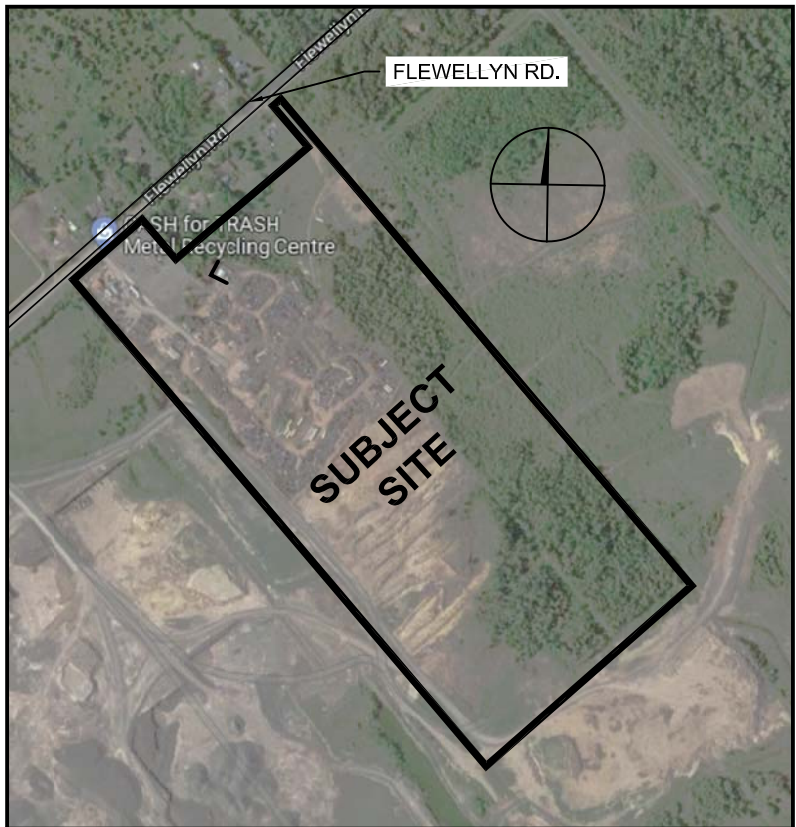
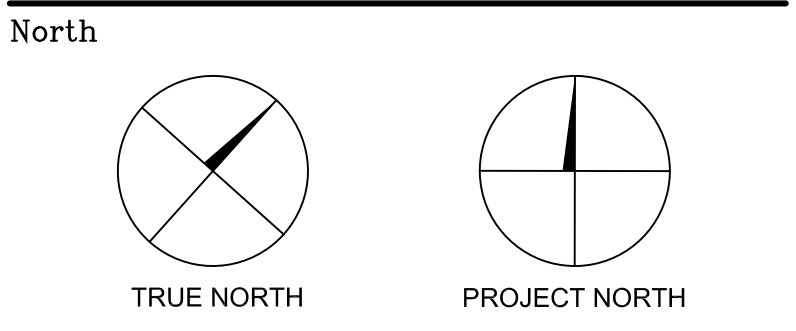




LOCATION PLAN



Revisions			
No.	By	Description	Date
01	JT	ISSUED FOR SITE PLAN APPLICATION	31 JAN 2024
02	JT	REVISED AND ISSUED FOR REVIEW	15 AUG 2024
03	JT	REVISED AND ISSUED FOR REVIEW	19 JUN 2025
04	KE	REVISED AND ISSUED FOR REVIEW	22 JULY 2025

Project
CFT
SITE PLAN
ZONING AMENDMENT

7628 FLEWELLYN RD., OTTAWA

Drawing
ZONING INFORMATION
LOCATION PLAN, EXIST.
AND NEW SITE PLAN

Scale AS NOTED
Stamp
Drawn JAS/KE
Checked

Project No. 21-139
Drawing No. **SP-A01**
Date AUGUST 2021

SITE INFORMATION:

SITE AREA: 20.725 hectares / 51.21 acres
LEGAL DESCRIPTION: PART OF LOT 12, CONCESSION 8
GEOGRAPHIC TOWNSHIP OF GOULBOURN
CITY OF OTTAWA
PIN: 04438-0006

BUILDING INFORMATION

EXISTING BUILDING AREA:		
BUILDING A -	FERROUS METALS	59.0 SM
BUILDING B -	WEIGH SCALE OFFICE	49.9 SM
BUILDING C -	STAFF TRAILERS	111.8 SM
BUILDING D -	VEHICLE DRAINAGE SHED	91.4 SM
BUILDING E -	ATM	14.5 SM
BUILDING F -	OFFICE	81.4 SM
TOTAL		408.0 SM

NOTE: BUILDINGS A & C ARE PROPOSED TO BE DEMOLISHED; BUILDINGS B, D & E ARE PROPOSED TO BE RELOCATED

NEW BUILDING AREA:		
BUILDING G -	WAREHOUSE AND OFFICE (2 STOREYS)	2,008.6 SM
BUILDING H -	TRUCK MAINTENANCE AND REPAIR	937.0 SM
TOTAL AREA PROPOSED		2,945.6 SM

EXISTING TO REMAIN AND TO BE RELOCATED BUILDING AREA:		
BUILDING B -	WEIGH SCALE OFFICE (RELOCATED)	49.9 SM
BUILDING D -	VEHICLE DRAINAGE SHED (RELOCATED)	91.4 SM
BUILDING E -	ATM (RELOCATED)	14.5 SM
BUILDING F -	OFFICE	81.4 SM
TOTAL TO REMAIN		237.2 SM

ZONING INFORMATION (CITY OF OTTAWA BYLAW 2008 250)

CURRENT ZONING DESIGNATIONS: RG1(211) - RURAL GENERAL INDUSTRIAL
RU - RURAL COUNTRYSIDE

RG1 ZONING IS TO REMAIN; A PORTION OF THE AREA CURRENTLY ZONED AS RU IS PROPOSED TO BE ZONED AS RG1

ZONING BYLAW 2008-250 (Part 11 Sections 219, 220 and 227)

RG1 PERMITTED USES:	RU PERMITTED USES:
ANIMAL CARE ESTABLISHMENT	AGRICULTURAL USE
ANIMAL HOSPITAL	AGRICULTURE-RELATED USE
AUTOMOBILE BODY SHOP	ANIMAL CARE ESTABLISHMENT
AUTOMOBILE DEALERSHIP	ANIMAL HOSPITAL
AUTOMOBILE SERVICE STATION	ARTIST STUDIO
CANNABIS PRODUCTION FACILITY	BED AND BREAKFAST
DRIVE-THROUGH FACILITY	CANNABIS PRODUCTION FACILITY
DWELLING UNIT	CEMETERY
GAS BAR	DETACHED DWELLING
HEAVY EQUIP. & VEHICLE SALES, RENTAL & SERV.	EQUESTRIAN ESTABLISHMENT
KENNEL	ENVIRON. PRESERVE & EDUCATIONAL AREA
LEAF AND YARD WASTE COMPOSTING FACILITY	FORESTRY OPERATION
LIGHT INDUSTRIAL USES	GROUP HOME
PARKING LOT	HOME-BASED BUSINESS
PRINTING PLANT	HOME-BASED DAY CARE
RETAIL STORE (LIMITED TO AGRIC. CONST. & LANDSCAPE EQUIP. & SUPPLIES)	KENNEL
SERVICE AND REPAIR SHOP	ON-FARM DIVERSIFIED USE
STORAGE YARD	RETIREMENT HOME
TRUCK TRANSPORT TERMINAL	SECONDARY DWELLING UNIT
WAREHOUSE	
WASTE PROCESSING AND TRANSFER FACILITY (NON-HAZARDOUS)	

EXCEPTION 21R:
A DETACHED DWELLING MUST BE ACCESSORY TO A PRINCIPAL USE.

ZONING PROVISIONS (TABLE 219 AND 227):

	RG1	RU
MINIMUM LOT WIDTH:	60 M	50 M (60 M IF AGRICULTURAL)
MINIMUM LOT AREA:	8.0 HA	0.8 HA (2.0 HA IF AGRICULTURAL)
MINIMUM SETBACKS:		
FRONT YARD:	15.0 M	10.0 M
REAR YARD:	15.0 M	10.0 M
INTERIOR SIDE YARD:	8.0 M	5.0 M
CORNER SIDE YARD:	12.0 M	10.0 M
MAXIMUM BUILDING HEIGHT:	15.0 M	12.0 M
MAXIMUM LOT COVERAGE:	50%	20%

PARKING (Part 4, Sections 100-114)

PARKING DESIGNATION: SCHEDULE 1A: AREA D - RURAL

PARKING SPACES (TABLE 101, ROWS N49, N59 AND N95):

MINIMUM PARKING REQUIRED:	
LIGHT INDUSTRIAL:	8 (0.8 PER 100 SM OF GFA)
OFFICE	24 (2.4 PER 100 SM OF GFA)
WAREHOUSE:	4 (0.4 PER 100 SM OF GFA)
TOTAL	36

PROPOSED PARKING : 224 (INCLUDING 91 FOR "CFT AUTO" STOCK)

PARKING AREA LANDSCAPING PROVISIONS (SECTION 110):

LANDSCAPE BUFFER REQUIRED FOR A PARKING LOT:
3.0 M FOR A PARKING LOT ABUTTING A STREET*; 3 M
1.5 M FOR PARKING AREAS NOT ABUTTING A STREET*; 1.5 M
*FOR A PARKING LOT CONTAINING 100 MORE SPACES
PROPOSED MINIMUM IS 3.0 M, ACTUAL IS APPROX. 3.9 M

BICYCLE PARKING (SECTION 111): 1 PER 1,000 SM
REQUIRED FOR BUILDING G: 3
REQUIRED FOR BUILDING H: 1
PROPOSED FOR BUILDING G: 3
PROPOSED FOR BUILDING H: 1
NOTE THAT BUILDING G AND BUILDING H PROPOSED BICYCLE PARKING WILL BE PROVIDED IN ONE LOCATION CLOSE TO BUILDING G
MINIMUM WIDTH: 0.6 M
MINIMUM LENGTH: 1.8 M

SEE 03/SP-A02 FOR CONTINUATION OF ZONING INFORMATION

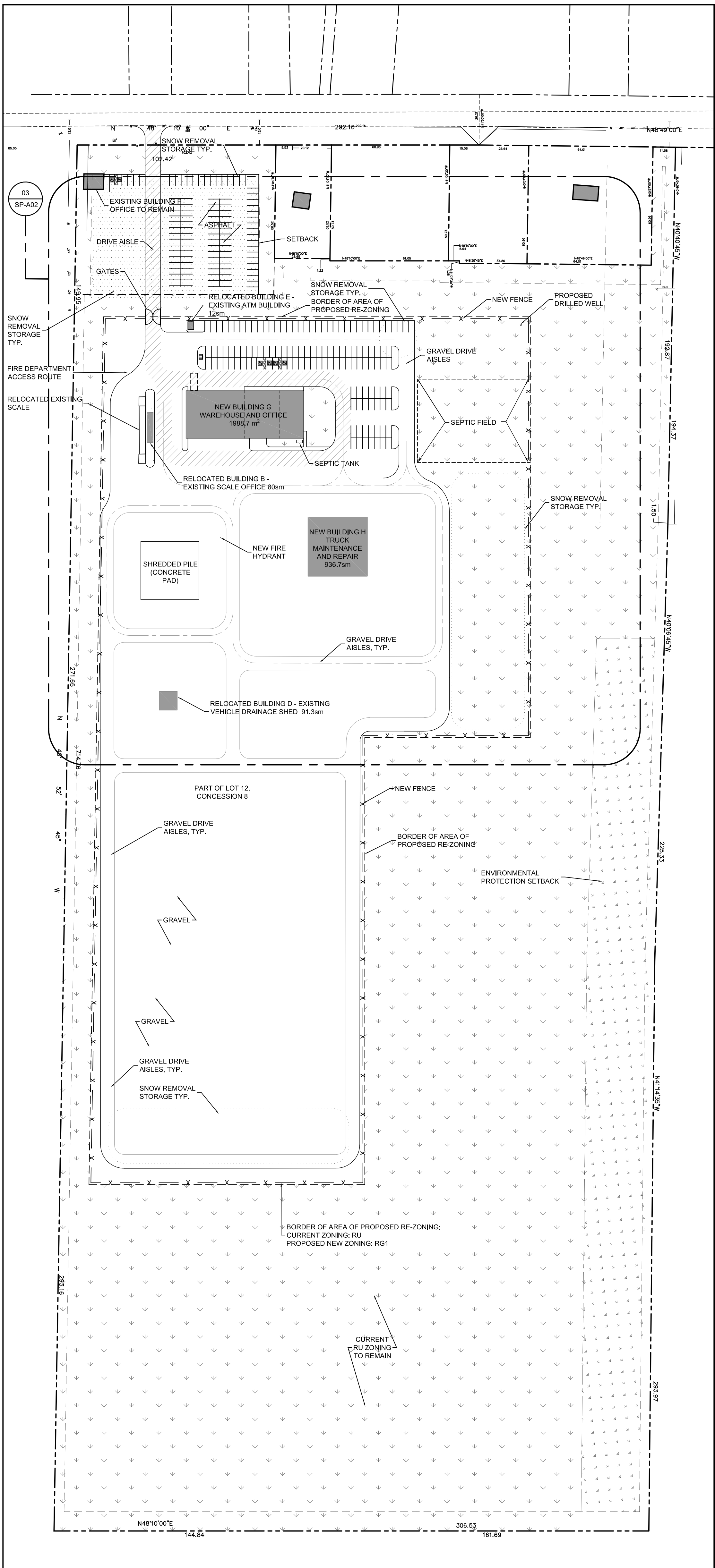
02 SITE, BUILDING AND ZONING INFORMATION

SCALE: N/A

LEGEND	
---	PROPERTY LINE
---	SETBACK FOR RU AND RG1 ZONING
---	BORDER OF AREA OF PROPOSED RE-ZONING
---	SNOW REMOVAL STORAGE
X	FENCE
---	AREA OF PROPOSED RE-ZONING SHOWN IN 03/SP-A01
---	EXISTING LANDSCAPE TO REMAIN
---	ASPHALT
---	FIRE DEPARTMENT ACCESS ZONE
---	ENVIRONMENTAL PROTECTION ZONE

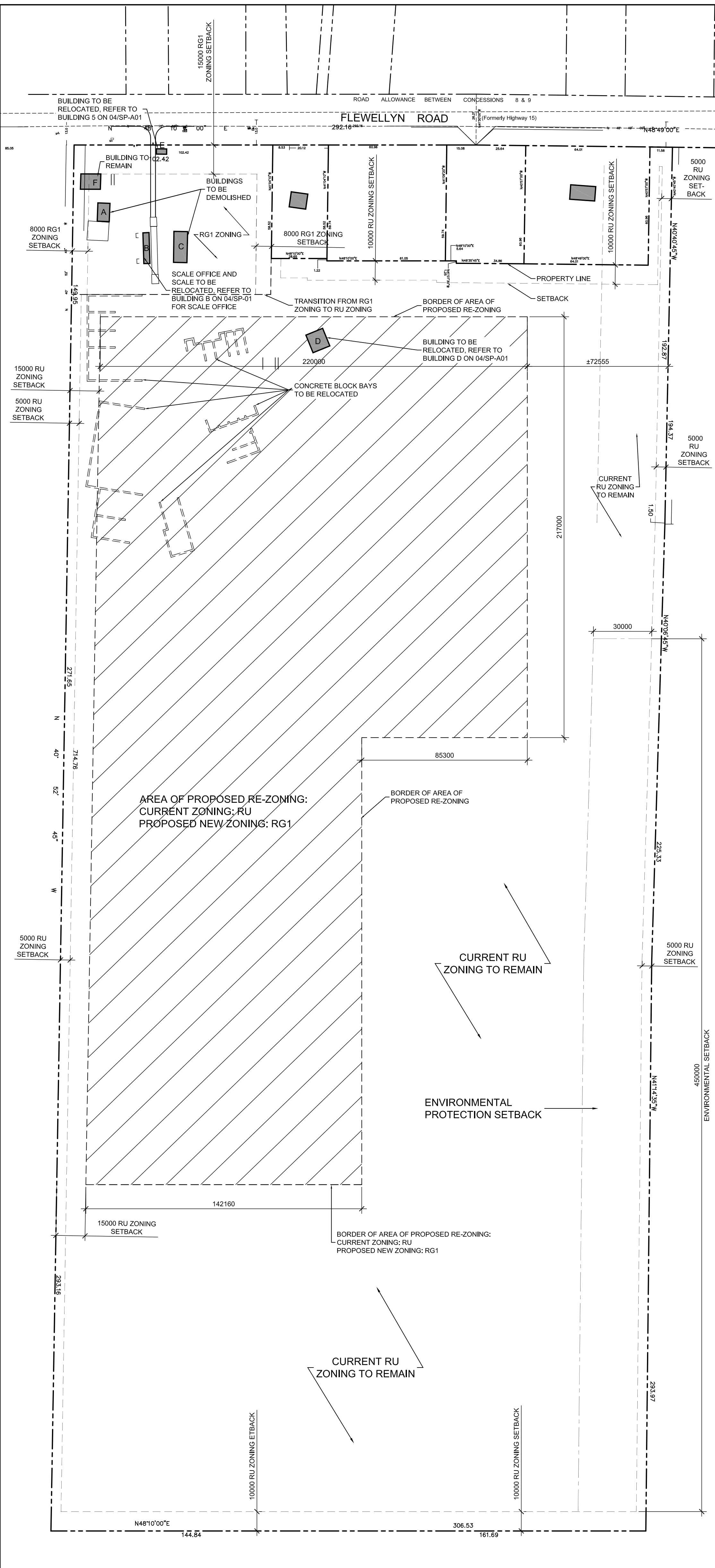
01 LEGEND & SCALE

SCALE: N/A



04 FULL SITE PLAN: NEW LAYOUT

SCALE: 1:1250



03 FULL SITE PLAN - EXISTING BUILDINGS, ZONING AND PROPOSED REZONING

SCALE: 1:1500