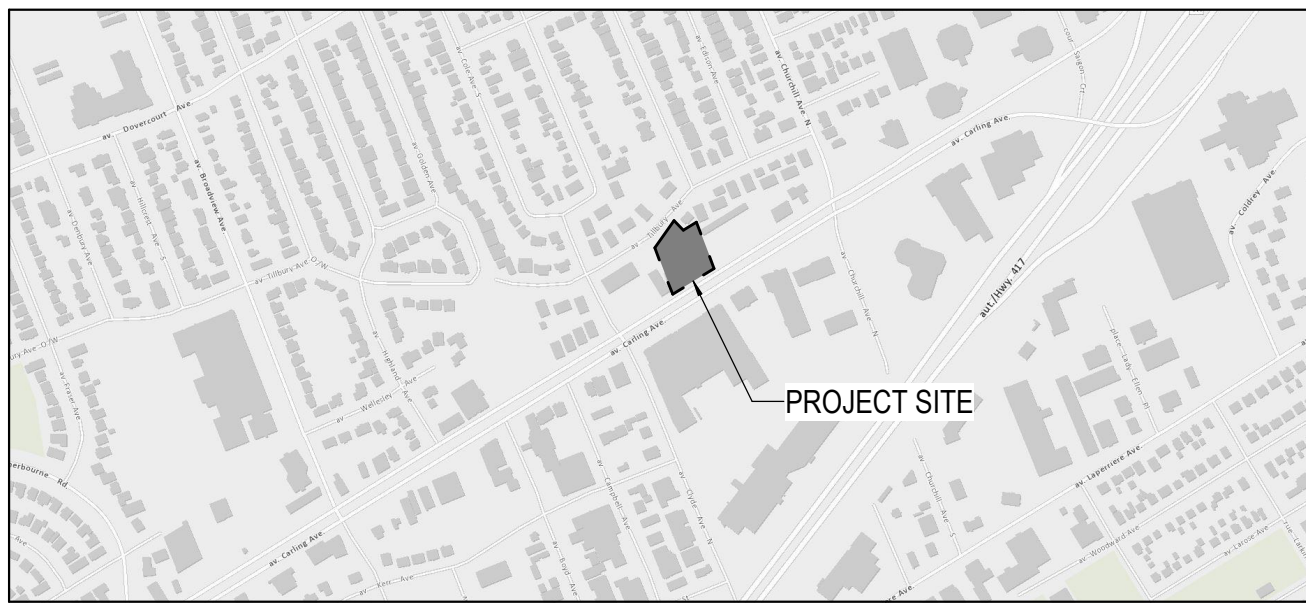


1 SITE PLAN
SP-01 SCALE: 1 : 200



2 LOCATION PLAN
SP-01 SCALE: NTS

SITE PLAN SYMBOLS LEGEND

	BUILDING ENTRANCE		FIRE DEPARTMENT CONNECTION
	BUILDING EXIT		FIRE HYDRANT
	BICYCLE PARKING		FIRE HYDRANT TO BE RELOCATED
	PROPERTY LINE		EXISTING UTILITY POLE TO REMAIN
	SETBACK LINE		EXISTING TOPOGRAPHY
	PAVERS		
R.L.	REDUCED LENGTH PARKING SPACE (4600mm x 2600mm)		
R.W.	REDUCED WIDTH PARKING SPACE (5200mm x 2400mm)		

TOPOGRAPHIC PLAN OF SURVEY OF
PART OF LOT 2
REGISTERED PLAN 492
AND
PART OF BLOCK 4
REGISTERED PLAN 310595
GEOGRAPHIC TOWNSHIP OF NEPEAN
CITY OF OTTAWA
STANTEC GEOMATICS LTD. 2023

SURVEY INFO
SCALE: 1 : 200

SITE PLAN NOTES

- ASPHALT
- EXISTING STRUCTURE TO BE DEMOLISHED
- CONCRETE SIDEWALK
- REFER TO LANDSCAPE
- DEPRESSED CURB
- EXISTING RETAINING WALL
- 2m HIGH WOOD PRIVACY FENCE
- CANOPY/BUILDING ABOVE
- CONCRETE
- RAILING
- REFER TO LANDSCAPE
- PRIVATE TERRACE
- CURB RAMP
- ASPHALT CYCLE TRACK
- PAINTED LINES

OWNER
INSIDE EDGE PROPERTIES
464 BANK STREET, SUITE 200
OTTAWA, ON, K2P 1Z3

ARCHITECT
PROJECT1 STUDIO
260 ST. PATRICK ST, SUITE 300
OTTAWA, ON, K1N 5K5

PLANNER
FOTENN PLANNING + DESIGN
396 COOPER ST SUITE, SUITE 300
OTTAWA, ON, K2P 2H7

CIVIL ENGINEER
LRL ENGINEERING
5430 CANOTEK RD
OTTAWA, ON, K1J 9G2

SURVEYOR
STANTEC GEOMATICS LTD.
1331 CLYDE AVENUE, SUITE 300
OTTAWA, ON, K2C 0A9

LANDSCAPE ARCHITECT
GJA INC
110 DIDSBURY ROAD, UNIT 9
OTTAWA, ON, K2T0C2

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10	ISSUED FOR COORDINATION	2025-03-04
9	REISSUED FOR RE-ZONING	2025-01-14
8	ISSUED FOR COORDINATION	2025-01-10
7	ISSUED FOR COORDINATION	2024-10-01
6	ISSUED FOR COORDINATION	2024-09-20
5	REISSUED FOR RE-ZONING	2024-07-05
4	ISSUED FOR COORDINATION	2024-06-27
3	ISSUED FOR RE-ZONING	2024-05-29
2	ISSUED FOR COORDINATION	2024-03-07
1	ISSUED FOR COORDINATION	2023-10-30

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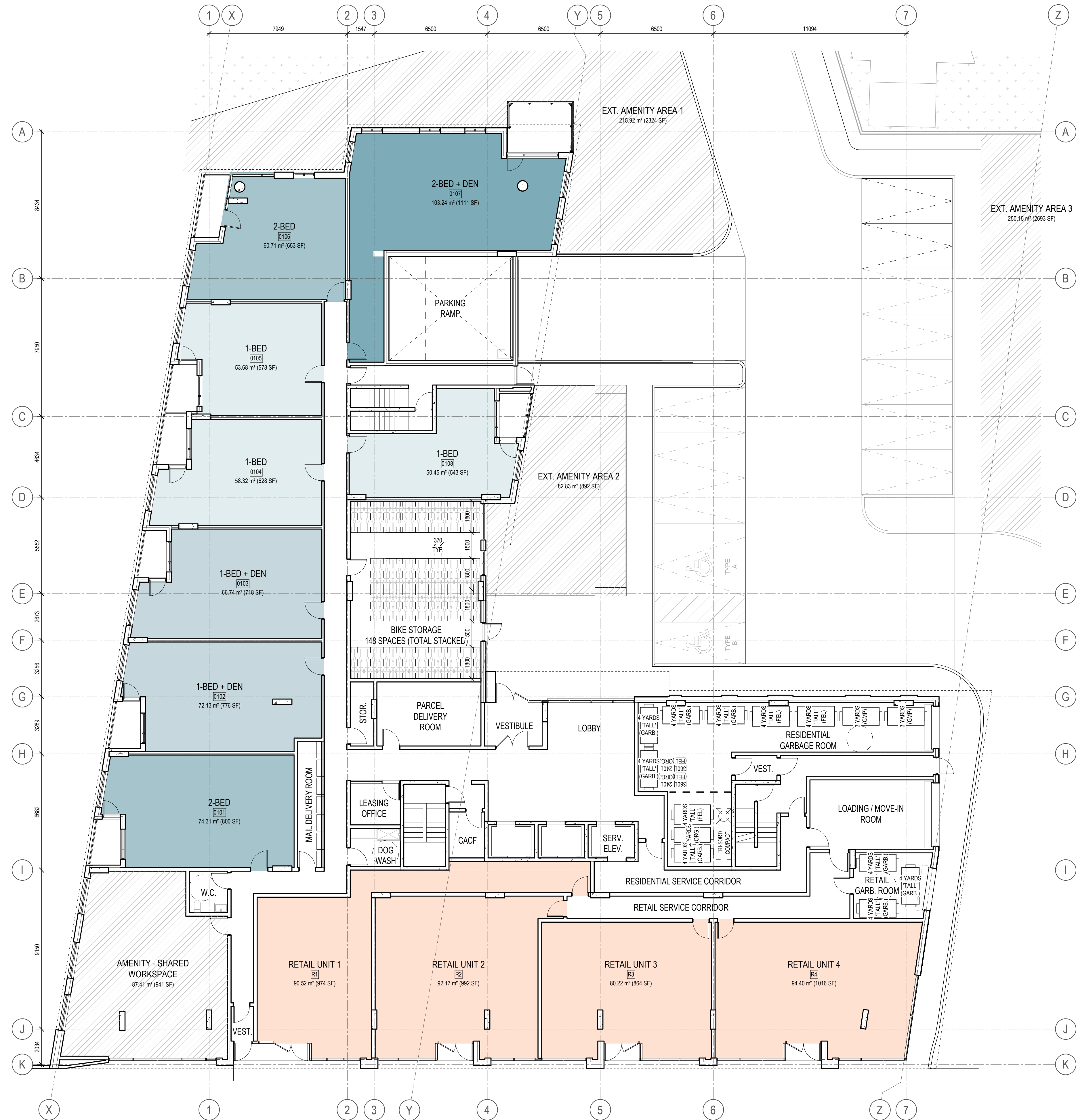
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Ottawa, ON K2A 0Y2

PROJ	SCALE	DRAWN	REVIEWED
2213	NOTED	JH/BH	RMK

SITE PLAN

SP-01

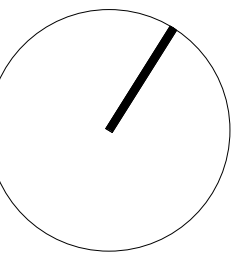


1 FLOOR PLAN - LEVEL 01
A101 SCALE: 1 : 125

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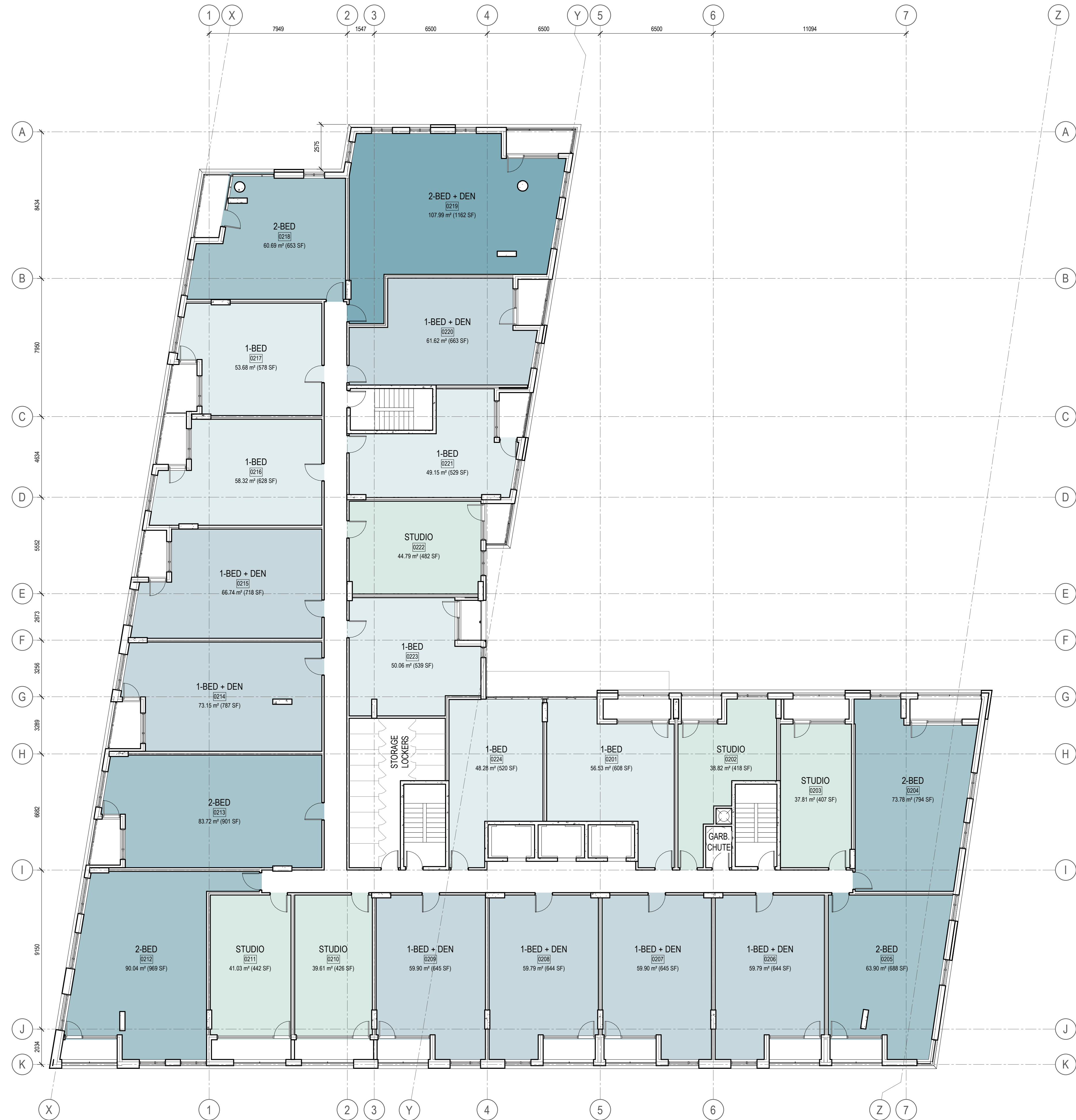
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FLOOR PLAN LEVEL 01

A101

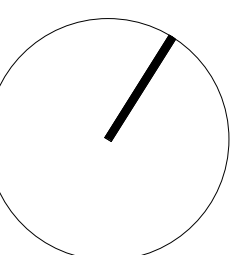



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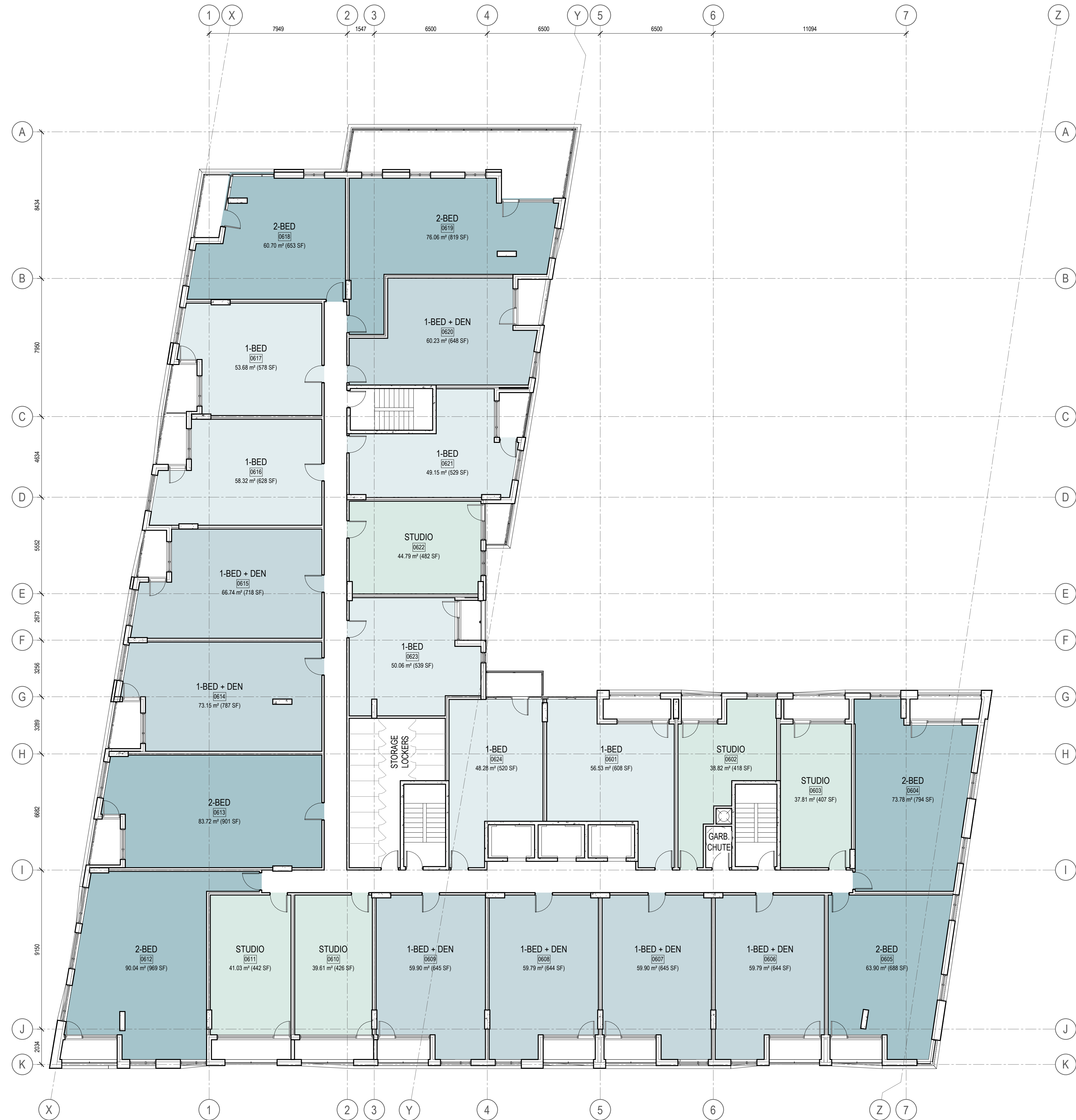
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2213	NOTED	JH/BH	RMK

FLOOR PLAN LEVEL 02-04

A102

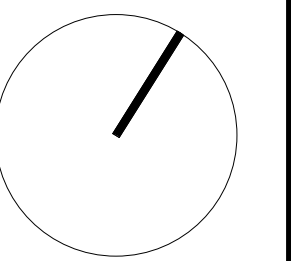


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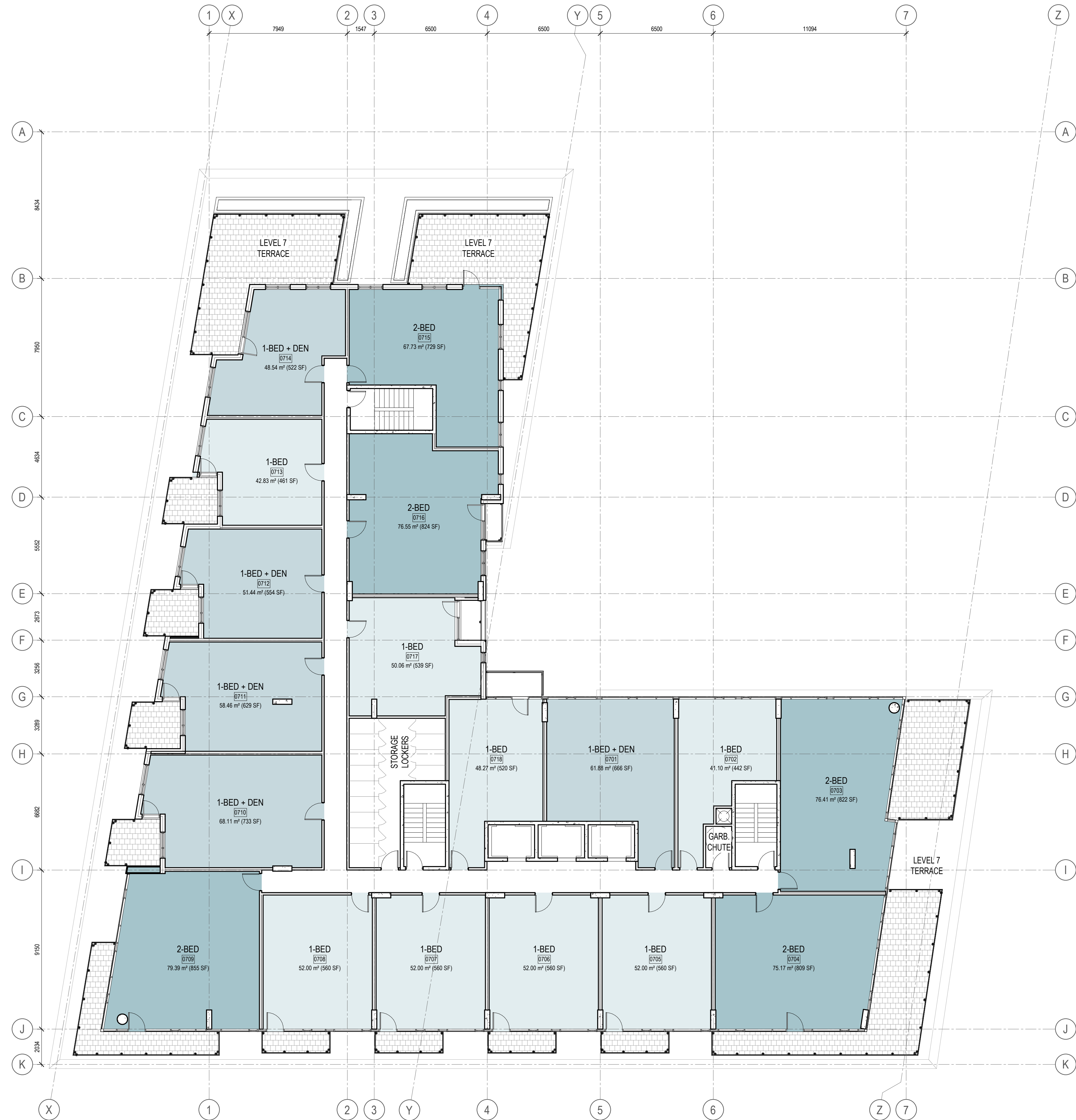
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FLOOR PLAN LEVEL 05-06

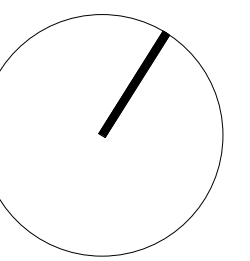


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FLOOR PLAN LEVEL 07-08

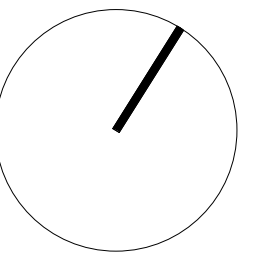


1 FLOOR PLAN - LEVEL 09
A105 SCALE: 1 : 125

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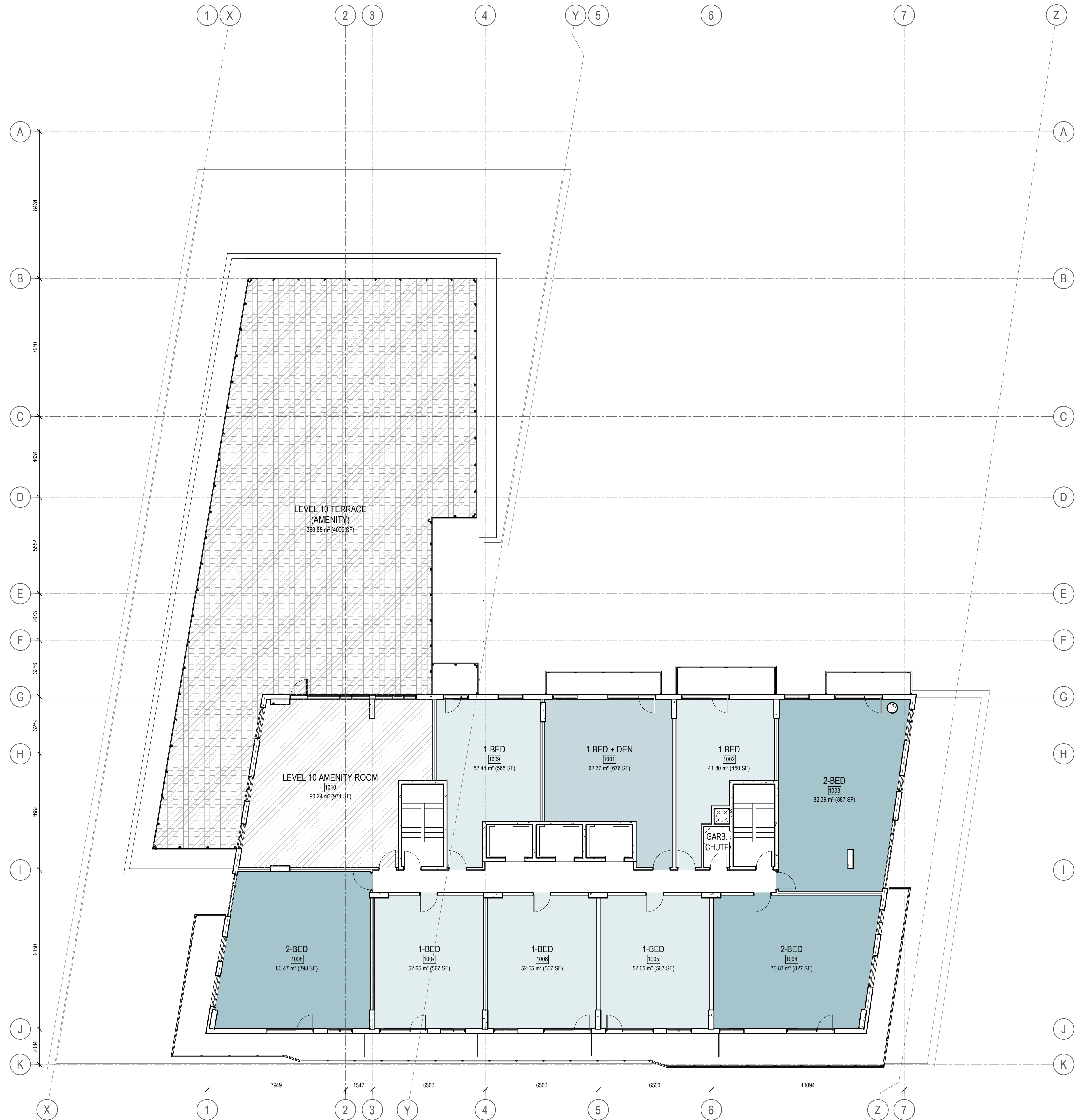
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FLOOR PLAN LEVEL 09

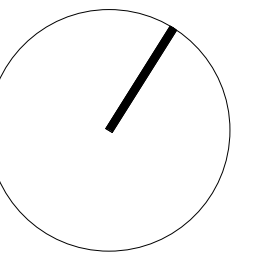
A105



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FLOOR PLAN LEVEL 10

A106



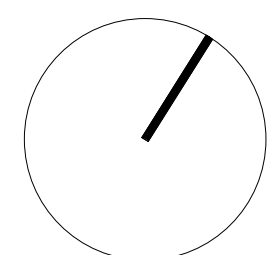

1 FLOOR PLAN - LEVEL 11-28
A107 SCALE: 1 : 125

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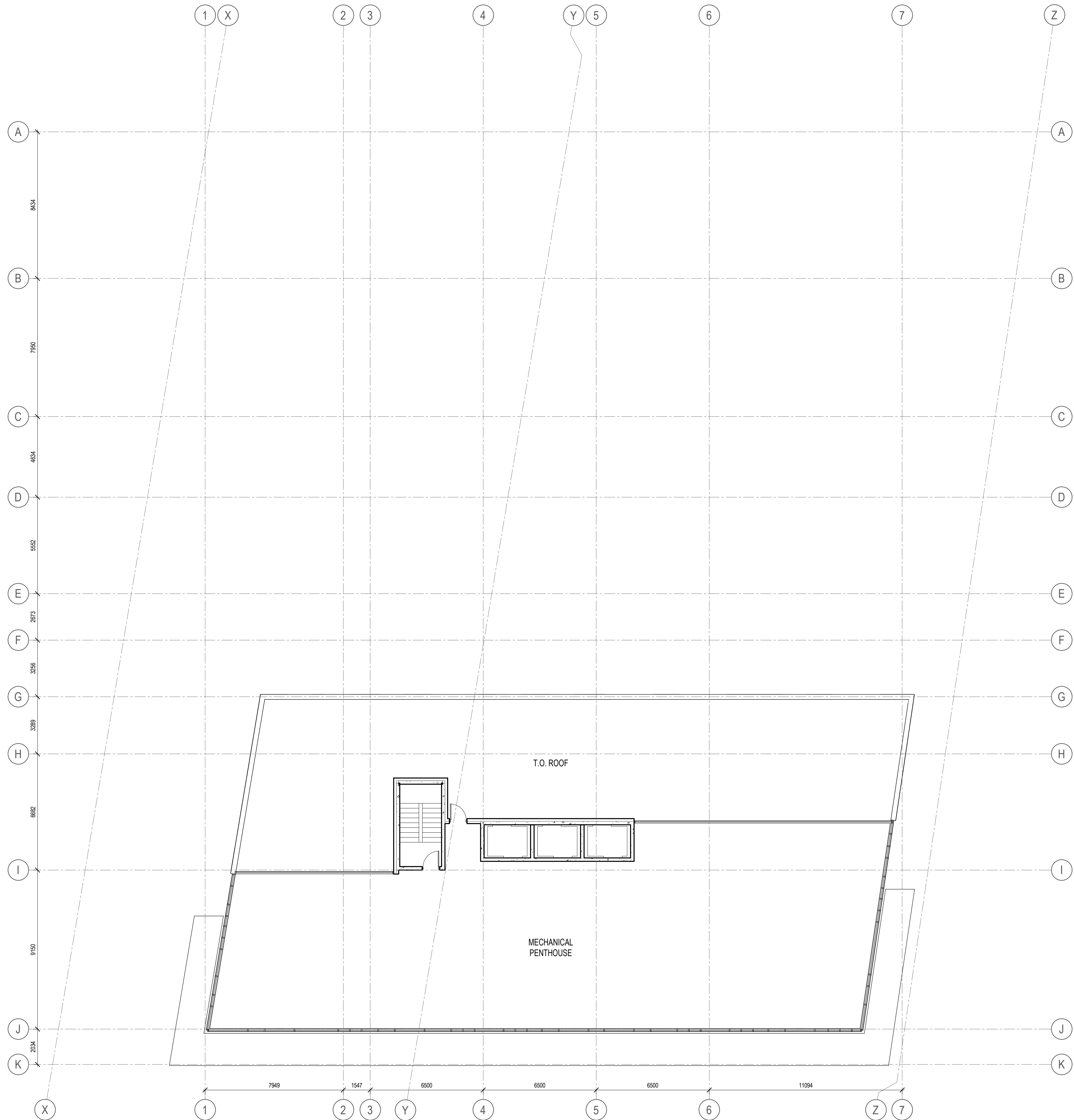
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FLOOR PLAN LEVEL 11-28

A107



1 ROOF/MECHANICAL PENTHOUSE PLAN
A108 SCALE: 1 : 125

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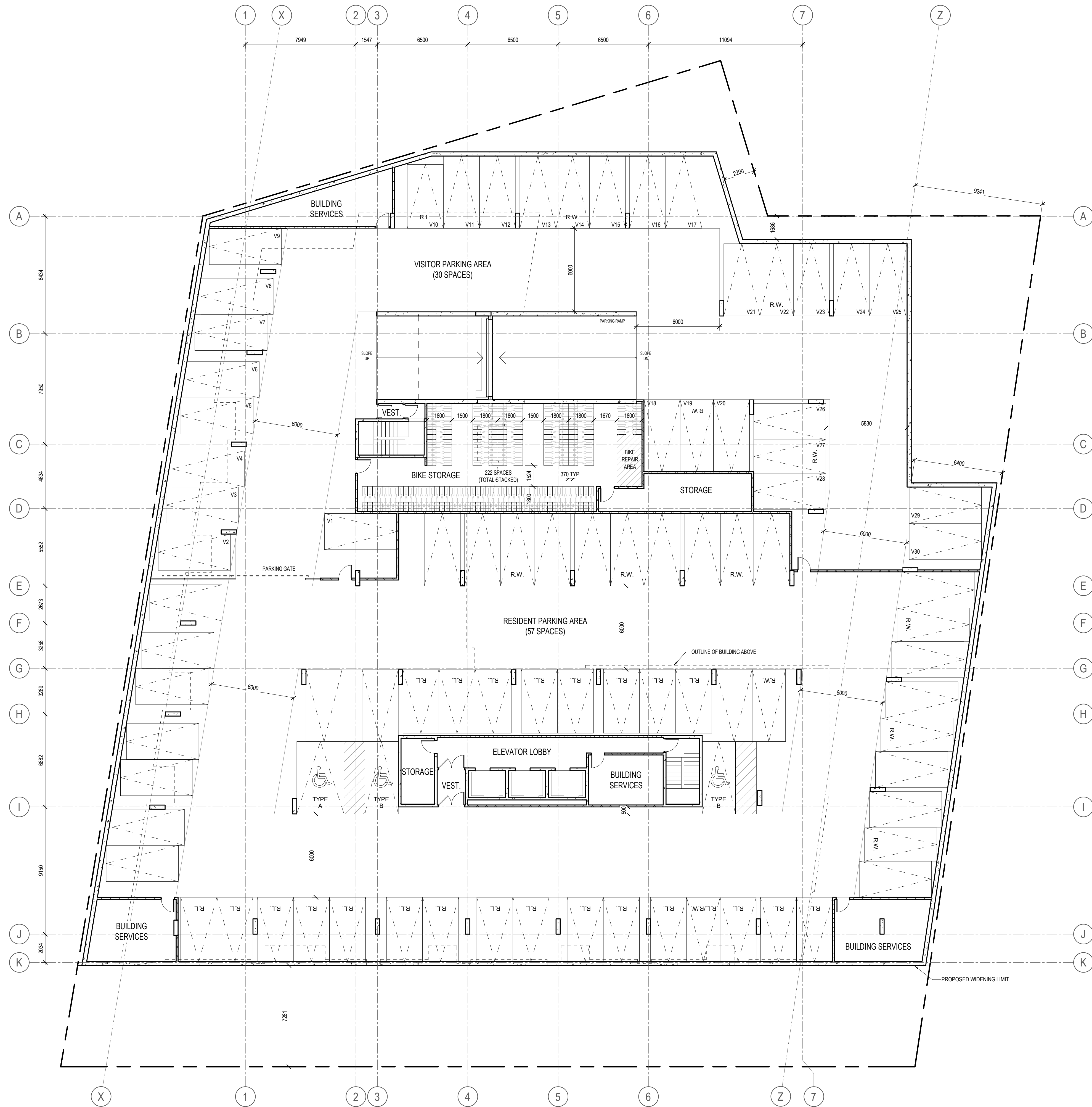
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ROOF/MECHANICAL
PENTHOUSE PLAN

A108

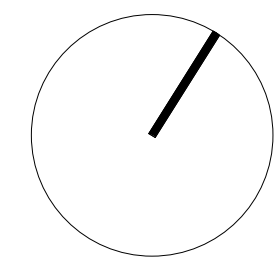


1 FLOOR PLAN - LEVEL P1
A109 SCALE: 1 : 150

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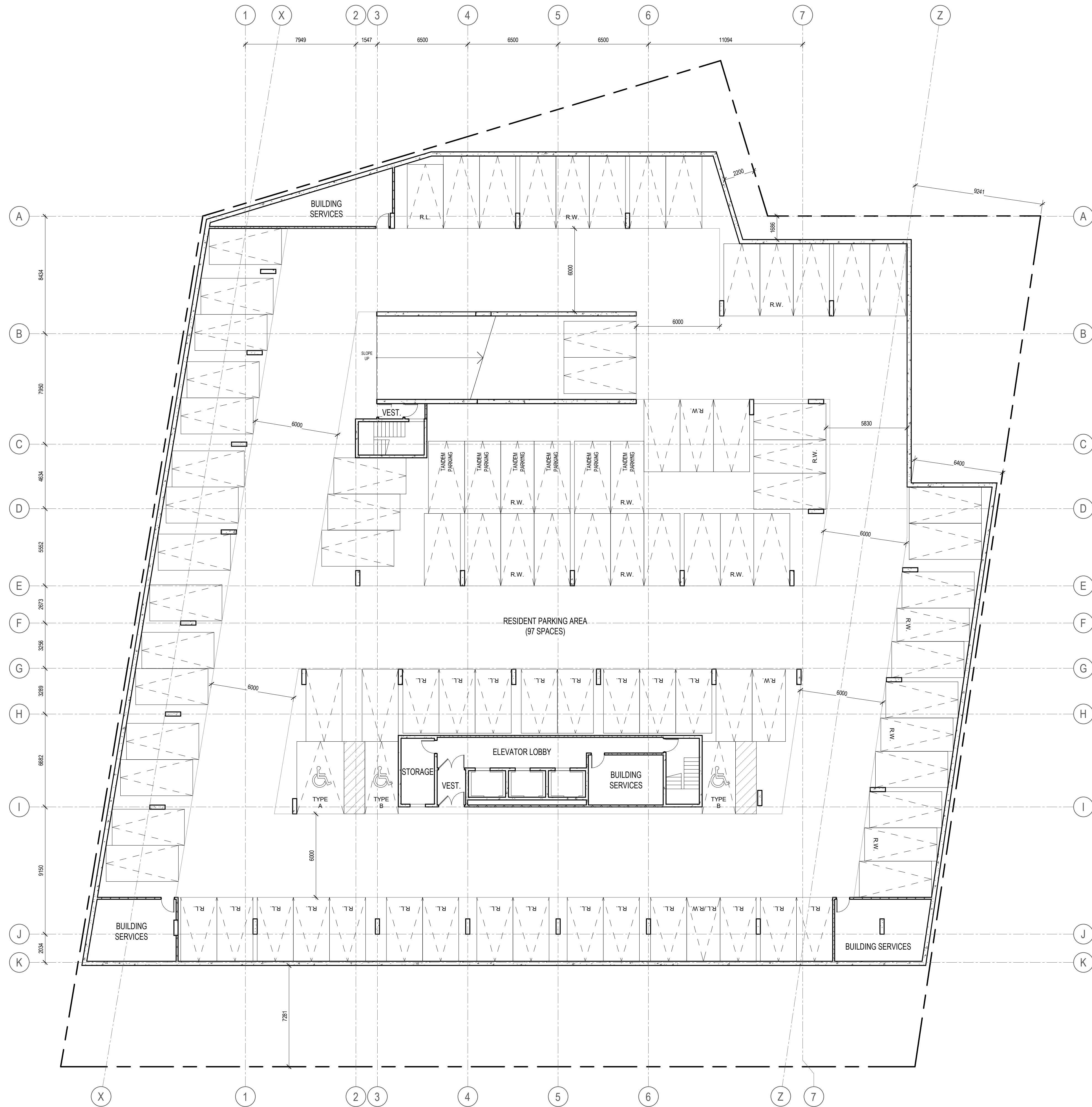
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FLOOR PLAN - PARKING
LEVEL P1

A109



1 FLOOR PLAN - LEVEL P2
A110 SCALE: 1 : 150

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2213	NOTED	JH/BH	RMK

FLOOR PLAN - PARKING
LEVEL P2

A110

CLADDING LEGEND:

AL-1

ALUMINUM COMPOSITE PANEL
BLACK

BR-1

BRICK MASONRY
GREY

GL-1

ALUMINUM AND GLASS RAILING

SP-1

CURTAIN WALL SPANDREL PANEL
BLACK

AL-2

ALUMINUM COMPOSITE PANEL
SILVER-BLUE

BR-2

BRICK MASONRY
BLACK

GL-2

ALUMINUM AND FRITTED
GLASS RAILING

WD-1

WOOD SIDING
CEDAR PLANKS

ELEVATION NOTES

1

ADDRESS PLAQUE

2

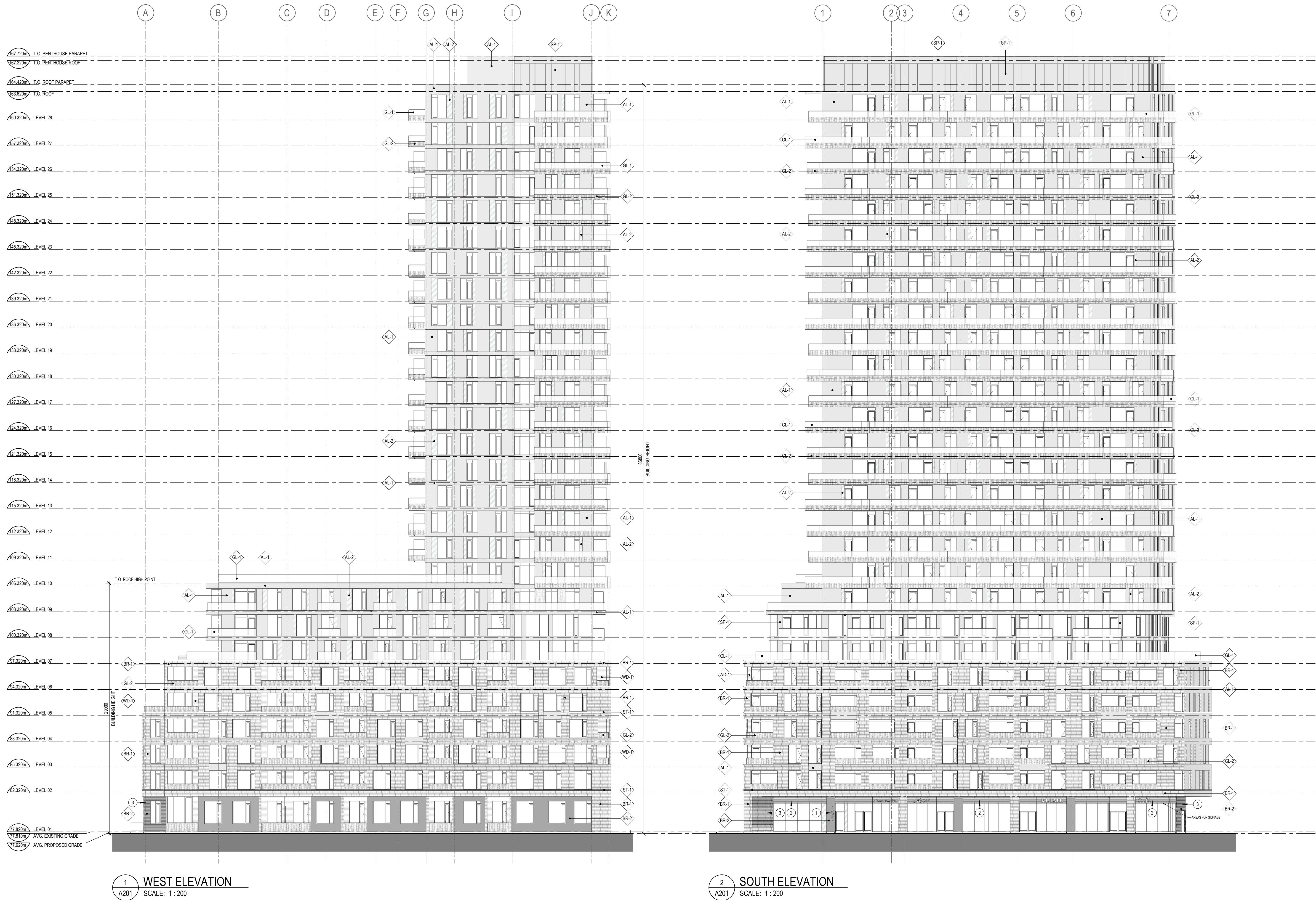
WOOD LOUVRES

3

PROTRUDING BRICKWORK

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12	ISSUED FOR RE-ZONING	2025-03-13
9	REISSUED FOR RE-ZONING	2025-01-14
7	ISSUED FOR COORDINATION	2024-10-01
5	REISSUED FOR RE-ZONING	2024-07-05
4	ISSUED FOR COORDINATION	2024-06-27
3	ISSUED FOR RE-ZONING	2024-05-29
2	ISSUED FOR COORDINATION	2024-03-07
1	ISSUED FOR COORDINATION	2023-10-30

ISSUE RECORD



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Project1 Studio Incorporated
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Ottawa, ON K2A 0Y2

PROJ	SCALE	DRAWN	REVIEWED
2213	NOTED	JH/BH	RMK

ELEVATIONS

A201

CLADDING LEGEND:

AL-1

ALUMINUM COMPOSITE PANEL
BLACK

BR-1

BRICK MASONRY
GREY

GL-1

ALUMINUM AND GLASS RAILING

SP-1

CURTAIN WALL SPANDREL PANEL
BLACK

AL-2

ALUMINUM COMPOSITE PANEL
SILVER-BLUE

BR-2

BRICK MASONRY
BLACK

GL-2

ALUMINUM AND FRITTED
GLASS RAILING

WD-1

WOOD SIDING
CEDAR PLANKS

ELEVATION NOTES

1

ADDRESS PLAQUE

2

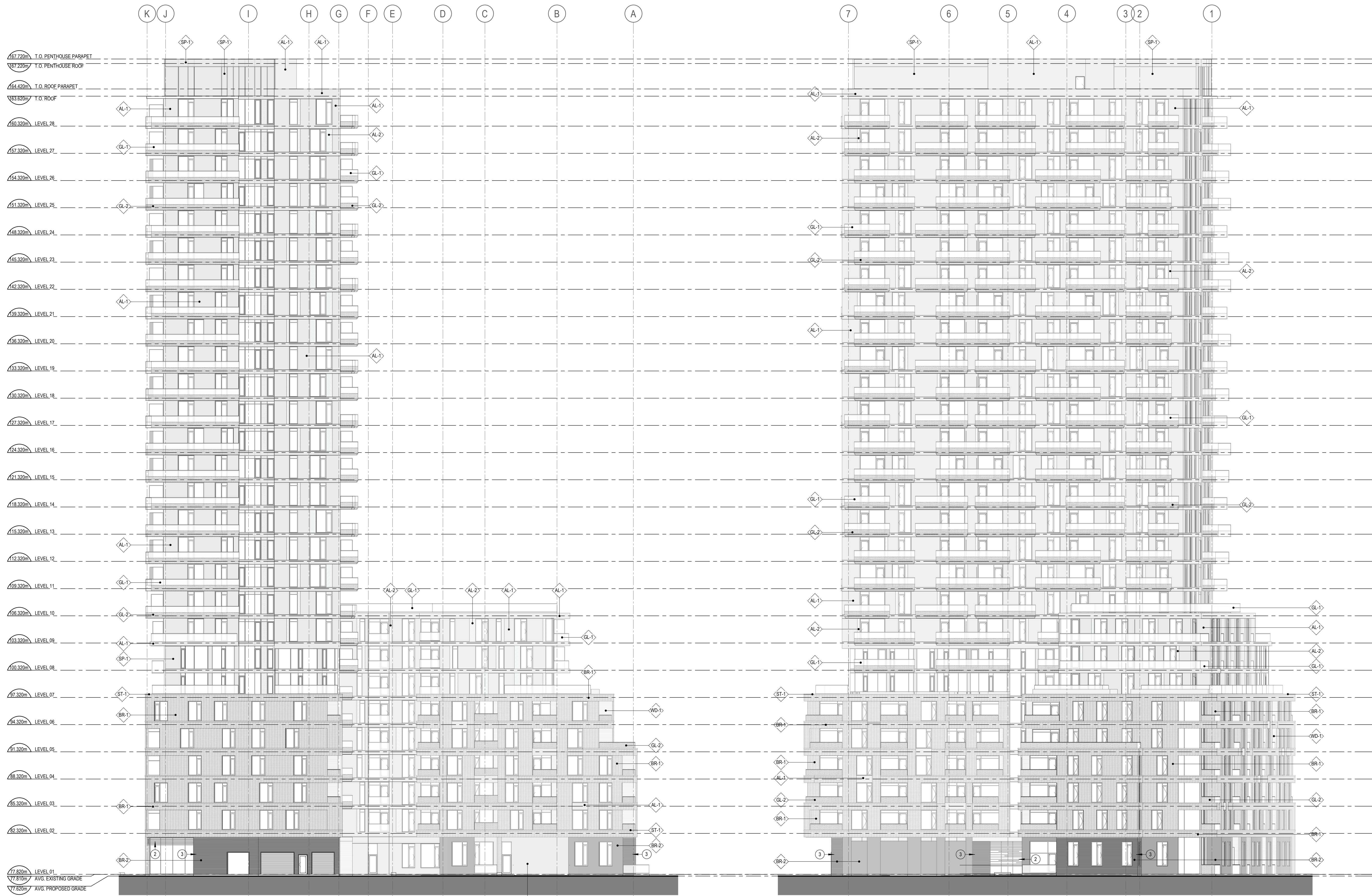
WOOD LOUVRES

3

PROTRUDING BRICKWORK

GENERAL ARCHITECTURAL NOTES:

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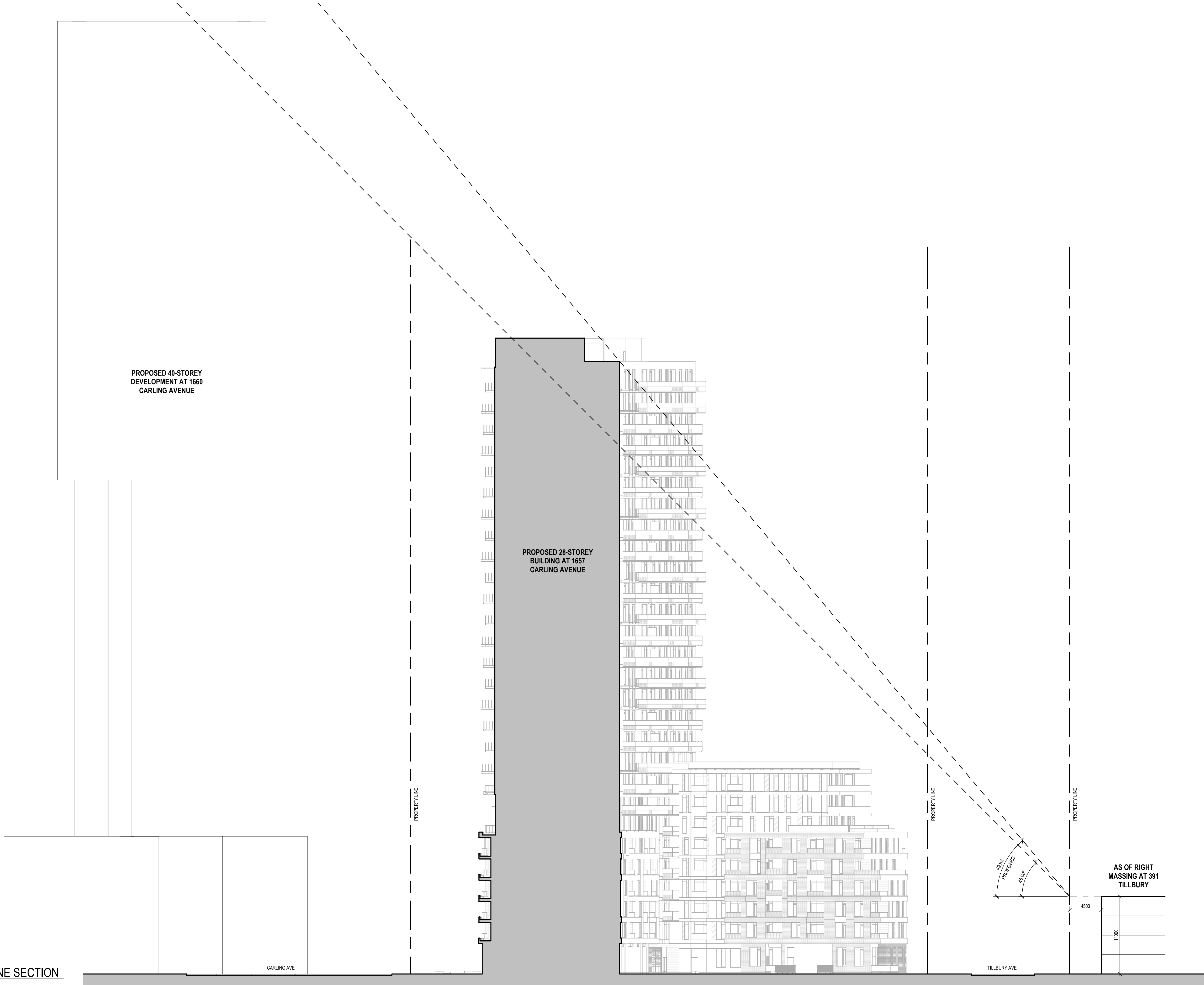
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ELEVATIONS

A202



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ANGULAR PLANE STUDY

A203