

April 15, 2025

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Planning, Development and Building Services  
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Ottawa, ON K1P 1J1  
By email only: [tess.peterman@ottawa.ca](mailto:tess.peterman@ottawa.ca)

**Attention: Tess Peterman**

**Reference: 150 Dun Skipper Drive (Residential)  
Zoning Confirmation Report - Site Plan and ZBLA Applications  
Our File: 124107**

Below is an assessment against the provisions of Annex 1 – Zoning Confirmation Report Checklist of the Zoning Confirmation Report Terms of Reference.

The assessment is based on rezoning the Subject Property to General Mixed Use (GM) with site-specific exceptions detailed in Section C below.

## Zoning Confirmation Report Checklist

A. Project Information			
<b>Review Date:</b>	April 9, 2025	<b>Reviewed Plans:</b>	Site Plan (A101) by PMA Architectes dated April 8, 2025
<b>Municipal Address(es):</b>	150 Dun Skipper Drive	<b>Official Plan designation:</b>	Mainstreet Corridor
<b>Legal Description:</b>	BLOCK 241, PLAN 4M1617 SUBJECT TO AN EASEMENT OVER PART 67, PLAN 4R31780 AS IN OC2084030 CITY OF OTTAWA		
<b>Scope of Work:</b>	Mid-rise apartment buildings (237 units)		
<b>Existing Zoning Code:</b>	GM	<b>By-law Number:</b>	2008-250
<b>Schedule 1 / 1A Area:</b>	Area C	<b>Overlays Applicable:</b>	None

B. Zoning Review				
For ZBLAs, please use the proposed zone and subzone requirements, if different than existing.				
<b>Proposed Zone/Subzone (Zoning By-law Amendments only):</b>		General Mixed Use, Exception XXXX (GM [XXXX])		
Zoning Provision	Applicable Section, Exception or Schedule Reference	By-law Requirement	Provided	Compliant (Y/N)
<b>Principal Land Use(s)</b>	Section 187	Mid-rise apartment dwelling is a permitted use	Mid-rise apartment dwelling	<b>Y</b>

<b>Minimum Lot Area</b>	Table 187	No minimum	10,009 m <sup>2</sup> (approximate)	<b>Y</b>
<b>Minimum Lot Width</b>		No minimum	63.5 m (approximate)	<b>Y</b>
<b>Minimum Front Yard Setback (south)</b>		3 m	4.74 m	<b>Y</b>
<b>Minimum Corner Side Yard Setback (west)</b>		3 m	3 m	<b>Y</b>
<b>Minimum Interior Side Yard Setback (east)</b>		For a residential use building for a building higher than 11 metres in height: 3 m	5.23 m (to future lot line)	<b>Y</b>
<b>Minimum Rear Yard Setback (north)</b>		For a residential use building: 7.5 m	7.5 m	<b>Y</b>
<b>Maximum Floor Space Index</b>		2.0	1.71	<b>Y</b>
<b>Maximum building height</b>	Section 187 (Table 187 (3)(f))	18 m	20 m	<b>N</b>
<b>Projections into Required Yards Section 65</b>	Section 65 (Table 65, (5)(b)(i) 2)	(Stairs) corner side yard: no closer than 0.6m to a lot line	0 m from corner side lot line	<b>N</b>
	Section 65 (Table 65, (3), Column II)	0.6m, but not closer than 0.6 m to a lot line	<b>Project 1.2 m into corner side yard, &gt;0.6m to lot line</b>	<b>N</b>
<b>Minimum width of landscaped area</b>	Section 187 (Table 187 (3)(h))	Abutting a street: 3 m All other cases: No minimum	3 m (street) 3 m (others)	<b>Y</b>
<b>Minimum Parking Space Rates</b>	Section 101(3)(a), Table 101, Row R15, Column II	Mid-rise apartment dwelling: 1.2 spaces per unit (284 required)	237 spaces (1 space per unit)	<b>N</b>
<b>Minimum Visitor Parking Space Rates</b>	Section 102	Mid-rise apartment dwelling: 0.2 spaces per unit = 47 spaces (237 units)	47 spaces	<b>Y</b>
<b>Parking Space Dimensions</b>	Section 106 (1)	5.2 m by 2.6 m	5.2 m by 2.6 m	<b>Y</b>
<b>Driveway Provisions</b>	Section 107 (1) (a) (ii)	6 m	6.7 m	<b>Y</b>
<b>Aisle Provisions</b>	Table 107	6.7 m	6.7 m	<b>Y</b>
<b>Minimum width of landscaped area around parking lots</b>	Section 110	For a parking lot containing more than 10 but fewer than 100 spaces Abutting a street: 3 m Not abutting a street:	Abutting a street: 3.0 m Not abutting a street: 3.1 m	<b>Y</b>

		1.5 m		
<b>Bicycle Parking Rates</b>	Section 111A	Mid-rise apartment dwelling: 0.5 spaces per unit = 119 spaces	119 spaces	Y
<b>Planned Unit Development</b>	Section 131 Table 131, Row 1, Column II	Minimum width of Private Way – 6.0 m	6.7m	Y
	Section 131 Table 131, Row 2, Column II	Minimum setback for any wall of a residential use building to a Private Way – 1.8m	Min. 10.5 m	Y
	Section 131 Table 131, Row 3, Column II	Minimum setback for any garage or carport entrance from a private way – 5.2 m	Min. 8.5 m	Y
	Section 131 Table 131, Row 4(b), Column II	Minimum separation area between buildings within a Planned Unit Development – 3.0m	27.8 m	Y
<b>Amenity Area</b>	Section 137	6m <sup>2</sup> per dwelling unit = 1,422m <sup>2</sup> .  711m <sup>2</sup> to be communal.	3,521m <sup>2</sup> total,  1,554m <sup>2</sup> communal.	Y

The Subject Property is proposed to be rezoned from GM to GM [XXXX] to permit two six-storey, mixed-use buildings on the Subject Property. Site-specific provisions are required for a portion of the Subject Property.

### **Proposed Site-Specific Provisions**

The following site-specific provisions are suggested on the Subject Property.

- To permit open stairways to project 0m from the lot line in the corner side yard
- To permit an ornamental projection of 1.2m into the required corner side yard.
- To permit a reduction to the minimum required resident parking from 285 spaces to 237 spaces (1.2 spaces per unit to 1.0 space per unit) (Building 1 and Building 2)
- To permit a maximum building height of 20 m

## **C. Draft List of Recommended Zoning**

<b>By-law Requirement or Applicable Section</b>	<b>Requirement</b>	<b>Proposed</b>
Permitted Projections for Open Stairways into Front Yard or corner	No closer than 0.6 m from corner side lot line	<b>0 m</b>

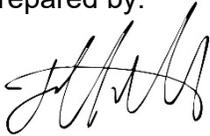
side yard: Sec.65 (Table 65, (5)(b)(i) 2)		
Permitted Projections for Ornamental elements such as sills, belt courses, cornices, parapets and pilasters: Sec.65 (Table 65, (3), Column II)	0.6m, but not closer than 0.6 m to a lot line	<b>Project 1.2 m into corner side yard, &gt;0.6m to lot line</b>
Minimum required resident parking: Sec.101 (Table 187 (3)(h)(i))	1.2 spaces per unit (284 required)	<b>1.0 space per unit (237 provided)</b>
Maximum Building Height: Sec.187 (Table 187 (3)(f))	18 m	<b>20m</b>

If you have any questions or comments, please do not hesitate to contact me.

Yours truly,

**NOVATECH**

Prepared by:



Jeffrey Kelly, MCIP, RPP  
Project Manager | Planning & Development

