

GENERAL ARCHITECTURAL NOTES:

- This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
- Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
- Upon notice in writing, the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents.
- The Architectural Drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
- Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
- These documents are not to be used for construction unless specifically noted for such purpose.

KEY PLAN

8	REISSUED FOR ZBLA & SPC	2025-04-14
7	REISSUED FOR ZBLA & SPC	2024-10-10
6	REISSUED FOR ZBLA & SPC	2024-08-20
5	REISSUED FOR SPC	2024-06-20
4	ISSUED FOR COORDINATION	2024-04-30
2	REISSUED FOR SPC	2024-04-10
1	ISSUED FOR SPC	2023-06-08

ISSUE RECORD



**project1 studio**

Project1 Studio Incorporated  
[613.884.9339 | mail@project1studio.ca]

**47 Beechwood**  
47 Beechwood Avenue  
Ottawa, Ontario  
K1M 1L9

PROJ	SCALE	DRAWN	REVIEWED
2218	NOTED	JH	RMK

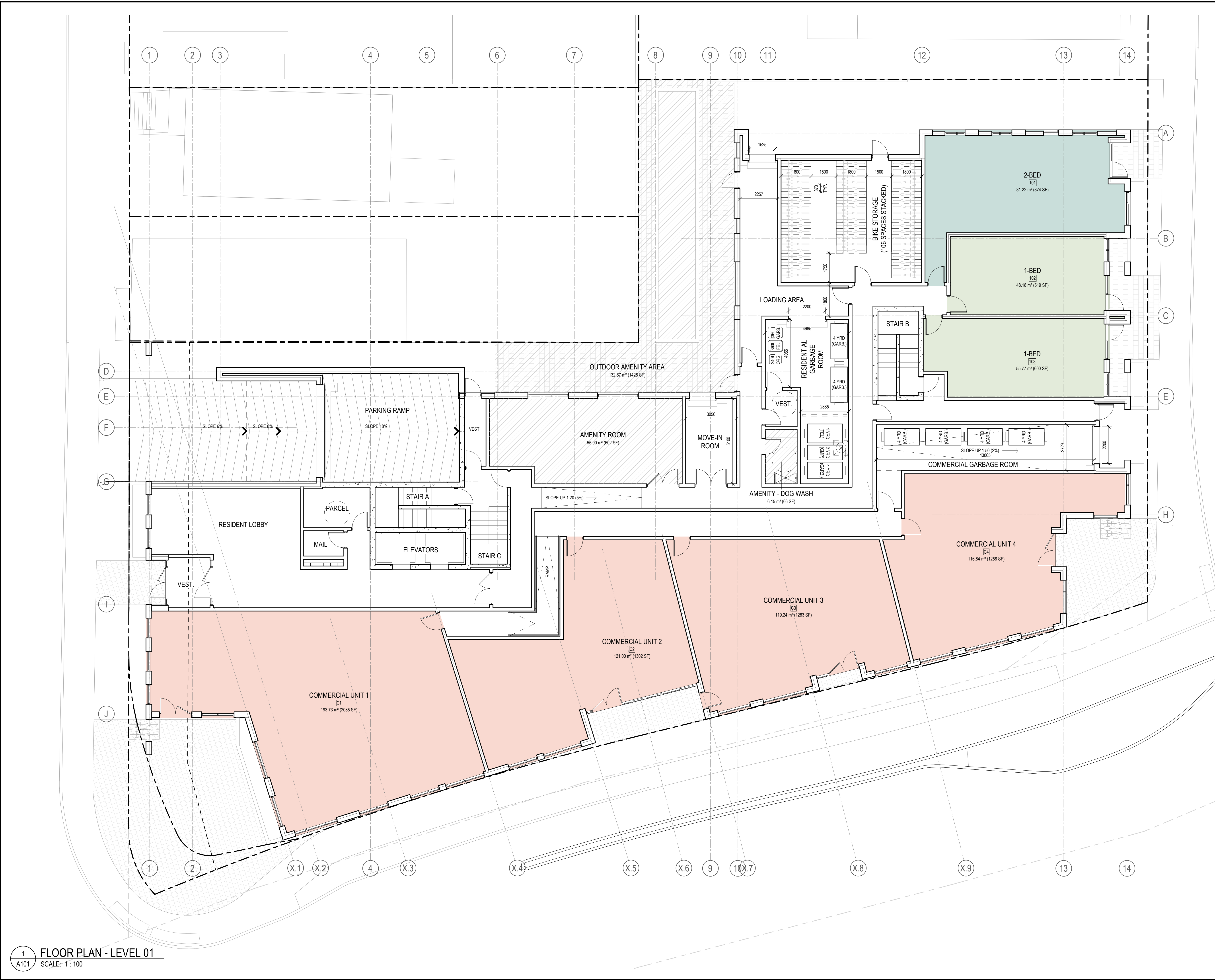
**FLOOR PLAN - LEVEL P1**

**A100**

D02-02-23-0052 & D07-12-23-0084

Plan Number #19043





GENERAL ARCHITECTURAL NOTES:

- This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
- Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
- Upon notice in writing, the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents.
- The Architectural Drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
- Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
- These documents are not to be used for construction unless specifically noted for such purpose.

KEY PLAN

8	REISSUED FOR ZBLA & SPC	2025-04-14
7	REISSUED FOR ZBLA & SPC	2024-10-10
6	REISSUED FOR ZBLA & SPC	2024-08-20
5	REISSUED FOR SPC	2024-06-20
4	ISSUED FOR COORDINATION	2024-04-30
2	REISSUED FOR SPC	2024-04-10
1	ISSUED FOR SPC	2023-06-08

ISSUE RECORD



project1  
studio

Project1 Studio Incorporated  
(613) 884-3939 | mail@project1studio.ca

47 Beechwood

47 Beechwood Avenue  
Ottawa, Ontario  
K1M 1L9

PROJ	SCALE	DRAWN	REVIEWED
2218	NOTED	JH	RMK

FLOOR PLAN - LEVEL 01

A101

D02-02-23-0052 & D07-12-23-0084

1 FLOOR PLAN - LEVEL 01  
A101 SCALE: 1:100





GENERAL ARCHITECTURAL NOTES:

1. This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
2. Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
3. Upon notice in writing, the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents.
4. The Architectural drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
5. Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
6. These documents are not to be used for construction unless specifically noted for such purpose.

KEY PLAN

8	REISSUED FOR ZBLA & SPC	2025-04-14
7	REISSUED FOR ZBLA & SPC	2024-10-10
6	REISSUED FOR ZBLA & SPC	2024-08-20
5	REISSUED FOR SPC	2024-06-20
4	ISSUED FOR COORDINATION	2024-04-30
2	REISSUED FOR SPC	2024-04-10
1	ISSUED FOR SPC	2023-06-08

ISSUE RECORD



**project1 studio**  
Project1 Studio Incorporated  
[613.884.3939] | mail@project1studio.ca

**47 Beechwood**  
47 Beechwood Avenue  
Ottawa, Ontario  
K1M 1L9

PROJ	SCALE	DRAWN	REVIEWED
2218	NOTED	JH	RMK

FLOOR PLAN - LEVEL 02

**A102**

Plan Number #19043

D02-02-23-0052 & D07-12-23-0084





GENERAL ARCHITECTURAL NOTES:

- This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
- Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
- Upon notice in writing, the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents.
- The Architectural drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
- Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
- These documents are not to be used for construction unless specifically noted for such purpose.

KEY PLAN

8	REISSUED FOR ZBLA & SPC	2025-04-14
7	REISSUED FOR ZBLA & SPC	2024-10-10
6	REISSUED FOR ZBLA & SPC	2024-08-20
5	REISSUED FOR SPC	2024-06-20
4	ISSUED FOR COORDINATION	2024-04-30
2	REISSUED FOR SPC	2024-04-10
1	ISSUED FOR SPC	2023-06-08

ISSUE RECORD



**project1 studio**  
Project1 Studio Incorporated  
[613.884.3939] | mail@project1studio.ca

**47 Beechwood**  
47 Beechwood Avenue  
Ottawa, Ontario  
K1M 1L9

PROJ	SCALE	DRAWN	REVIEWED
2218	NOTED	JH	RMK

FLOOR PLAN - LEVEL 03

**A103**

D02-02-23-0052 & D07-12-23-0084

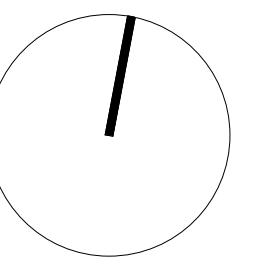
Plan Number #19043





### KEY PLAN

## ISSUE RECORD



**Project1 Studio Incorporated**  
613.884.3939 | mail@project1studio.ca

**FLOOR PLAN - LEVEL 04**

# A104





GENERAL ARCHITECTURAL NOTES:

- This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
- Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
- Upon notice in writing, the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents.
- The Architectural Drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
- Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
- These documents are not to be used for construction unless specifically noted for such purpose.

KEY PLAN

8	REISSUED FOR ZBLA & SPC	2025-04-14
7	REISSUED FOR ZBLA & SPC	2024-10-10
6	REISSUED FOR ZBLA & SPC	2024-08-20
5	REISSUED FOR SPC	2024-06-20
4	ISSUED FOR COORDINATION	2024-04-30
2	REISSUED FOR SPC	2024-04-10
1	ISSUED FOR SPC	2023-06-08

ISSUE RECORD



**project1 studio**  
Project1 Studio Incorporated  
[613.884.3939] | mail@project1studio.ca

**47 Beechwood**  
47 Beechwood Avenue  
Ottawa, Ontario  
K1M 1L9

PROJ	SCALE	DRAWN	REVIEWED
2218	NOTED	JH	RMK

FLOOR PLAN - LEVEL 05

**A105**

002-02-23-0052 & 007-12-23-0084



GENERAL ARCHITECTURAL NOTES:

- This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
- Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
- Upon notice in writing, the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents.
- The Architectural Drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
- Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
- These documents are not to be used for construction unless specifically noted for such purpose.

KEY PLAN

8	REISSUED FOR ZBLA & SPC	2025-04-14
7	REISSUED FOR ZBLA & SPC	2024-10-10
6	REISSUED FOR ZBLA & SPC	2024-08-20
5	REISSUED FOR SPC	2024-06-20
4	ISSUED FOR COORDINATION	2024-04-30
2	REISSUED FOR SPC	2024-04-10
1	ISSUED FOR SPC	2023-06-08

ISSUE RECORD



**project1 studio**  
Project1 Studio Incorporated  
[613.884.3939] [mail@project1studio.ca]

**47 Beechwood**  
47 Beechwood Avenue  
Ottawa, Ontario  
K1M 1L9

PROJ	SCALE	DRAWN	REVIEWED
2218	NOTED	JH	RMK

FLOOR PLAN - LEVEL 06

**A106**

002-02-23-0052 & 007-12-23-0084





GENERAL ARCHITECTURAL NOTES:

- This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
- Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
- Upon notice in writing, the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents.
- The Architectural Drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
- Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
- These documents are not to be used for construction unless specifically noted for such purpose.

KEY PLAN

8	REISSUED FOR ZBLA & SPC	2025-04-14
7	REISSUED FOR ZBLA & SPC	2024-10-10
6	REISSUED FOR ZBLA & SPC	2024-08-20
5	REISSUED FOR SPC	2024-06-20
4	ISSUED FOR COORDINATION	2024-04-30
2	REISSUED FOR SPC	2024-04-10
1	ISSUED FOR SPC	2023-06-08

ISSUE RECORD



**project1 studio**  
Project1 Studio Incorporated  
[613.884.3939] | mail@project1studio.ca

**47 Beechwood**  
47 Beechwood Avenue  
Ottawa, Ontario  
K1M 1L9

PROJ	SCALE	DRAWN	REVIEWED
2218	NOTED	JH	RMK

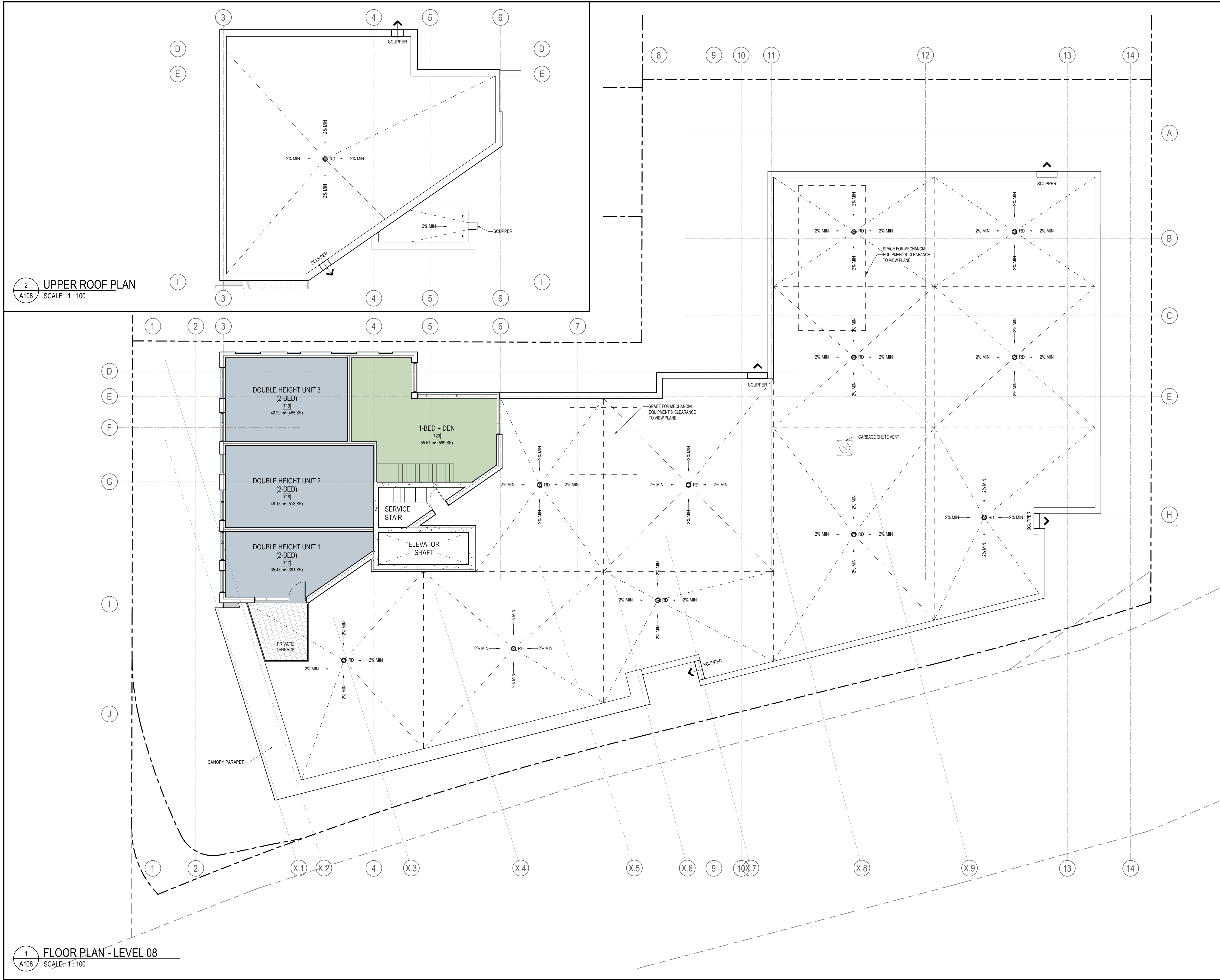
FLOOR PLAN - LEVEL 07

**A107**

Plan Number #19043

D02-02-23-0052 & D07-12-23-0084



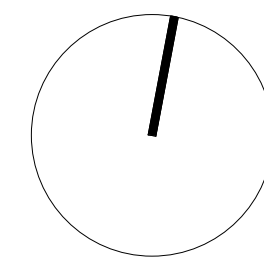
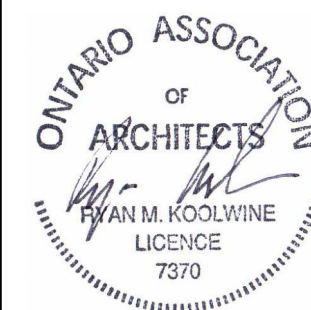


- GENERAL ARCHITECTURAL NOTES:
- This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
  - Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
  - Upon notice in writing, the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents.
  - The Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
  - Positions of exposed or limited Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings.
  - These documents are not to be used for construction unless specifically noted for such purpose.

KEY PLAN

8	REISSUED FOR ZBLA & SPC	2025-04-14
7	REISSUED FOR ZBLA & SPC	2024-10-10
6	REISSUED FOR ZBLA & SPC	2024-08-20
5	REISSUED FOR SPC	2024-06-20
4	ISSUED FOR COORDINATION	2024-04-30
2	REISSUED FOR SPC	2024-04-10
1	ISSUED FOR SPC	2023-06-08

ISSUE RECORD



project1  
studio

Project1 Studio Incorporated  
[613.884.9939] | mail@project1studio.ca

47 Beechwood

47 Beechwood Avenue  
Ottawa, Ontario  
K1M 1L9

PROJ	SCALE	DRAWN	REVIEWED
2218	NOTED	JH	RMK

FLOOR PLAN - LEVEL 08 &  
ROOF PLAN

A108

D02-02-23-0052 & D07-12-23-0084

Plan Number #1943





- CLADDING LEGEND:**
- AL-1 ALUMINUM COMPOSITE PANEL DARK GREY
  - AL-2 ALUMINUM COMPOSITE PANEL ANODISED
  - ST-1 ARCHITECTURAL STONE WHITE
  - BR-1 BRICK MASONRY BLACK
  - BR-2 BRICK MASONRY RED
  - GL-1 ALUMINUM AND GLASS RAILING
  - G-2 ALUMINUM AND GLASS RAILING BIRD-SAFE FRIT

GENERAL ARCHITECTURAL NOTES:

- This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
- Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
- Upon notice in writing, the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents.
- The Architectural drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical, Electrical and Electrical Drawings.
- Positions of exposed or limited Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
- These documents are not to be used for construction unless specifically noted for such purpose.

KEY PLAN



8	REISSUED FOR ZBLA & SPC	2025-04-14
7	REISSUED FOR ZBLA & SPC	2024-10-10
6	REISSUED FOR ZBLA & SPC	2024-08-20
5	REISSUED FOR SPC	2024-06-20
4	ISSUED FOR COORDINATION	2024-04-30
2	REISSUED FOR SPC	2024-04-10
1	ISSUED FOR SPC	2023-06-08

ISSUE RECORD



**project1 studio**

Project1 Studio Incorporated  
(613) 884-9939 | mail@project1studio.ca

**47 Beechwood**

47 Beechwood Avenue  
Ottawa, Ontario  
K1M 1L9

PROJ	SCALE	DRAWN	REVIEWED
2218	NOTED	JH	RMK

ELEVATIONS

**A201**

D02-02-23-0052 & D07-12-23-0084

Plan Number #19043





1 EAST ELEVATION  
SCALE: 1:100



2 NORTH ELEVATION  
SCALE: 1:100

GENERAL ARCHITECTURAL NOTES:

- This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
- Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
- Upon notice in writing, the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents.
- The Architectural drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
- Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
- These documents are not to be used for construction unless specifically noted for such purpose.

KEY PLAN

8	REISSUED FOR ZBLA & SPC	2025-04-14
7	REISSUED FOR ZBLA & SPC	2024-10-10
6	REISSUED FOR ZBLA & SPC	2024-08-20
5	REISSUED FOR SPC	2024-06-20
4	ISSUED FOR COORDINATION	2024-04-30
2	REISSUED FOR SPC	2024-04-10
1	ISSUED FOR SPC	2023-06-08

ISSUE RECORD



project1  
studio

Project1 Studio Incorporated  
(613) 844-9939 | mail@project1studio.ca

47 Beechwood

47 Beechwood Avenue  
Ottawa, Ontario  
K1M 1L9

PROJ	SCALE	DRAWN	REVIEWED
2218	NOTED	JH	RMK

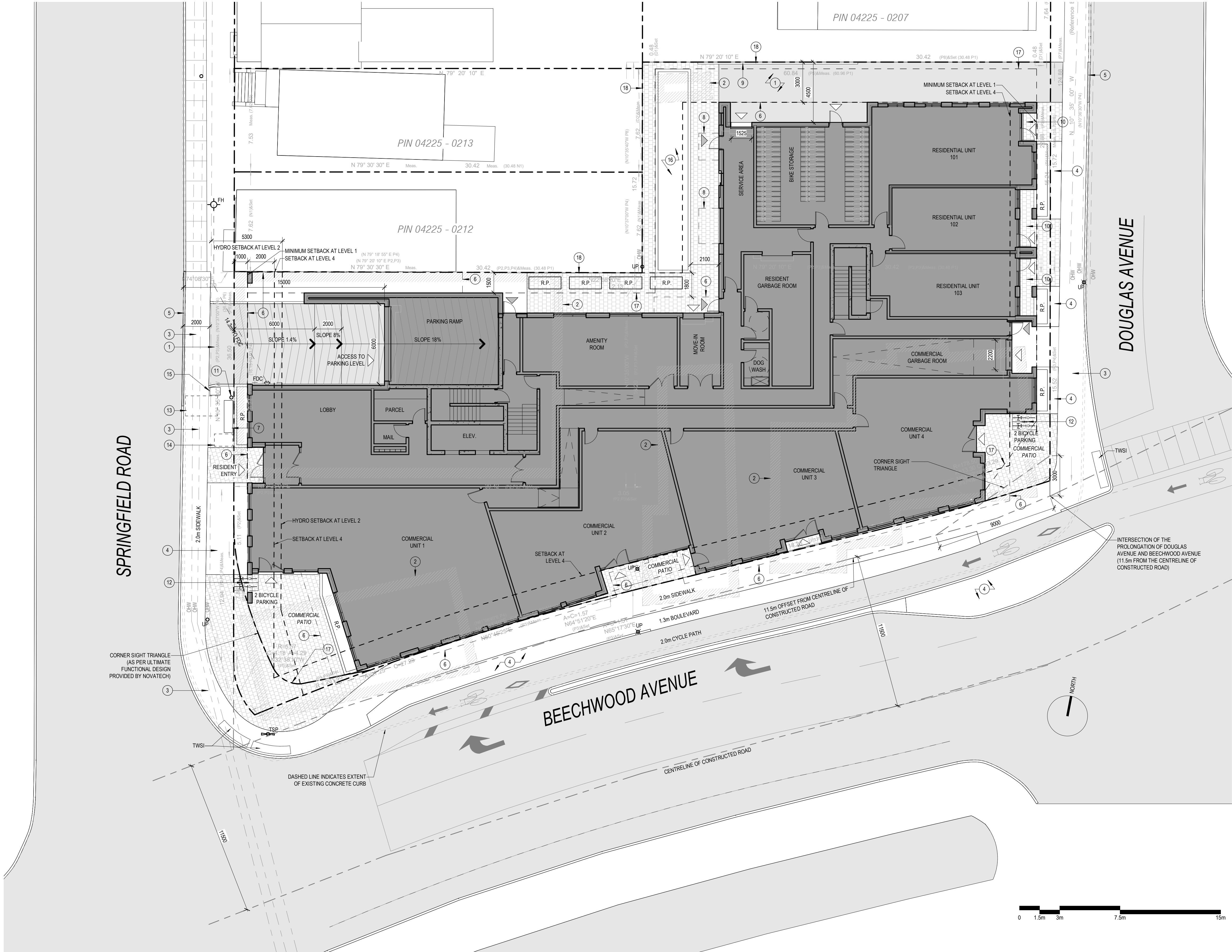
ELEVATIONS

A202

D02-02-23-0052 & D07-12-23-0084

Plan Number #19043





SITE PLAN SYMBOLS LEGEND			
	BUILDING ENTRANCE		FIRE DEPARTMENT CONNECTION
	BUILDING EXIT		FIRE HYDRANT
	BICYCLE PARKING		NEW STREET LIGHT
	PROPERTY LINE		STREET LIGHT TO BE REMOVED
	SETBACK LINE		EXISTING STREET LIGHT TO REMAIN
	OVERHEAD WIRES		EXISTING UTILITY POLE TO REMAIN
	INTERLOCKING STONE PAVERS		UTILITY POLE TO BE REMOVED/RELOCATED
	EXISTING TRAFFIC SIGNAL POST		
	RAISED PLANTER		

SITE PLAN NOTES	
1	ASPHALT
2	EXISTING STRUCTURE TO BE DEMOLISHED
3	CONCRETE SIDEWALK
4	
5	DEPRESSED CURB
6	LINE OF CANOPY/BUILDING ABOVE
7	BENCH
8	BALCONY ABOVE
9	CONCRETE CURB. SEE CIVIL
10	RAISED TERRACE. SEE CIVIL
11	BUS STOP FLAG POLE
12	BIKE RACK. REFER TO LANDSCAPE
13	BUS LOADING AREA (2400mm x 1500mm)
14	ACCESSIBLE SEATING AREA (915mm x 1370mm)
15	GARBAGE BIN
16	POURED CONCRETE PLANTER. REFER TO LANDSCAPE
17	LINE OF UNDERGROUND PARKING BELOW
18	WOOD PRIVACY FENCE. REFER TO LANDSCAPE

**OWNER**  
2317916 ONT INC.  
2081 MERIVALE ROAD  
OTTAWA, ON, K2G 1G9

**ARCHITECT**  
PROJECT1 STUDIO  
260 ST. PATRICK ST. SUITE 300  
OTTAWA, ON, K1N 5K5

**PLANNER**  
NOVATECH  
240 MICHAEL COWPLAND DRIVE, SUITE 200  
OTTAWA, ON, K2M 1P6

**LANDSCAPE ARCHITECT**  
NOVATECH  
240 MICHAEL COWPLAND DRIVE, SUITE 200  
OTTAWA, ON, K2M 1P6

**CIVIL ENGINEER**  
STANTEC  
300 - 1331 CLYDE AVENUE  
OTTAWA, ON, K2C 3G4

**SURVEYOR**  
ANNIS O'SULLIVAN VOLLEBEKK LTD.  
14 CONCOURSE GATE, SUITE 500  
OTTAWA, ON, K2E 7S6

GENERAL ARCHITECTURAL NOTES:  
1. This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.  
2. Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.  
3. Upon notice in writing, the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents.  
4. The Architectural drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.  
5. Positions of proposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.  
6. These documents are not to be used for construction unless specifically noted for such purpose.

KEY PLAN

8	REISSUED FOR ZBLA & SPC	2025-04-14
7	REISSUED FOR ZBLA & SPC	2024-10-10
6	REISSUED FOR ZBLA & SPC	2024-08-20
5	REISSUED FOR SPC	2024-06-20
4	ISSUED FOR COORDINATION	2024-04-30
3	ISSUED FOR COORDINATION	2024-04-25
2	REISSUED FOR SPC	2024-04-10
1	ISSUED FOR SPC	2023-06-08

ISSUE RECORD



project1  
studio

Project1 Studio Incorporated  
[613.884.9339] | mail@project1studio.ca

**47 Beechwood**  
  
47 Beechwood Avenue  
Ottawa, Ontario  
K1M 1L9

PROJ	SCALE	DRAWN	REVIEWED
2218	NOTED	JH	RMK

SITE PLAN

SP-01



RESIDENTIAL UNIT COUNT										
NAME	LVL 01	LVL 02	LVL 03	LVL 04	LVL 05	LVL 06	LVL 07	TOTAL COUNT	PERCENTAGE	
1-BED	2	4	4	4	4	5	6	29	24%	
1-BED + DEN	0	5	6	3	3	3	1	21	17%	
2-BED	1	5	6	7	7	6	7	39	32%	
DOUBLE HEIGHT UNIT 1 (2-BED)	0	0	0	0	0	0	1	1	1%	
DOUBLE HEIGHT UNIT 2 (2-BED)	0	0	0	0	0	0	1	1	1%	
DOUBLE HEIGHT UNIT 3 (2-BED)	0	0	0	0	0	0	1	1	1%	
STUDIO	0	5	5	6	6	6	3	31	25%	
TOTAL	3	19	21	20	20	20	20	123	100%	

RETAIL UNIT LIST				
NUMBER	UNIT TYPE	AREA	AREA (SF)	
C1	COMMERCIAL UNIT 1	193.73 m²	2085 SF	
C2	COMMERCIAL UNIT 2	121.00 m²	1302 SF	
C3	COMMERCIAL UNIT 3	119.24 m²	1283 SF	
C4	COMMERCIAL UNIT 4	116.84 m²	1258 SF	
TOTAL		550.81 m²	5928 SF	

PARKING SCH. (BICYCLE)	
LEVEL	COUNT
LEVEL P1	18
LEVEL 1	110
TOTAL	128

PARKING SCH. (VEHICLE)	
TYPE	COUNT
RESIDENT	30
RETAIL	7
VISITOR	11
TOTAL	48

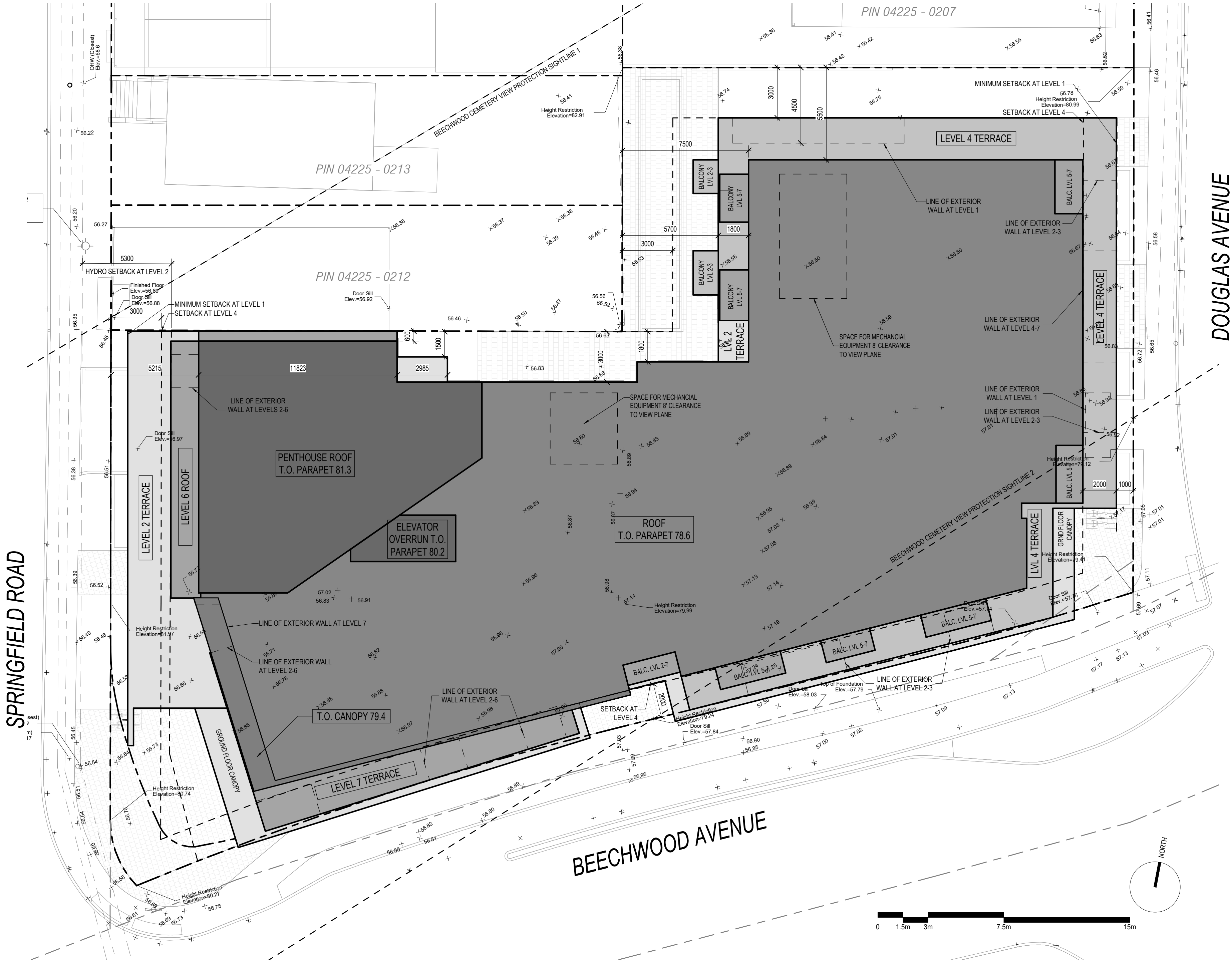
PART 1 Plan of PART OF LOTS 1, 2, 3 & 4 (NORTH BEECHWOOD AVENUE) LOT 1 AND PART OF LOT 2 (WEST DOUGLAS AVENUE) REGISTERED PLAN 74 CITY OF OTTAWA

Surveyed by Annis, O'Sullivan, Vollebæk Ltd.

**SURVEY INFO**  
SCALE: NTS



**2 LOCATION PLAN**  
SP-02 SCALE: NTS

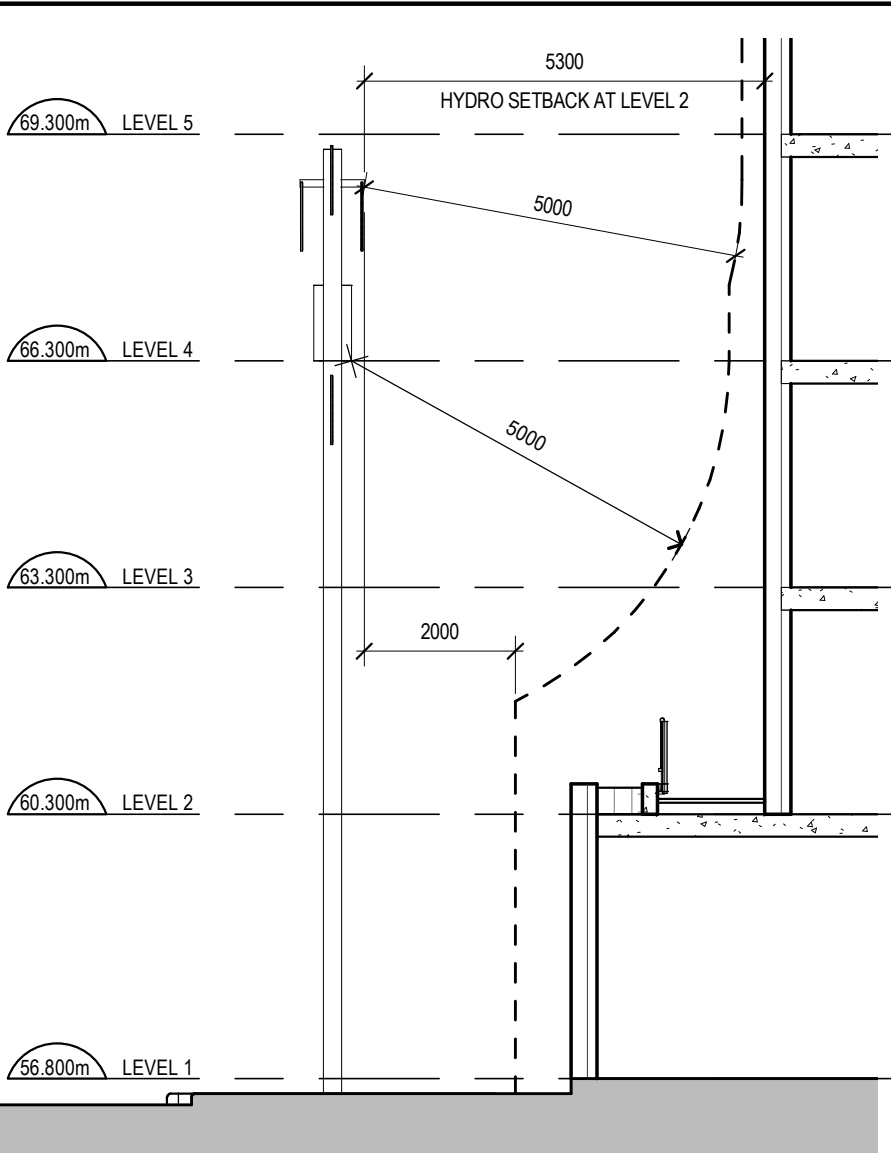


**1 SITE SETBACK PLAN**  
SP-02 SCALE: 1 : 150

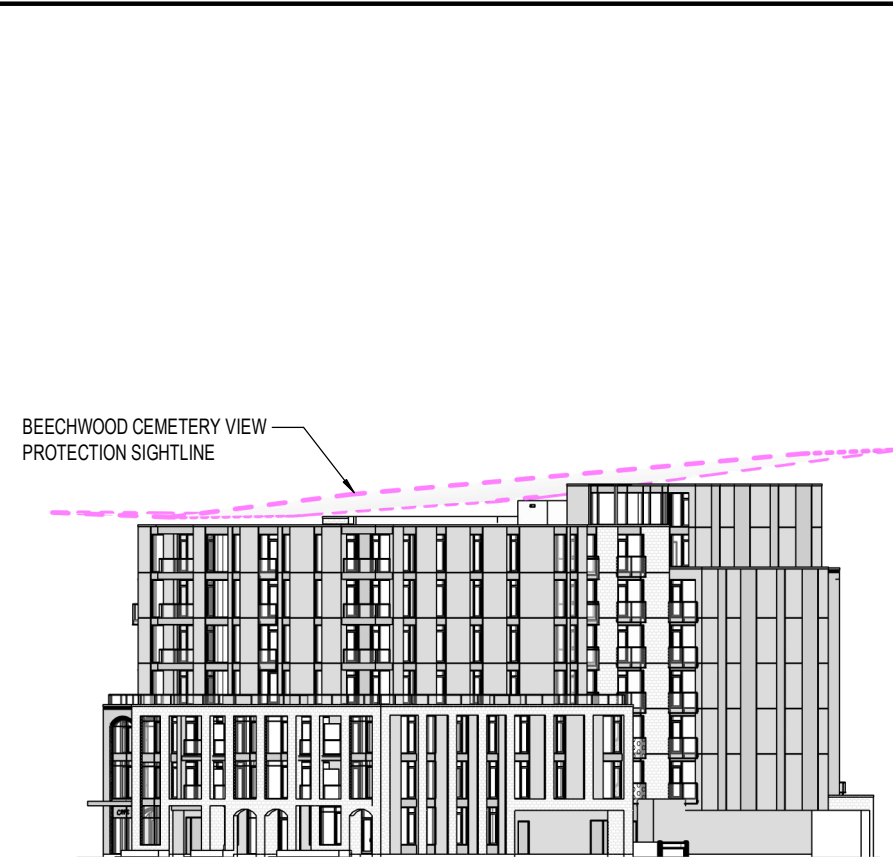
Site Statistics		
Current Zoning Designation:	TM8	
Lot Width:	61.8m	
Total Lot Area:	1930.5m <sup>2</sup>	
Gross Floor Area:	11160m <sup>2</sup>	
Building Area:	1520m <sup>2</sup>	
Floor Space Index:	5.78	
Proposed Development - 8 Storey Mid-Rise Apartment Building		
No. of Units:	123	
Zoning Mechanism	Required	Provided
Minimum Lot Area Table 197(a)	No Minimum	1930.5m <sup>2</sup>
Minimum Lot Width Table 197(b)	No Minimum	32m
Front Yard Setback 197(b)(i)	0m for the first 3 storeys 2m above third storey	0m (first 3 storeys) 2m (above sixth storey)
Corner Side Yard Setback 197(b)(ii)	Min. 1m, Max 3m for the first 3 storeys 2m more above third storey	1m (first 3 storeys) 2m greater than storeys 1-3
Rear Yard Setback 197(b)(iii)	where abutting a residential zone, - 5 metres for the first three storeys except in the case of corner or through lots 20 metres or greater in width, where setback is 3 metres for up to half the lot width measured from the corner side lot line and 7.5 metres for the remaining portion of the lot width - 7.5 metres above the third storey	3m (first three storeys) 5.5m (above third storey)
Max. Interior Side Yard Setback Table 197(d)(i) (abutting residential zone) - East side	Min. 3 metres for a non-residential use building or a mixed-use building abutting a residential zone	3m
Min. Interior Side Yard Setback Table 197(d)(ii) (abutting mixed-use zone) - West side	No minimum	0m
Minimum Building Height Table 197(g)(i)	6.7 metres for a distance of 20 metres from the front lot line as set out under subsection 197(f)	24.7m
Maximum Building Height Table 197(g)(ii)	20m / 6 storeys Add. setback of 2m where building greater than 4 stor.	24.7m / 8 storeys Additional 2m setback provided above 6 <sup>th</sup> storey
Angular Plane Table 197(g)(ii)(2)	Rear lot line abuts an R3 zone. A 45 degree angular plane is required measured at a height of 15 m from a point 7.5 m from the rear lot line, projecting upwards towards the front lot line.	A 45 degree angular plane is provided measured at a height of 22 m from a point 5.5 m from the rear lot line.
Minimum Width of Landscaped Area Table 197(i)	3m (abutting a residential zone) All other cases: No Minimum – lot abuts a TM zone	0m (rear lot line) 1.5m abutting Interior Side Yard lot lines
Minimum Driveway Width Table 197(j)	6m for parking lots with 20 or more parking spaces	6m
Total Amenity Area Table 1374(i)(i)	738m <sup>2</sup> 6m <sup>2</sup> / unit for 123 units	880m <sup>2</sup>
Communal Amenity Area Table 1374(i)(ii)	369m <sup>2</sup> Min. 50% of Total Amenity Area	375m <sup>2</sup>
Parking Requirements (Residential)		
Minimum Parking Spaces 101 (Sch. 1A - Area Y)	50 Spaces 0 spaces for the first 12 units - Section 1014(i)(b) 0.5 spaces / unit for 111 units - Table 101(R15) - 10% Section 101(f)	30 Resident Spaces
Minimum Visitor Parking Spaces 102 (Sch. 1A - Area Y)	11 Spaces 0 spaces for first 12 units - Section 102(2) 0.1 spaces / unit for 111 units - Table 102	11 Visitor Spaces
Parking Requirements (Retail)		
Minimum Parking Spaces 101 (Sch. 1A - Area Y)	7 Spaces 1.25 space / 100m <sup>2</sup> x 551m <sup>2</sup> - Table 101(N79)	7 Spaces
Bicycle Parking Rates		
Minimum Bicycle Parking Spaces (Residential) Table 111A (Sch. 1 - Area B)	62 Spaces 0.5 spaces / unit for 123 units [111A(b)(iii)]	124 Spaces (interior spaces) (106 at grade)
Minimum Bicycle Parking Spaces (Retail) Table 111A (Sch. 1 - Area B)	2 Spaces 1 space / 250m <sup>2</sup> x 551m <sup>2</sup> [111A(e)]	4 Spaces (exterior spaces)

AREA SCH. (COMMUNAL AMENITY)			
LEVEL	NAME	AREA	AREA (SF)
LEVEL 1	AMENITY - DOG WASH	6.15 m²	66 SF
LEVEL 1	AMENITY ROOM	55.90 m²	602 SF
LEVEL 1	OUTDOOR AMENITY AREA	132.67 m²	1428 SF
LEVEL 2	AMENITY - COMMUNAL TERRACE	42.93 m²	462 SF
LEVEL 2	AMENITY ROOM	137.20 m²	1477 SF
TOTAL		374.84 m²	4035 SF

AREA SCH. (PRIVATE AMENITY)		
LEVEL	AREA	AREA (SF)
Not Placed	0.00 m²	0 SF
LEVEL 1	19.87 m²	214 SF
LEVEL 2	54.85 m²	590 SF
LEVEL 3	59.04 m²	635 SF
LEVEL 4	166.78 m²	1795 SF
LEVEL 5	54.87 m²	591 SF
LEVEL 6	54.98 m²	591 SF
LEVEL 7	84.24 m²	907 SF
LEVEL 8	11.08 m²	119 SF
TOTAL	505.61 m²	5442 SF



**3 HYDRO WIRE SECTION**  
SP-02 SCALE: 1 : 100



**4 VIEW PROTECTION SIGHTLINES**  
SP-02 SCALE:

- GENERAL ARCHITECTURAL NOTES:
- This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
  - Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
  - Upon notice in writing, the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents.
  - The Architectural drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
  - Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
  - These documents are not to be used for construction unless specifically noted for such purpose.

KEY PLAN

- |   |                         |            |
|---|-------------------------|------------|
| 8 | REISSUED FOR ZBLA & SPC | 2025-04-14 |
| 7 | REISSUED FOR ZBLA & SPC | 2024-10-10 |
| 6 | REISSUED FOR ZBLA & SPC | 2024-08-20 |
| 5 | REISSUED FOR SPC        | 2024-06-20 |
| 4 | ISSUED FOR COORDINATION | 2024-04-30 |
| 2 | REISSUED FOR SPC        | 2024-04-10 |
| 1 | ISSUED FOR SPC          | 2023-06-08 |

ISSUE RECORD



**project1 studio**

Project1 Studio Incorporated  
(613) 884-9339 | mail@project1studio.ca

**47 Beechwood**

47 Beechwood Avenue  
Ottawa, Ontario  
K1M 1L9

PROJ	SCALE	DRAWN	REVIEWED
2218	NOTED	JH	RMK

**PROJECT STATISTICS AND ZONING INFORMATION**

**SP-02**