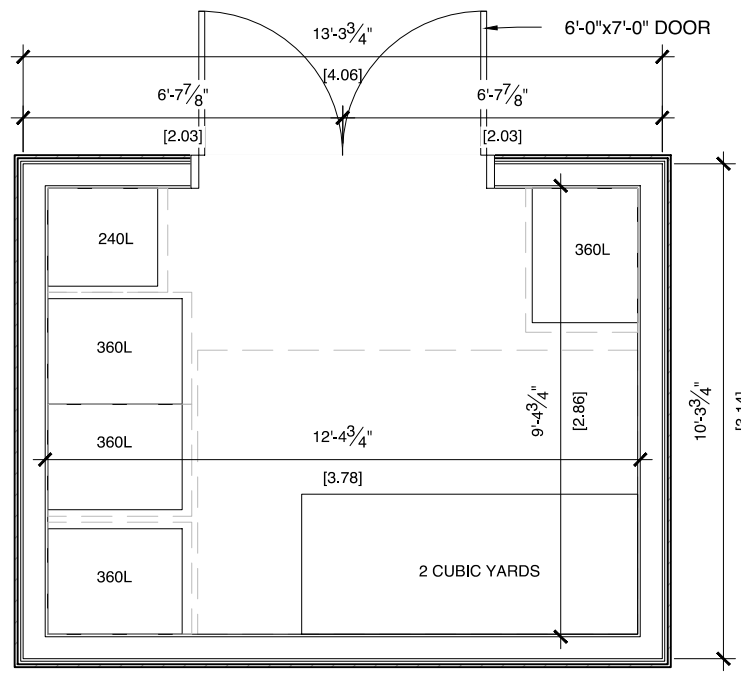


01 SITE PLAN - 2409 CARLSEN AVE
A1.0 SCALE: 3/32"=1'-0"

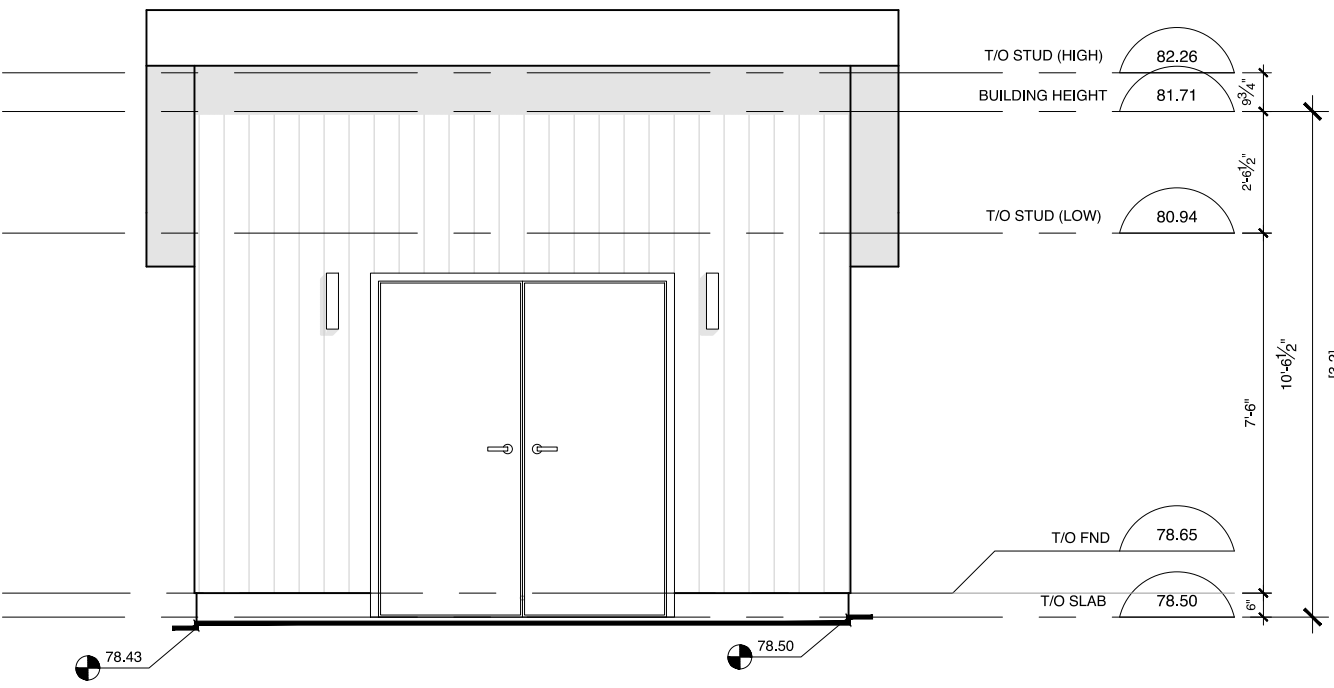
CITY OF OTTAWA ZONING BY-LAW 2008-250 R4-UD (RESIDENTIAL FOURTH DENSITY ZONE)								
ZONING PROVISIONS	REQUIRED EXISTING RSA ZONING	REQUIRED PROPOSED R4-UD ZONING	LOT 1		LOT 2		LOT 3	
			REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED
MIN. LOT AREA	1400m²	300m²	300m²	355.8m²	300m²	367.2m²	300m²	355.1m²
MIN. LOT WIDTH	N/A	10m	10m	12.7m	10m	12.0m	10m	10.3m
MIN. FRONT YARD SETBACK	6.0m	4.5m	4.5m	4.5m & 2.1m	4.5m	4.5m	4.5m	4.5m
MIN. REAR YARD SETBACK	7.5m MAX/ 25% LOT DEPTH	7.5m MAX/ 25% LOT DEPTH	7.0m	6.9m	7.5m	6.9m	7.5m	6.9m
MIN. INTERIOR SIDE YARD SETBACK	3m TOTAL, MIN. 1.2m	1.5m	1.5m	1m	1.5m	1m & 1.9m	1.5m	1.2m
MIN. CORNER SIDE YARD SETBACK	4.5m	4.5m	4.5m	2.0m	4.5m	N/A	4.5m	2.0m
MAX. BUILDING HEIGHT	10m	11m	11m	10.6m	11m	10.8m	11m	9.6m
SECTION 161 (8) - NOT APPLICABLE FOR LOTS LESS THAN 450m²								
SECTION 161 (15)(b) - REQUIRED MIN. AREA OF REAR YARD SOFT LANDSCAPING			35m²	49.4m²	50m²	48.9m²	35m²	80.6m²
TABLE 139 & 161 - REQUIRED MIN. % OF FRONT YARD SOFT LANDSCAPING			40% (13.8m²)	54% (19.0m²)	40% (21.8m²)	46% (25.4m²)	35% (17.0m²)	74% (36.0m²)
TABLE 139 - REQUIRED MIN. % OF CORNER YARD SOFT LANDSCAPING			40% (18.2m²)	86% (38.9m²)	N/A	N/A	35% (16.2m²)	90% (42.1m²)
SECTION 161 (15)(g) - REQUIRED MIN. % OF GLAZING ON FRONT FACADE			25% (24.4m²)	25% (25.3m²)	25% (24.8m²)	25% (25.3m²)	N/A	N/A
SECTION 161 (15)(g) - REQUIRED MIN. % OF GLAZING ON CORNER SIDE FACADE			15% (30.6m²)	15% (30.6m²)	N/A	N/A	N/A	N/A

FLOOR STATISTICS																			
	BLOCK 1						BLOCK 2						BLOCK 3						
	FLOOR BREAKDOWN & AREAS						FLOOR BREAKDOWN & AREAS						FLOOR BREAKDOWN & AREAS						
	STUDIO	1 BEDROOM	1 BEDROOM + DEN	2 BEDROOM	PUBLIC AREAS	FLOOR AREA (TOTAL)	STUDIO	1 BEDROOM	1 BEDROOM + DEN	2 BEDROOM	PUBLIC SPACES	FLOOR AREA (TOTAL)	STUDIO	1 BEDROOM	1 BEDROOM + DEN	2 BEDROOM	PUBLIC SPACES	FLOOR AREA (TOTAL)	
BASEMENT	-	-	1 (+/-73m²)	1 (+/-74m²)	+/-23m²	+/-171m²	-	-	1 (+/-73m²)	1 (+/-74m²)	+/-23m²	+/-171m²	N/A	N/A	N/A	N/A	N/A	+/-153m²	
GROUND FLOOR	-	1 (+/- 58m²)	-	1 (+/- 75m²)	+/-39m²	+/-172m²	-	1 (+/- 58m²)	-	1 (+/- 75m²)	+/-39m²	+/-172m²	N/A	N/A	N/A	N/A	N/A	+/-154m²	
SECOND FLOOR	-	-	-	2 (+/-149m²)	+/-23m²	+/-172m²	-	-	-	2 (+/-149m²)	+/-23m²	+/-172m²	N/A	N/A	N/A	N/A	N/A	+/-154m²	
THIRD FLOOR	-	-	-	2 (+/-149m²)	+/-23m²	+/-172m²	-	-	-	2 (+/-149m²)	+/-23m²	+/-172m²	N/A	N/A	N/A	N/A	N/A	+/-154m²	
TOTAL LIVING / PUBLIC	+/-578m²				+/-108m²		+/-578m²				+/-108m²								
GROSS FLOOR AREA						+/-516m²						+/-516m²	N/A	N/A	N/A	N/A	N/A	+/-462m²	

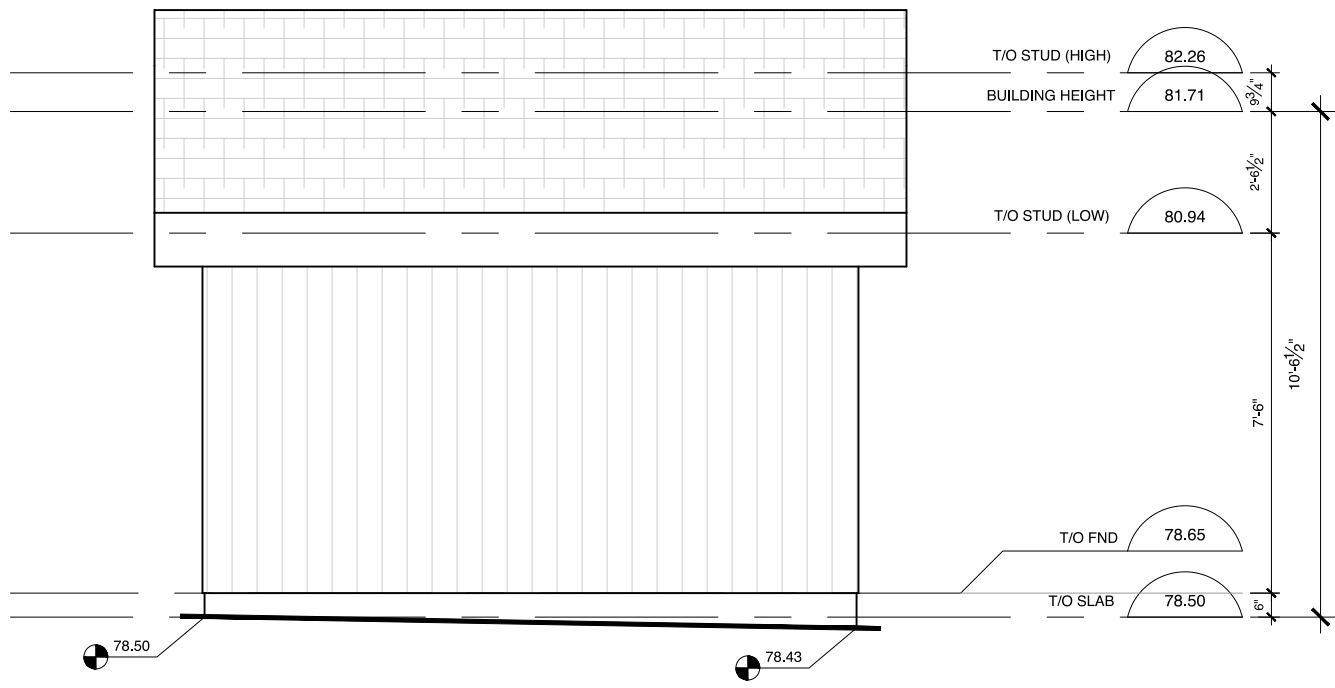


01 ACCESSORY BUILDING - TYP. FLOOR PLAN

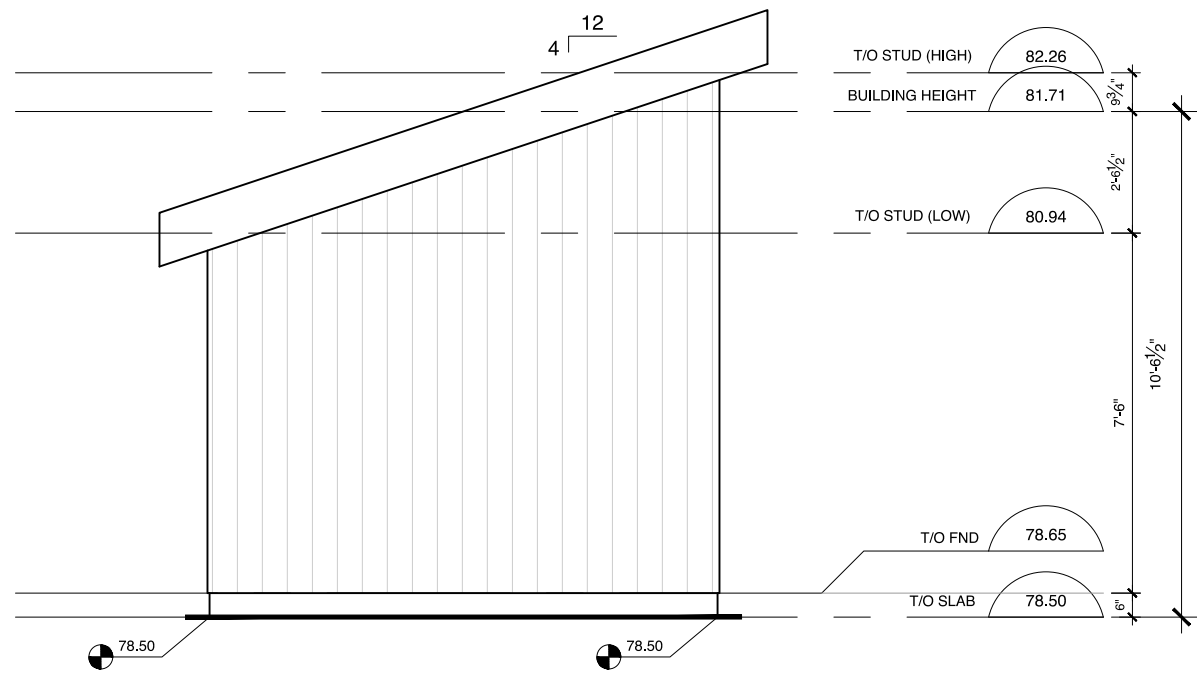
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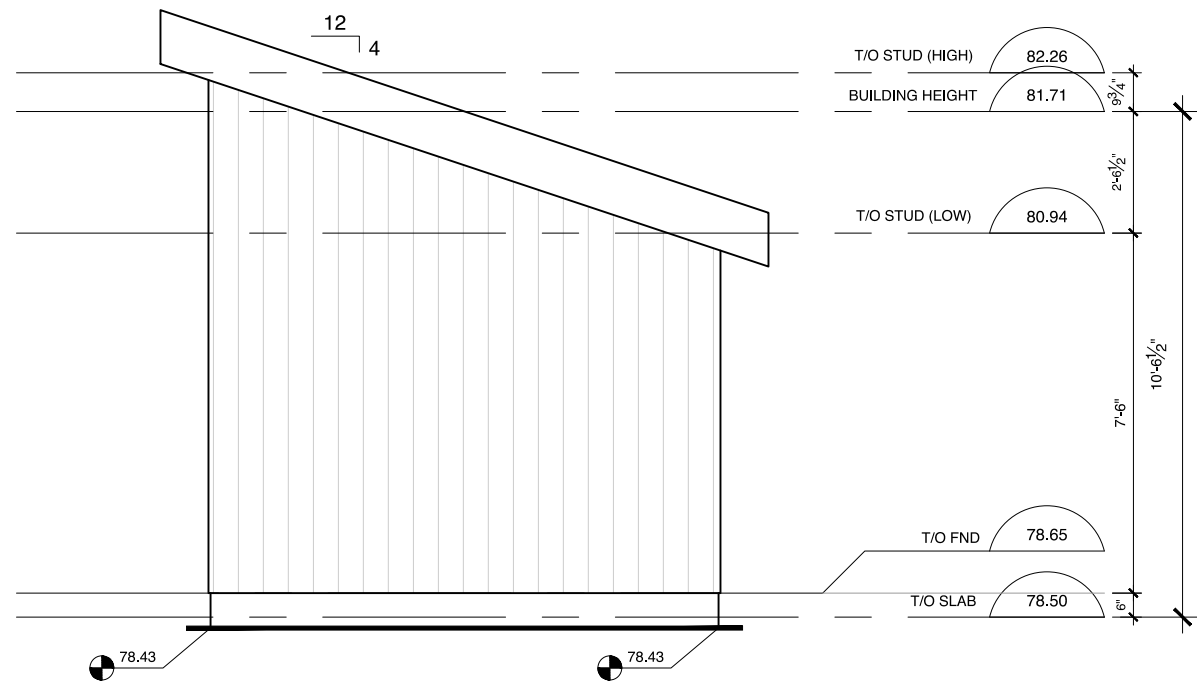
WEST ELEVATION



EAST ELEVATION



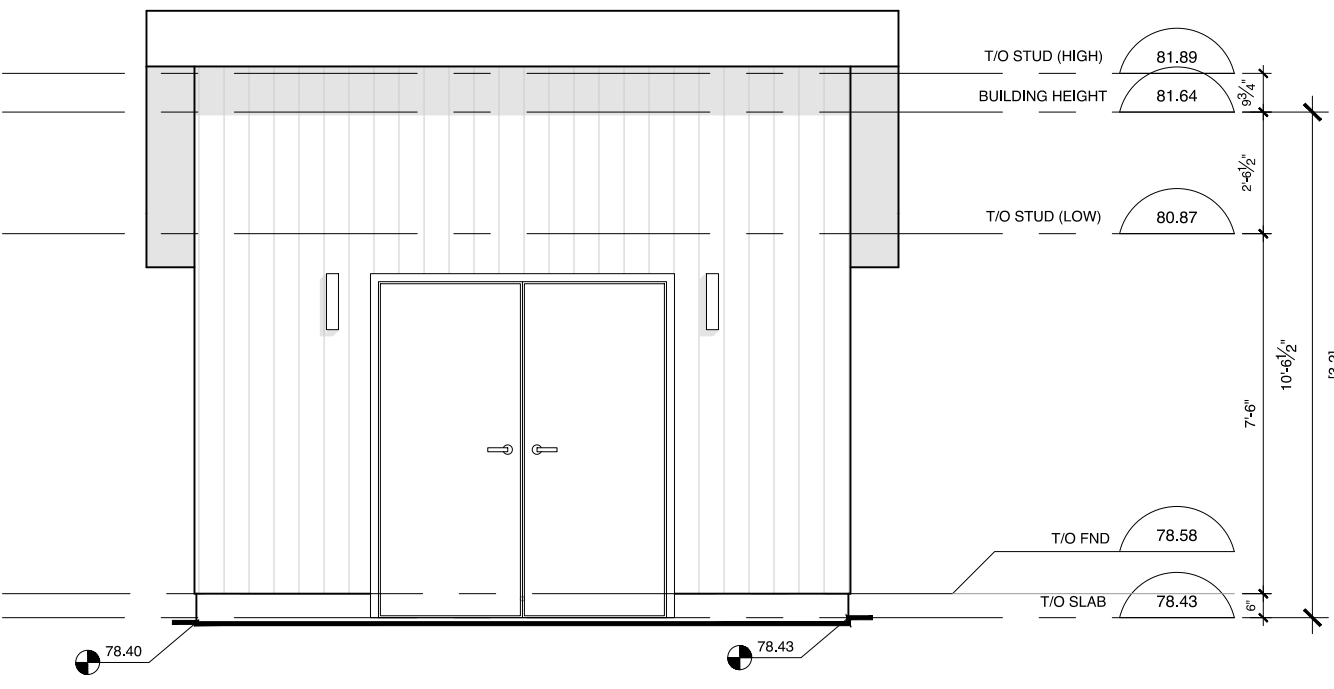
SOUTH ELEVATION



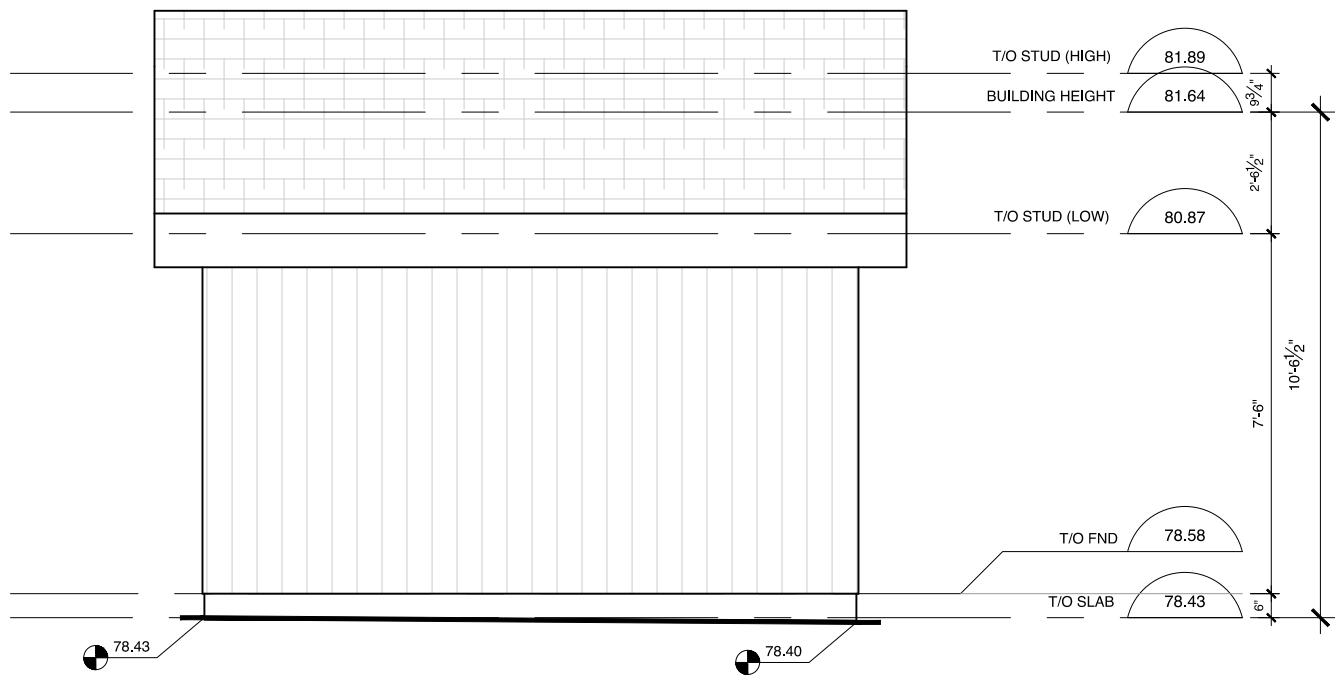
NORTH ELEVATION

02 ACCESSORY BUILDING A - ELEVATIONS

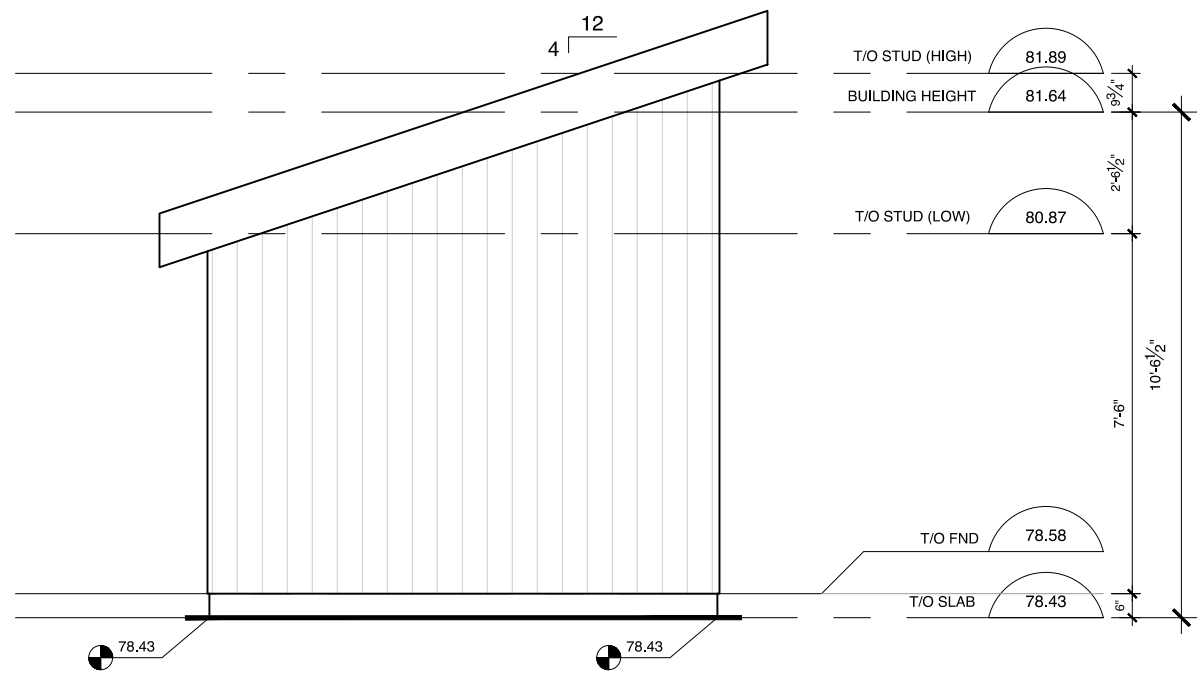
A1.1 SCALE: 1/4\"/>



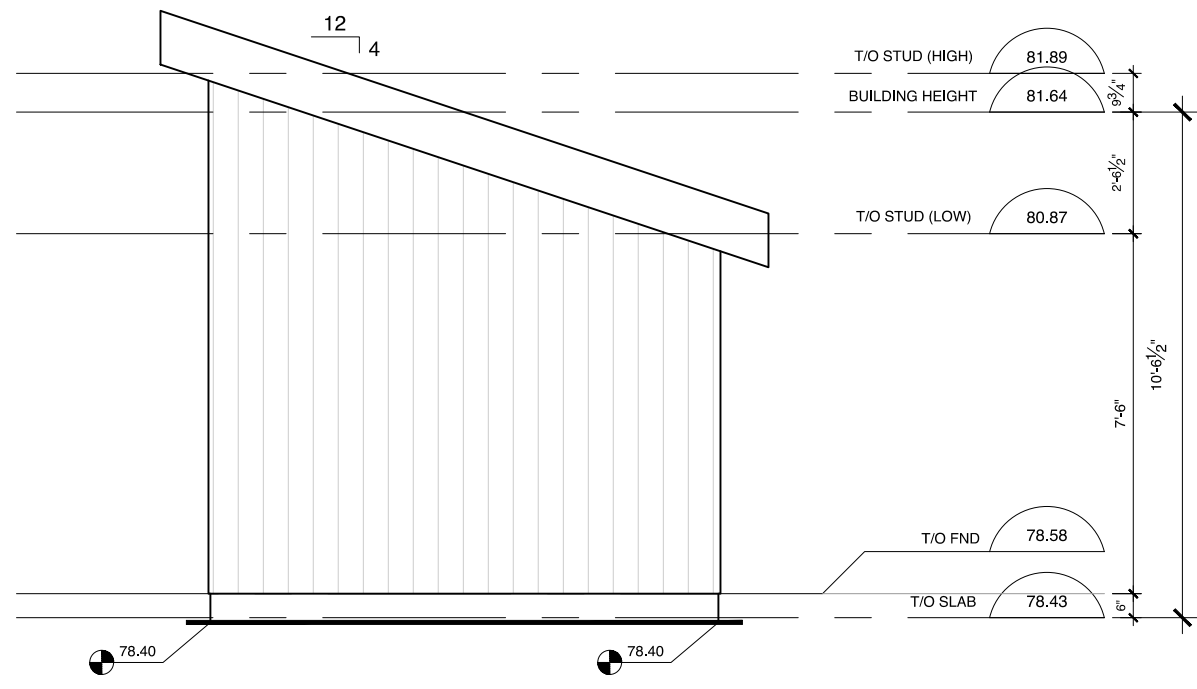
WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION

03 ACCESSORY BUILDING B - ELEVATIONS

A1.1 SCALE: 1/4\"/>

CLIENT:



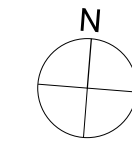
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SEAL:



NORTH ARROW:



OWNER & CONSULTANTS:

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420 O'CONNOR ST. OTTAWA, ON K2P 1W4

GRADING & SERVICES:
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SURVEYOR:
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30 COLONNADE RD. NEPEAN, ON K2E 7J6

13 2025.05.07 I.F. ZONING BY-LAW AMENDMENT - REV1

12 2025.03.28 ISSUED FOR COORDINATION

11 2025.03.25 ISSUED FOR COORDINATION

10 2025.01.22 I.F. ZONING BY-LAW AMENDMENT

09 2024.10.31 ISSUED FOR COORDINATION

08 2024.10.28 ISSUED FOR COORDINATION

07 2024.06.19 ISSUED FOR COORDINATION

06 2024.07.03 ISSUED FOR PRE-CON PHASE III

05 2024.05.22 ISSUED FOR REVIEW

04 2024.05.21 ISSUED FOR REVIEW

03 2024.02.13 ISSUED FOR PRE-CON

02 2024.02.12 ISSUED FOR REVIEW

01 2024.01.18 ISSUED FOR REVIEW

No. DATE REVISION

S.J. LAWRENCE
ARCHITECT
INCORPORATED



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PROJECT:

MODULAR HOMES - 8 PLEX

2409 CARLSEN AVE.
OTTAWA, ON.
K1V 8E9

SHEET TITLE:

SITE PLAN

DRAWN BY:

H.K.

CHECKED BY:

S.J.L.

PLOT DATE:

2025.05.07

PROJECT DATE:

2023.08.21

JOB NUMBER:

SL-1126-24

SCALE:

AS SHOWN

SHEET NUMBER:

PLAN #

A1.1

APPLICATION #



01 WEST ELEVATION (FRONT) - LOT 1
A4.0a SCALE: 1/8" = 1'-0"

02 EAST ELEVATION (REAR) - LOT 1
A4.0a SCALE: 1/8" = 1'-0"



- NOTES:
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SURVEYOR:
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09	2025.05.07	I.F. ZONING BY-LAW AMENDMENT - REV1
08	2025.03.21	ISSUED FOR COORDINATION
07	2025.01.22	I.F. ZONING BY-LAW AMENDMENT
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03	2024.07.03	ISSUED FOR PRE-CON PHASE III
02	2024.06.28	ISSUED FOR REVIEW
01	2024.02.21	ISSUED FOR REVIEW
No.	DATE	REVISION

S.J.LAWRENCE ARCHITECT INCORPORATED

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PROJECT:
**MODULAR HOMES - 8 PLEX
(LOT 1 - BLOCK 1)**

2409 CARLSEN AVENUE, OTTAWA, ON, K1V 8E9

SHEET TITLE:
ELEVATIONS

DRAWN BY:	CHECKED BY:
H.K.	S.J.L.
PLOT DATE:	PROJECT DATE:
2025.05.07	2023.08.21
JOB NUMBER:	SCALE:
SL-1126-24	AS SHOWN
SHEET NUMBER:	

A4.0a
PLAN #

APPLICATION #

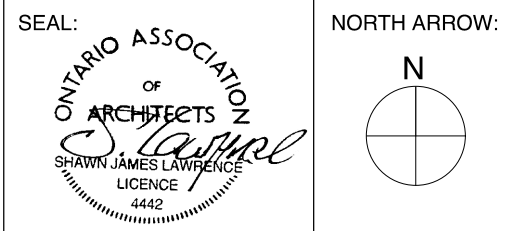
01 NORTH ELEVATION (LEFT) - LOT 1
A4.0b SCALE: 1/8" = 1'-0"



02 SOUTH ELEVATION (RIGHT) - LOT 1
A4.0b SCALE: 1/8" = 1'-0"



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OWNER:
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SURVEYOR:
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No.	DATE	REVISION

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PROJECT:
**MODULAR HOMES - 8 PLEX
(LOT 1 - BLOCK 1)**
2409 CARLSEN AVENUE, OTTAWA, ON, K1V 8E9

SHEET TITLE:
ELEVATIONS

DRAWN BY: H.K. **CHECKED BY:** S.J.L.
PLOT DATE: 2025.05.07 **PROJECT DATE:** 2023.08.21
JOB NUMBER: SL-1126-24 **SCALE:** AS SHOWN
SHEET NUMBER:

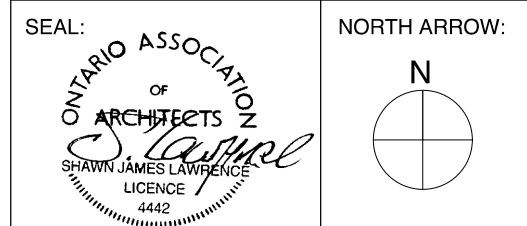


01 WEST ELEVATION (FRONT) - LOT 2
A4.1a SCALE: 1/8" = 1'-0"

02 EAST ELEVATION (REAR) - LOT 2
A4.1a SCALE: 1/8" = 1'-0"



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420 OGDONOR ST, OTTAWA, ON K2P 1W4

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234 BOWTALS CRESCENT, OTTAWA, ON K1K 4V1

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30 COLONNADE RD, NEPEAN, ON K2E 7J6

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06	2024.10.31	ISSUED FOR COORDINATION
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No.	DATE	REVISION

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PROJECT:
MODULAR HOMES - 8 PLEX
(LOT 2 - BLOCK 2)

2409 CARLSEN AVENUE, OTTAWA, ON, K1V 8E9

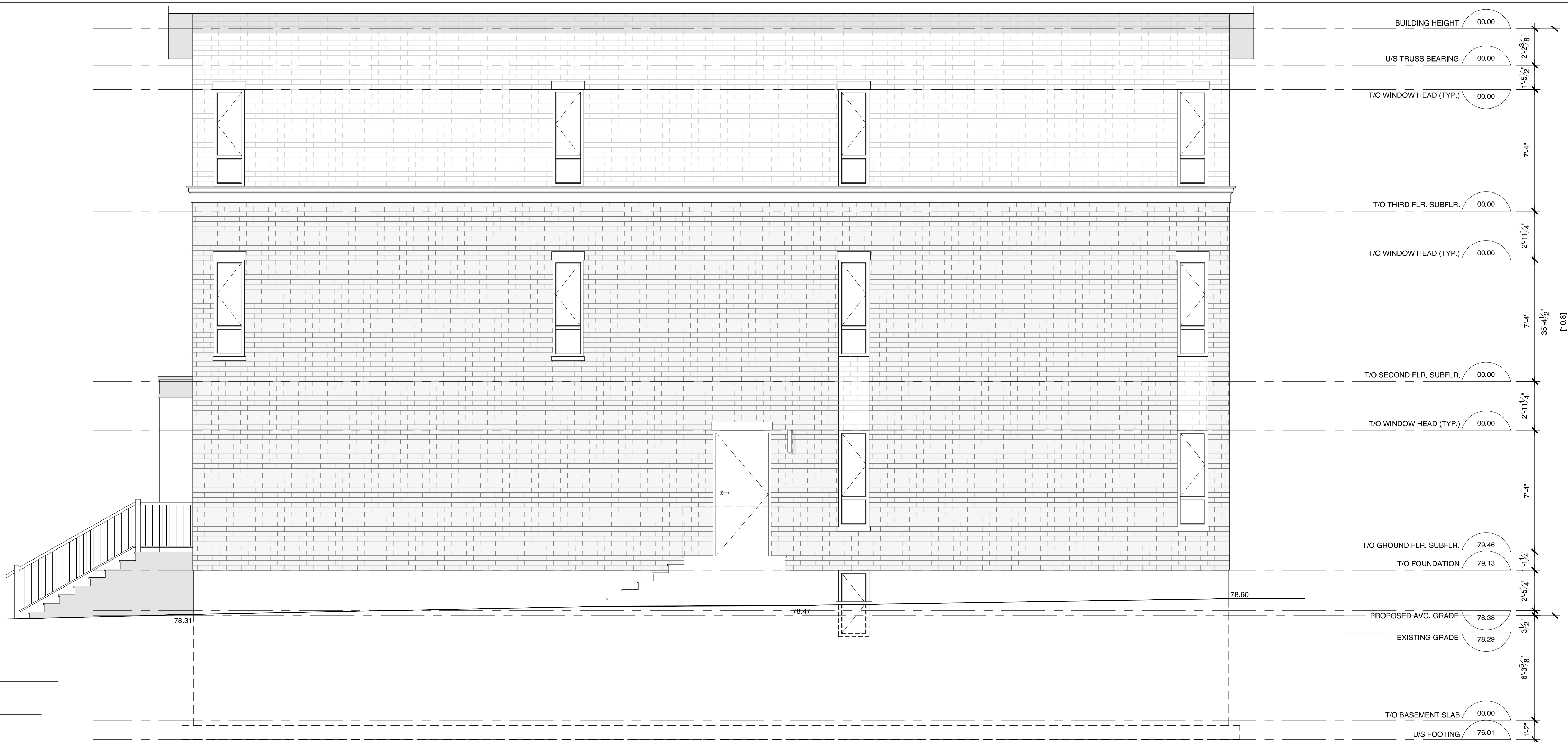
SHEET TITLE:
ELEVATIONS

DRAWN BY: H.K. **CHECKED BY:** S.J.L.

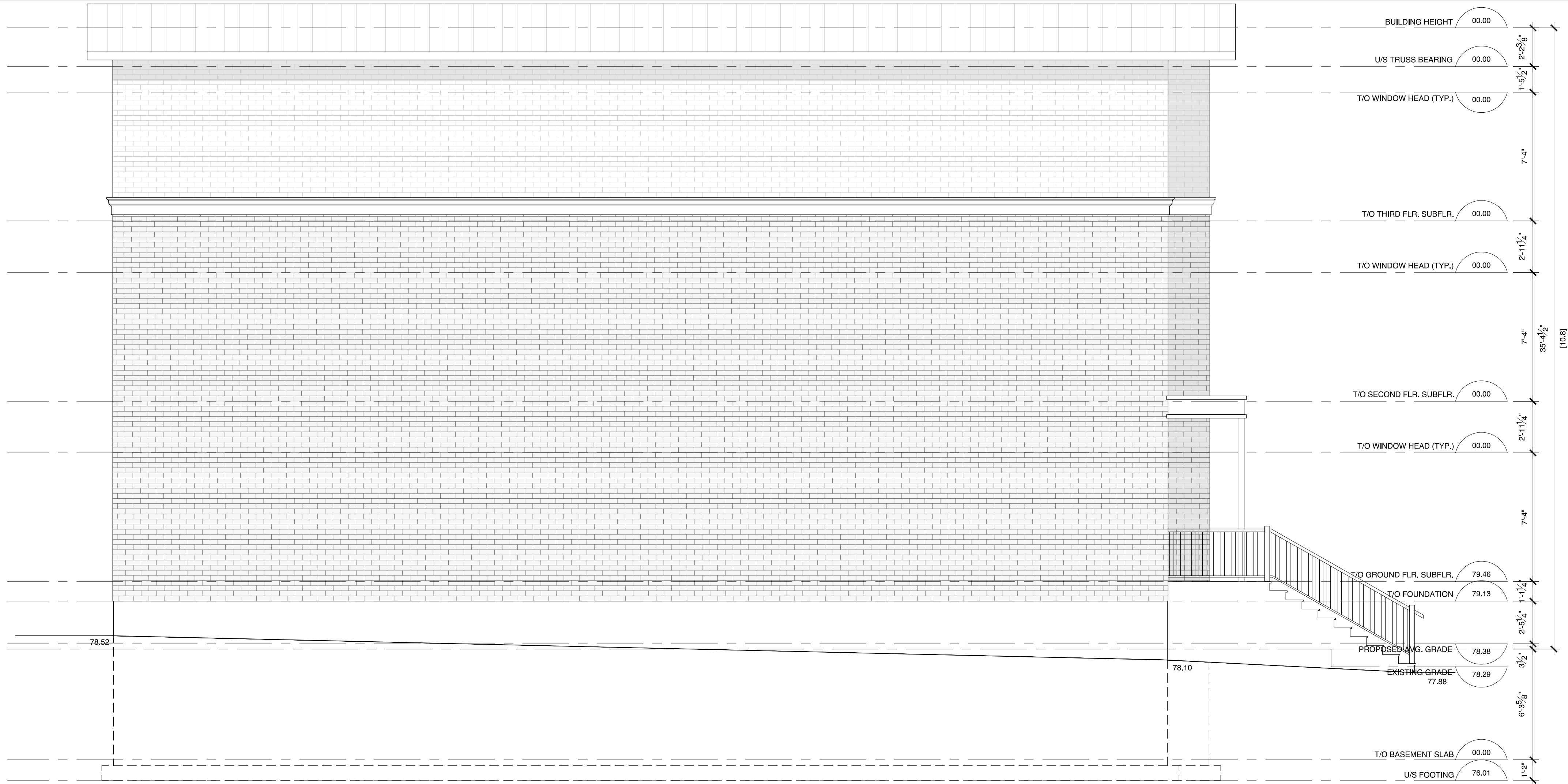
PLOT DATE: 2025.05.07 **PROJECT DATE:** 2023.08.21

JOB NUMBER: SL-1126-24 **SCALE:** AS SHOWN

SHEET NUMBER:



01 NORTH ELEVATION (LEFT) - LOT 2
A4.1b SCALE: 1/8" = 1'-0"



02 SOUTH ELEVATION (RIGHT) - LOT 2
A4.1b SCALE: 1/8" = 1'-0"



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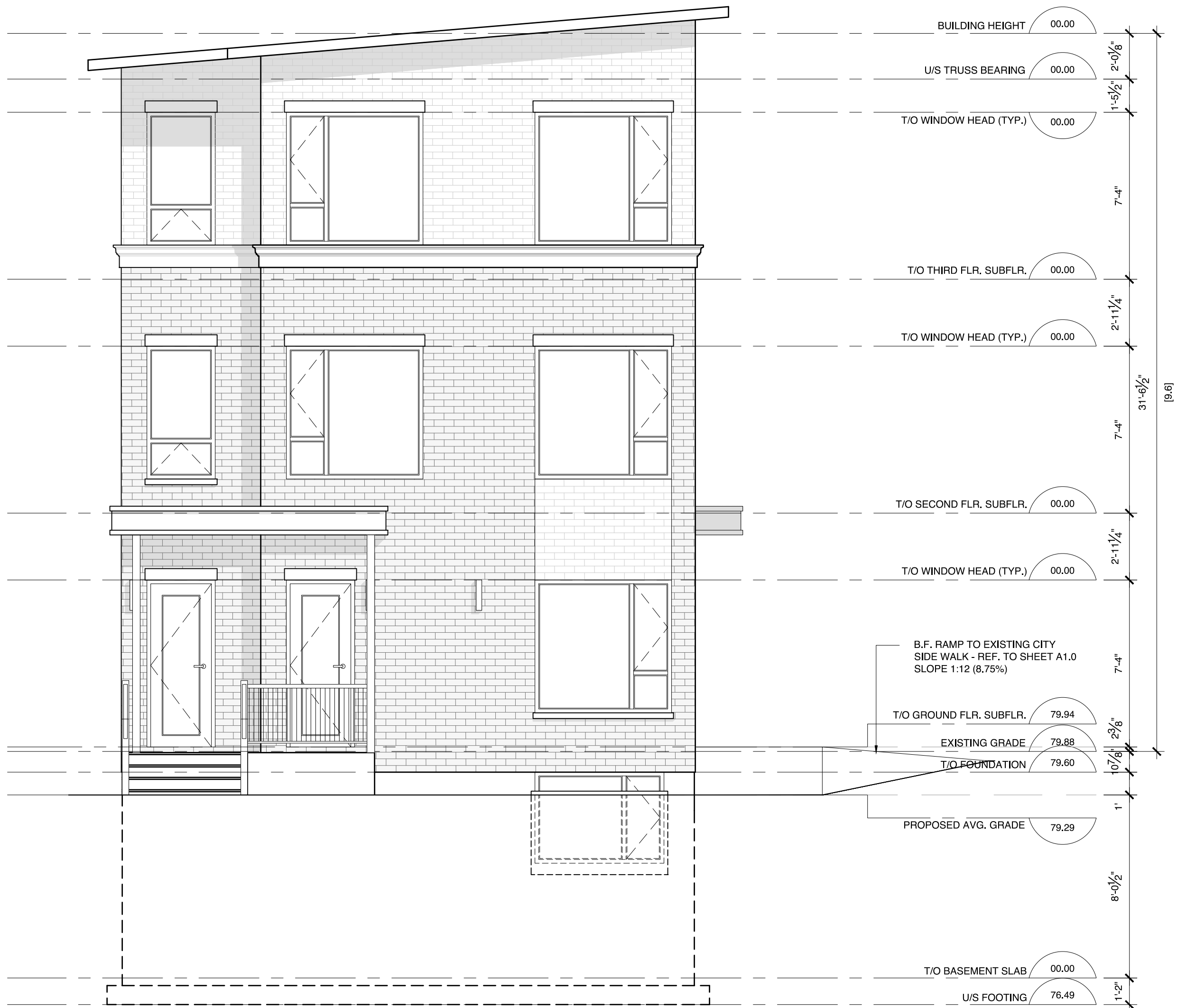


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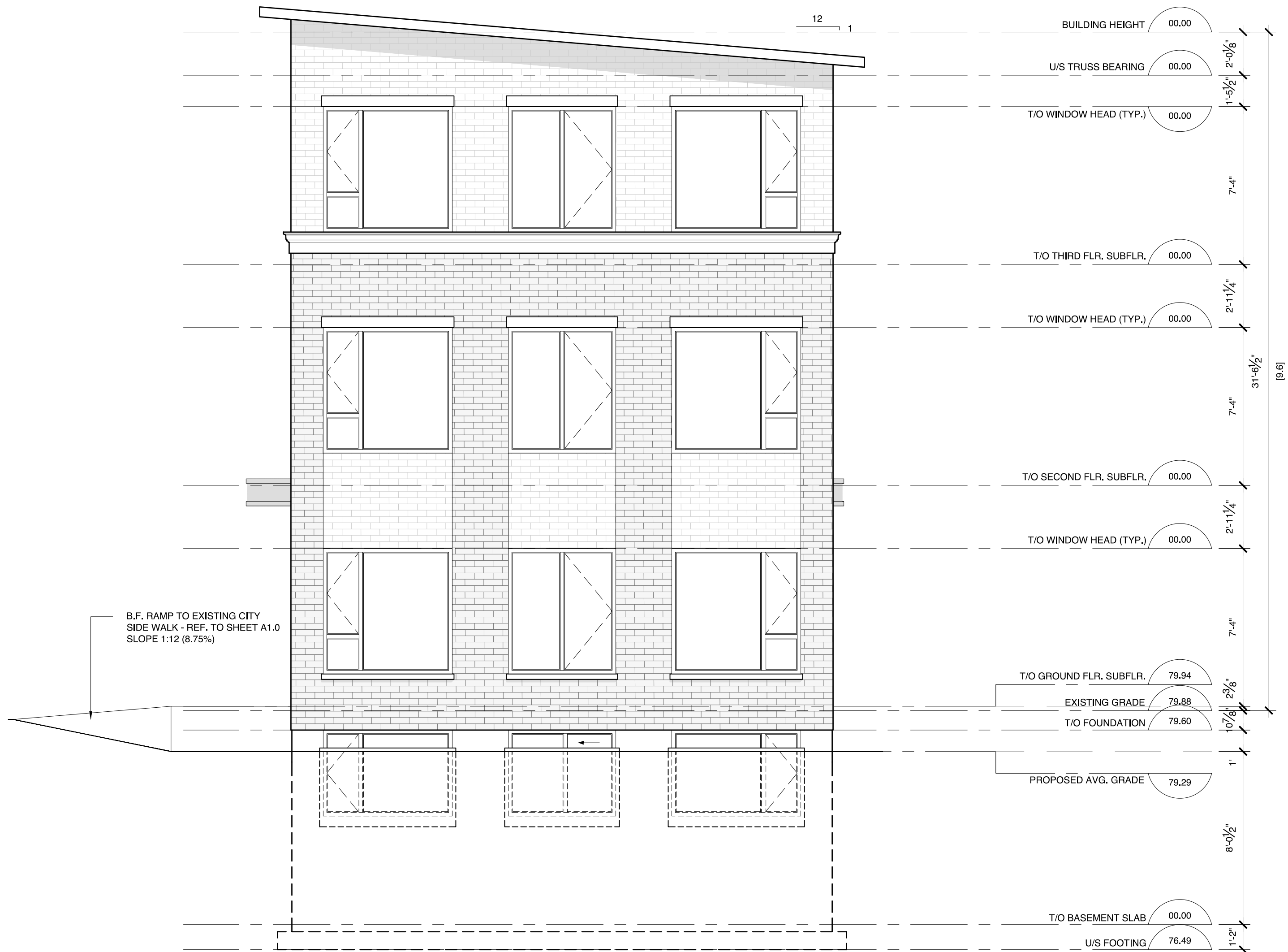
PROJECT:
**MODULAR HOMES - 8 PLEX
(LOT 2 - BLOCK 2)**
2409 CARLSEN AVENUE, OTTAWA, ON, K1V 8E9

SHEET TITLE:
ELEVATIONS

DRAWN BY: H.K. **CHECKED BY:** S.J.L.
PLOT DATE: 2025.05.07 **PROJECT DATE:** 2023.08.21
JOB NUMBER: SL-1126-24 **SCALE:** AS SHOWN
SHEET NUMBER:



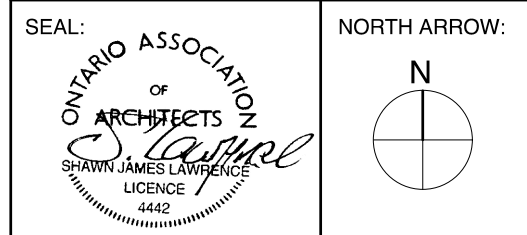
01 EAST ELEVATION (FRONT) - LOT 3
A4.2a SCALE: 1/4" = 1'-0"



02 WEST ELEVATION (REAR) - LOT 3
A4.2a SCALE: 1/4" = 1'-0"



- NOTES:
- 1) ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.
 - 2) ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.
 - 3) DO NOT SCALE DRAWINGS.
 - 4) ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-SITE MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.
 - 5) NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.



OWNER & CONSULTANTS:

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(613) 401-1515
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MECHANICAL & ELECTRICAL DRAWINGS:
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PLANNER:
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420 OGDONOR ST, OTTAWA, ON K2P 1W4

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SURVEYOR:
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03	2025.05.07	I.F. ZONING BY-LAW AMENDMENT - REV1
02	2024.07.03	ISSUED FOR PRE-CON PHASE III
01	2024.02.21	ISSUED FOR REVIEW
No.	DATE	REVISION

S.J. LAWRENCE ARCHITECT INCORPORATED
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SUITE 205
OTTAWA, ONTARIO
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PROJECT:
**MODULAR HOMES - 8 PLEX
(LOT 3 - BLOCK 3)**
2409 CARLSEN AVENUE, OTTAWA, ON., K1V 8E9

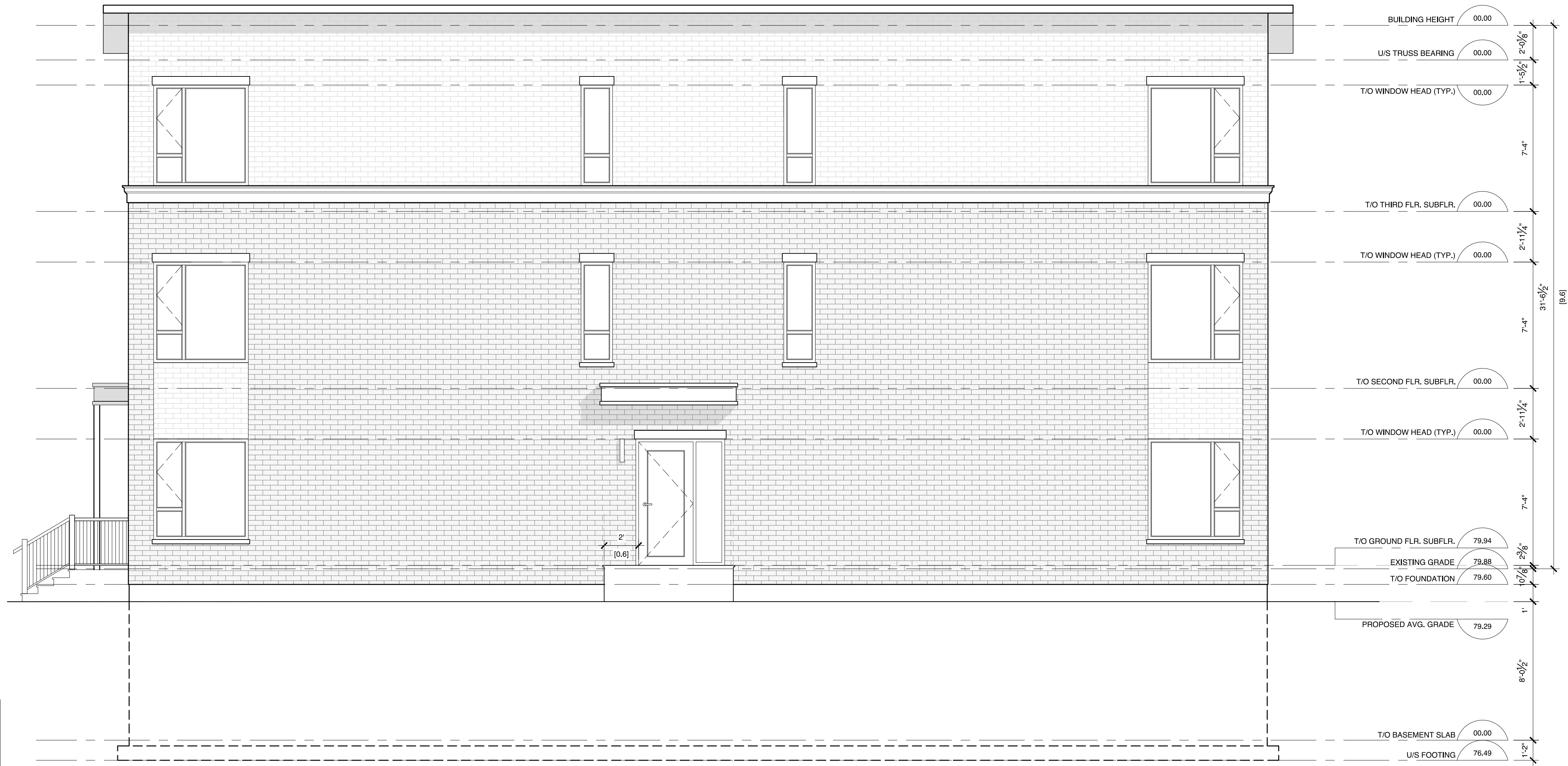
SHEET TITLE:
ELEVATIONS

DRAWN BY:	CHECKED BY:
H.K.	S.J.L.
PLOT DATE:	PROJECT DATE:
2025.05.07	2023.08.21
JOB NUMBER:	SCALE:
SL-1126-24	AS SHOWN
SHEET NUMBER:	

A4.2a
PLAN #

APPLICATION #

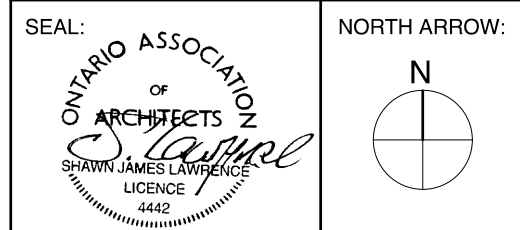
01 NORTH ELEVATION (RIGHT) - LOT 3
A4.2b SCALE: 1/4" = 1'-0"



02 SOUTH ELEVATION (LEFT) - LOT 3
A4.2b SCALE: 1/4" = 1'-0"



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03	2025.05.07	1.F. ZONING BY-LAW AMENDMENT - REV1
02	2024.07.03	ISSUED FOR PRE-CON PHASE III
01	2024.02.21	ISSUED FOR REVIEW
No.	DATE	REVISION

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PROJECT:
MODULAR HOMES - 8 PLEX (LOT 3 - BLOCK 3)
2409 CARLSEN AVENUE, OTTAWA, ON, K1V 8E9

SHEET TITLE:
ELEVATIONS

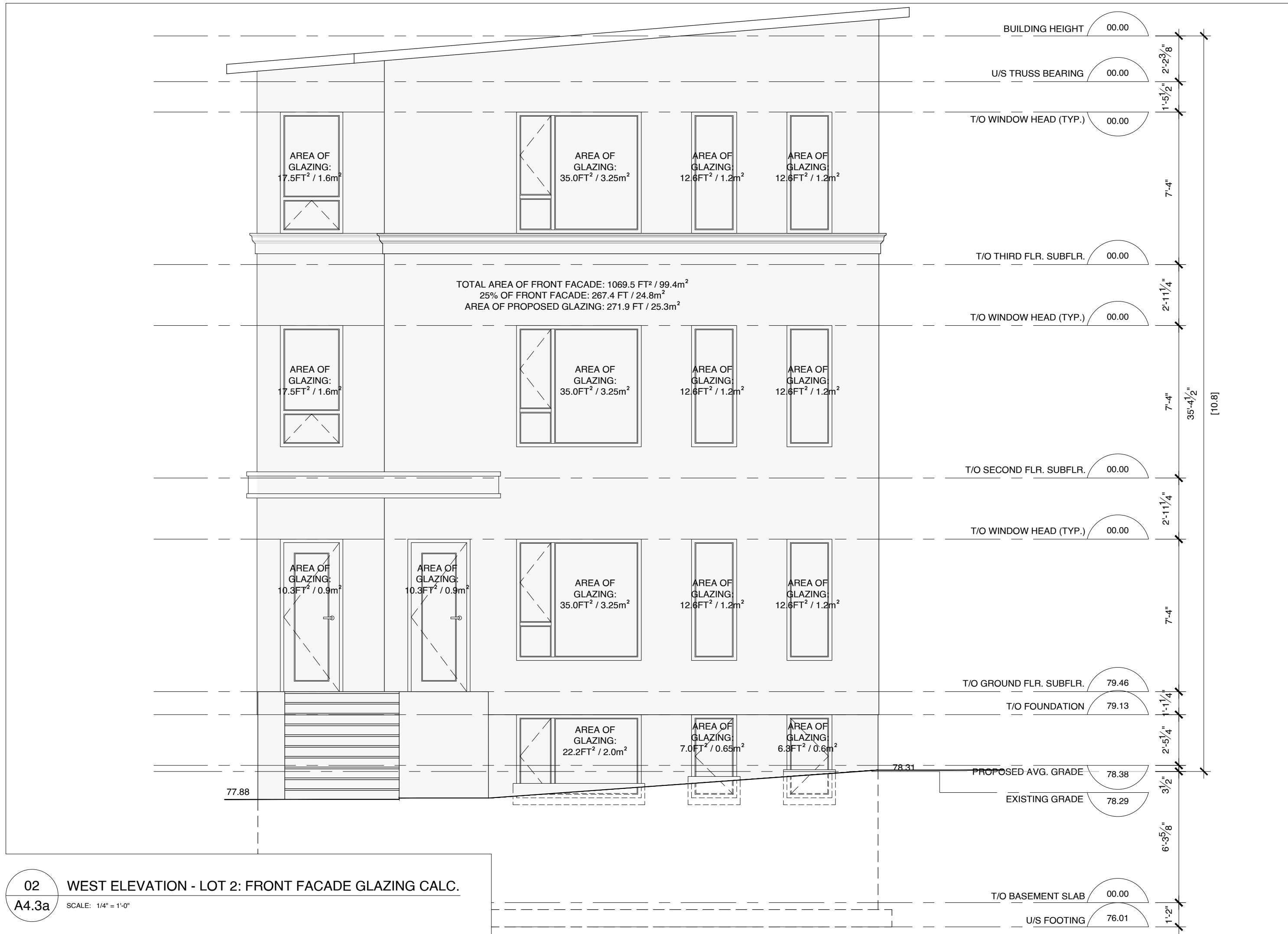
DRAWN BY:	CHECKED BY:
H.K.	S.J.L.
PLOT DATE:	PROJECT DATE:
2025.05.07	2023.08.21
JOB NUMBER:	SCALE:
SL-1126-24	AS SHOWN
SHEET NUMBER:	

A4.2b

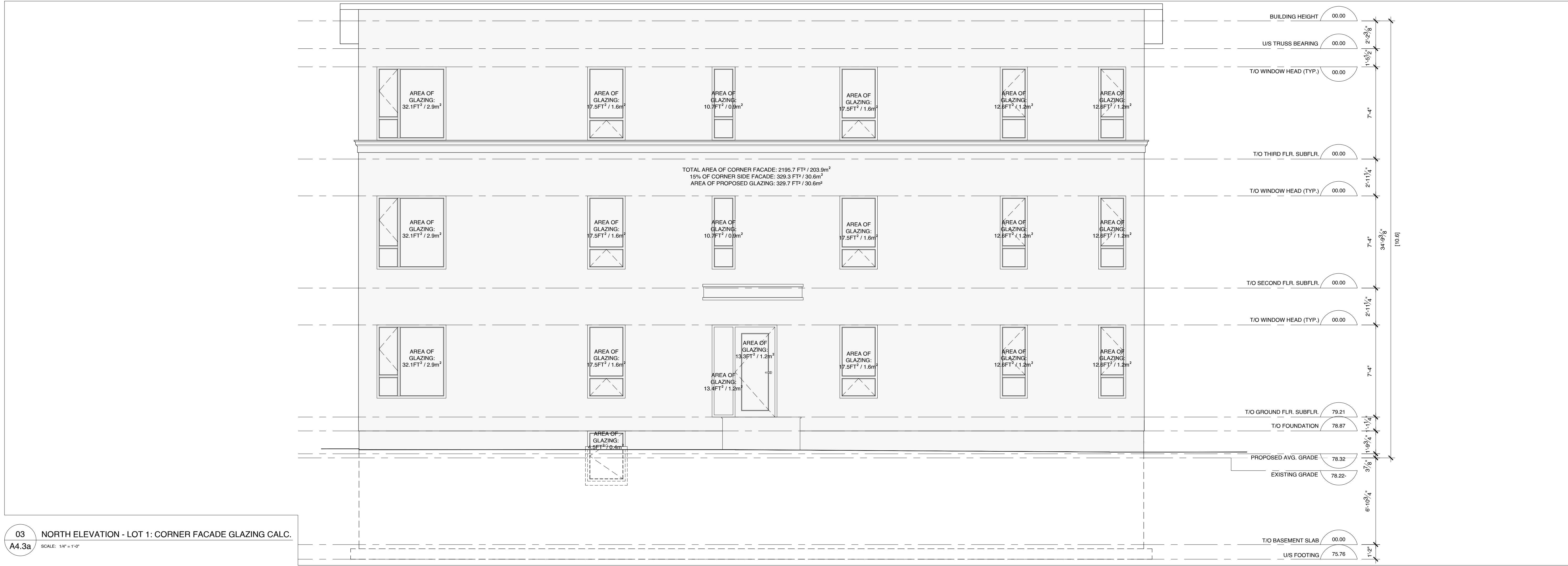
APPLICATION #



01 WEST ELEVATION - LOT 1: FRONT FACADE GLAZING CALC.
A4.3a SCALE: 1/4" = 1'-0"



02 WEST ELEVATION - LOT 2: FRONT FACADE GLAZING CALC.
A4.3a SCALE: 1/4" = 1'-0"



03 NORTH ELEVATION - LOT 1: CORNER FACADE GLAZING CALC.
A4.3a SCALE: 1/4" = 1'-0"

NOTES:

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SEAL:

NORTH ARROW:

OWNER & CONSULTANTS:

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No.	DATE	REVISION
09	2025.05.07	1.F. ZONING BY-LAW AMENDMENT - REV1
08	2025.03.21	ISSUED FOR COORDINATION
07	2025.01.22	1.F. ZONING BY-LAW AMENDMENT
06	2024.10.31	ISSUED FOR COORDINATION
05	2024.10.28	ISSUED FOR COORDINATION
04	2024.09.19	ISSUED FOR COORDINATION
03	2024.07.03	ISSUED FOR PRE-CON PHASE III
02	2024.06.28	ISSUED FOR REVIEW
01	2024.02.21	ISSUED FOR REVIEW

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PROJECT:
MODULAR HOMES - 8 PLEX
(LOT 1 - BLOCK 1)

2409 CARLSEN AVENUE, OTTAWA, ON, K1V 8E9

SHEET TITLE:
ZONING COMPLIANCE
GLAZING CALCULATIONS

DRAWN BY:	CHECKED BY:
H.K.	S.J.L.
PLOT DATE:	PROJECT DATE:
2025.05.07	2023.08.21
JOB NUMBER:	SCALE:
SL-1126-24	AS SHOWN
SHEET NUMBER:	

A4.3a

PLAN #

APPLICATION #