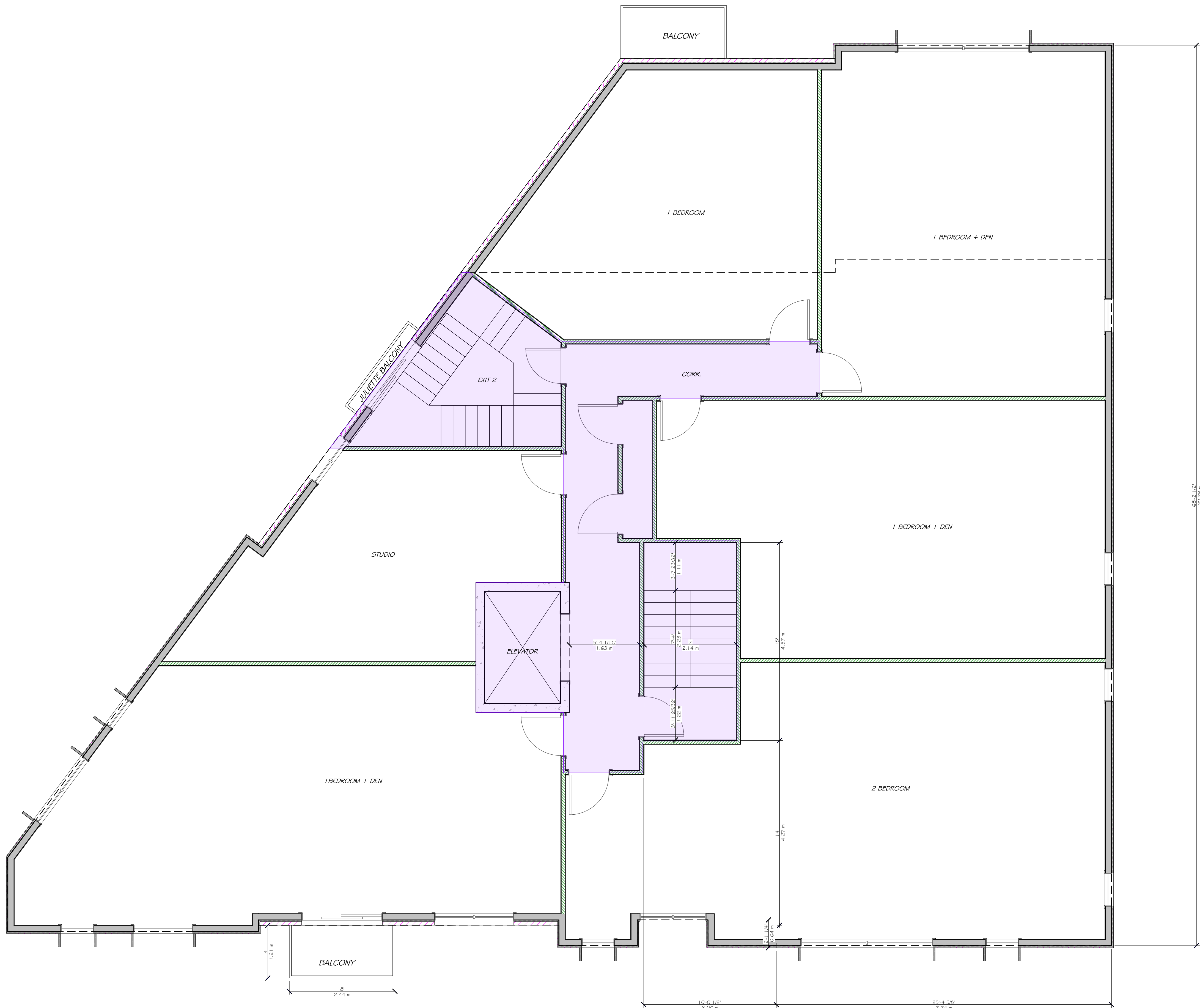
LANDSCAPING:
LORNA G. GORDON INC.
P.O. Box 627, Station T
OTTAWA, ON
K1N 1H1

SURVEYOR:
ARND, OSALUWAN, VOLLEBAEK LTD.
10 CONQUEST DRIVE, SUITE 301
OTTAWA, ON
K2E 7G8

CONSULTANTS:		
STRUCTURAL T&E		MDY
ELECTRICAL T&E		
5	REVISED SITE PLAN	09/08/25
4	REVISED SITE PLAN	09/08/24
3	REVISED SITE PLAN	08/09/22
2	REVISED SITE PLAN	07/09/22
1	PRELIMINARIES	04/10/22
NO.	REVISION/ISSUE	DATE
PROJECT: 3055 RICHMOND RD.		
3055 RICHMOND RD.		
OTTAWA, ON K2B 8S8		
DRAWING NAME: FLOOR PLANS		

DRAWN BY: F.M. SHEET: A3
DATE: APRIL 12, 2022
SCALE: AS NOTED







UNPOISED ARCHITECTURE INC.
5-16 SWEETLAND AVE.
OTTAWA, ON K1N 7T6
AZUL DESIGNS
2277 PROSPECT AVE.
OTTAWA, ON K1H 1G2

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COPYRIGHT RESERVED
GENERAL NOTES:

3055 RICHMOND ROAD
SCOPE OF WORK: NEW 5 STOREY MID RISE
RENTAL BUILDING - 21 UNITS

OWNER/DEVELOPER:
FARBER DEVELOPMENT
1855 MCNICOLL RD
OTTAWA, ON
K2B 1S6

ARCHITECT/DESIGNER:
UNPOISED ARCHITECTURE INC.
5-16 SWEETLAND AVE.
OTTAWA, ON
K1N 7T6

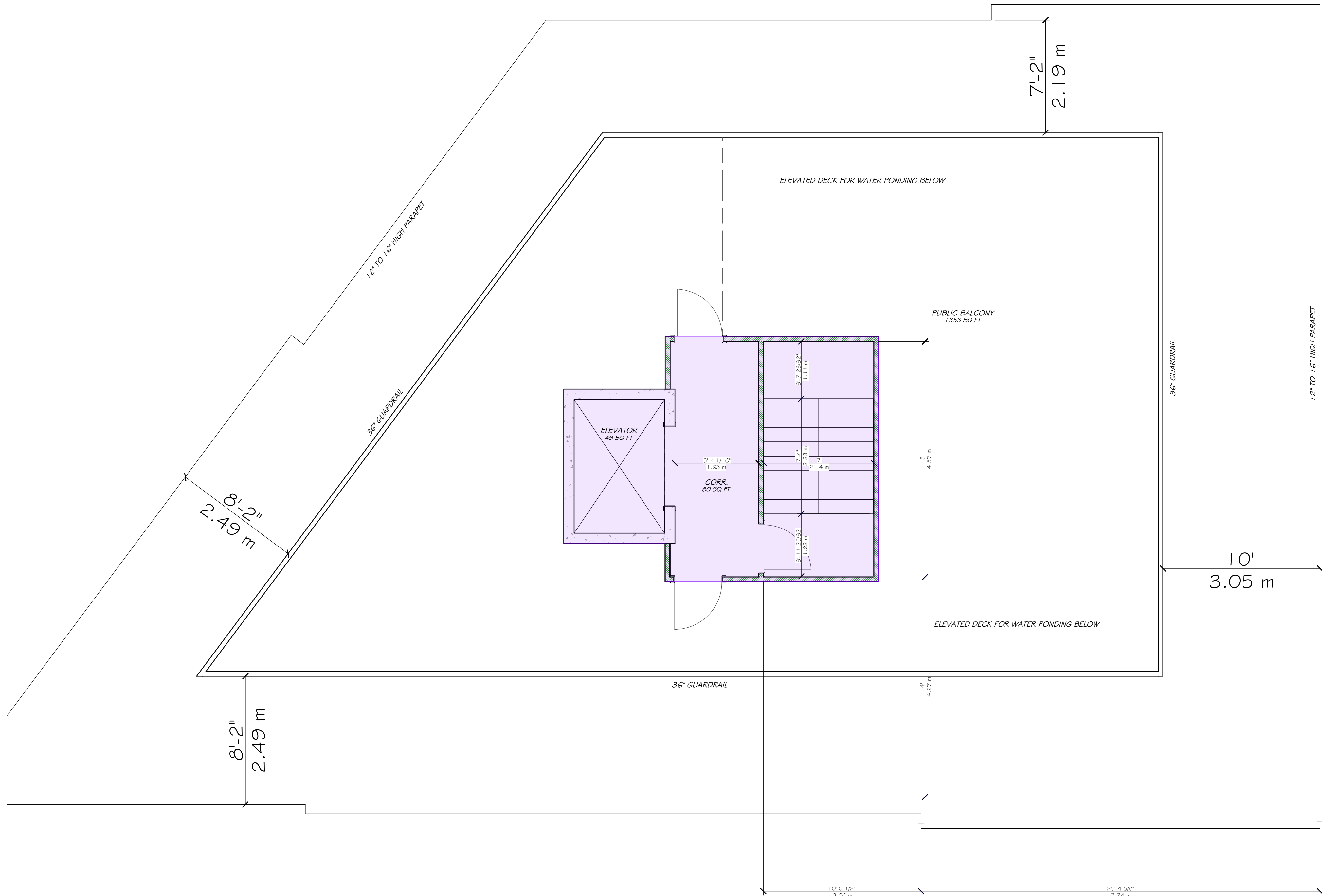
ARCHITECT PLANNER:
WEST CANADA INC.
2211 GARDENWAY DR. SUITE 300
OTTAWA, ON
K2B 9K2

CIVIL ENGINEER:
C.B. 1994 ENGINEERING INC.
100 LINDENHURST CIRCLE
OTTAWA, ON
K1T 1G3

LANDSCAPING:
L.P. & S. ASSOCIATES
P.O. Box 627, Salem CT
OTTAWA, ON
K1H 1H1

SUPERVISOR:
ANIR, OSALIMAN, VOLLEBERG LTD
10 CONQUEST DRIVE, SUITE 301
OTTAWA, ON
K2E 7G8

CONSULTANTS:		
STRUCTURAL, T&B		MOY
MECHANICAL, T&B		
ELECTRICAL, T&B		
5	REVISED SITE PLAN	09/2025
4	REVISED SITE PLAN	09/2024
3	REVISED SITE PLAN	08/2022
2	REVISED SITE PLAN	07/2022
1	PRELIMINARIES	04/2022
NO.	REVISION/ISSUE	DATE
PROJECT: 3055 RICHMOND RD.		
3055 RICHMOND RD.		
OTTAWA, ON K2B 1S6		
DRAWING NAME: FLOOR PLANS		
DRAWN BY: F.M.	SHEET:	
DATE: APRIL 12, 2022		
SCALE: AS NOTED		



UNPOISED ARCHITECTURE INC.
5-16 SWEETLAND AVE.
OTTAWA, ON K1N 7T6
K1N 7T6
AZUL DESIGNS
2377 PROSPECT AVE.
OTTAWA, ON K1H 1G2

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COPYRIGHT RESERVED

GENERAL NOTES:

3055 RICHMOND ROAD
SCOPE OF WORK: NEW 5 STOREY MID RISE
RENTAL BUILDING - 21 UNITS

OWNER/DEVELOPER:
FARBER ELMENDORF
1850 MCNICOLL RD
OTTAWA, ON K2B 1S6
K2B 1S6

ARCHITECT/DESIGNER:
UNPOISED ARCHITECTURE INC.
5-16 SWEETLAND AVE.
OTTAWA, ON
K1N 7T6

APPLICANT/PLANNER:
WEST CANADA INC.
2377 PROSPECT AVE. SUITE 300
OTTAWA, ON
K2B 1G2

CIVIL ENGINEER:
C.B. TROTT ENGINEERING INC.
10 LINDENHURST CIRCLE
OTTAWA, ON
K1T 1G3

LANDSCAPING:
LORNA S. GILCHRIST
P.O. Box 4207, Station T
OTTAWA, ON
K1T 1G3

SURVEYOR:
ANDR. OSULLIVAN, COLLEEN & CO.
10 LINDENHURST CIRCLE, SUITE 300
OTTAWA, ON
K2B 1G2

CONSULTANTS:		
STRUCTURAL: TBD		
MECHANICAL: TBD		
ELECTRICAL: TBD		
5	REVISED SITE PLAN	09/2025
4	REVISED SITE PLAN	09/2024
3	REVISED SITE PLAN	08/2022
2	REVISED SITE PLAN	07/2022
1	PRELIMINARY	04/12/22
NO.	REVISION/ISSUE	DATE

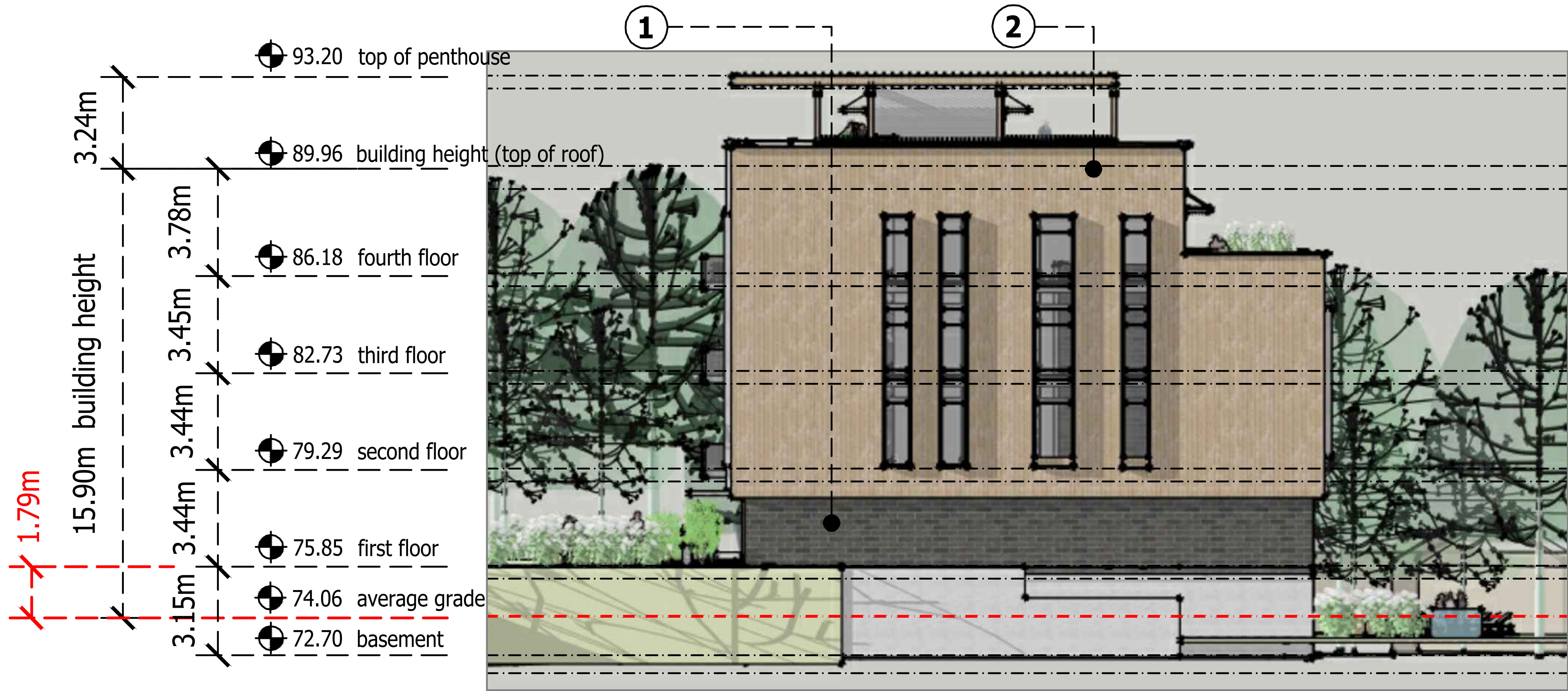
PROJECT: 3055 RICHMOND RD.
3055 RICHMOND RD.
OTTAWA, ON K2B 1S6
613-000-0000

DRAWING NAME:
FLOOR PLANS

DRAWN BY: F.M. SHEET: A7
DATE: APRIL 12, 2022
SCALE: AS NOTED

EXTERIOR FINISH LEGEND

1. Brick Veneer: clay brick, colour: graphite by Brampton Brick
2. Wood Siding: vertical 'V' joint profile, western cedar, semi-transparent stain by Cape Cod
3. Vertical Lattice: 2"x 2" western cedar, 3" spacing, semi-transparent stain by Cape Cod



east elevation

EXTERIOR FINISH LEGEND

1. Brick Veneer: clay brick, colour: graphite by Brampton Brick
2. Wood Siding: vertical 'V' joint profile, western cedar, semi-transparent stain by Cape Cod
3. Vertical Lattice: 2"x 2" western cedar, 3" spacing, semi-transparent stain by Cape Cod



north elevation

1. Brick Veneer: clay brick, colour: graphite by Brampton Brick
2. Wood Siding: vertical 'V' joint profile, western cedar, semi-transparent stain by Cape Cod
3. Vertical Lattice: 2"x 2" western cedar, 3" spacing, semi-transparent stain by Cape Cod



3055 RICHMOND ROAD

SCOPE OF WORK: NEW 5 STOREY MID RISE
RENTAL BUILDING - 21 UNITS

WINDERDEVELOPER:
ARRIS ELIASBACH
3000 MEDIANE RD.
TAMPA, ON.
202 556

ARCHITECT/DISIGNER:
IMPORSED ARCHITECTURE INC.
SWEETLAND AVE.
TAMPA, ON.
1N-776

SUPPLICANT/PLANNER:
ISP CANADA INC.
311 QUEENSWAY DR. SUITE 300
TAMPA, ON.
20-982

CIVIL ENGINEER:
B. GRAY ENGINEERING INC.
300 LONG POINT CIR.
TAMPA, ON.
1T-4E9

LANDSCAPING:
JOHN K. SZCZEPANIAK
Box 4037, Station 1E
TAMPA, ON.
1S 682

SURVEYOR:
VOLLES, O'SULLIVAN, VOLLEBECK LTD
CONCOURSE GATE - SUITE 500
TAMPA, ON.
20-756

CONSULTANTS:			MDY
3	STRUCTURAL - TSD		09/28/25
4	MECHANICAL - TSD		09/28/24
5	ELECTRICAL - TSD		05/26/24
3	REVISED SITE PLAN		09/06/22
4	REVISED SITE PLAN		07/20/22
2	REVISED SITE PLAN		04/12/22
1	PRELIMINARIES		
NO.	REVISION/ISSUE	DATE	

PROJECT: **3055 RICHMOND RD.**

3055 RICHMOND RD.
OTTAWA, ON K2G 6S6

613-000-0000

DRAWING NAME:

**SOUTH
ELEVATION**

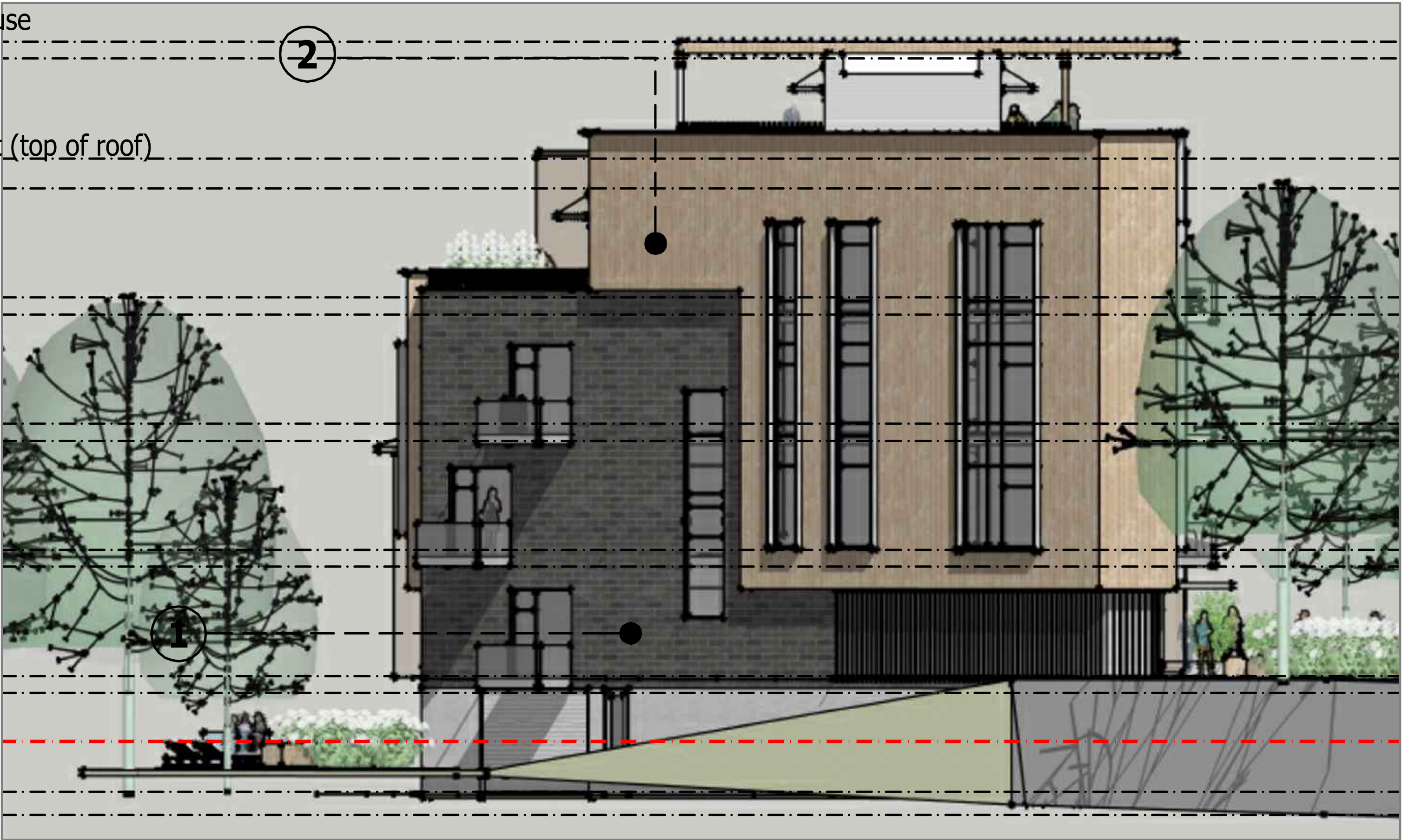
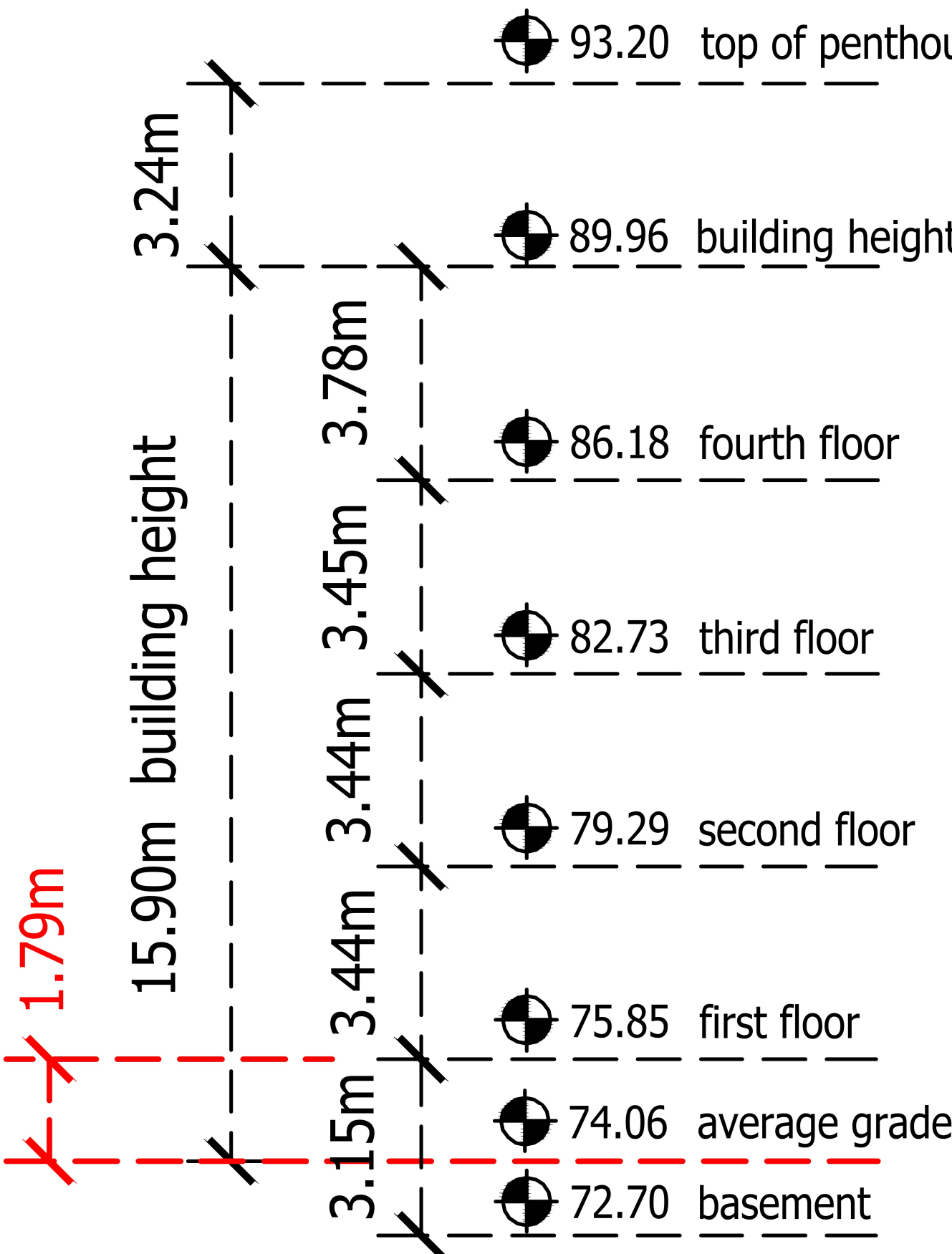
DRAWN	F.M.	SHEET:
DATE: APRIL 26, 2022		
SCALE: AS NOTED		

A10

FILE NUMBER: D07-12-22-0147

EXTERIOR FINISH LEGEND

1. Brick Veneer: clay brick, colour: graphite by Brampton Brick
2. Wood Siding: vertical 'V' joint profile, western cedar, semi-transparent stain by Cape Cod
3. Vertical Lattice: 2"x 2" western cedar, 3" spacing, semi-transparent stain by Cape Cod



west elevation