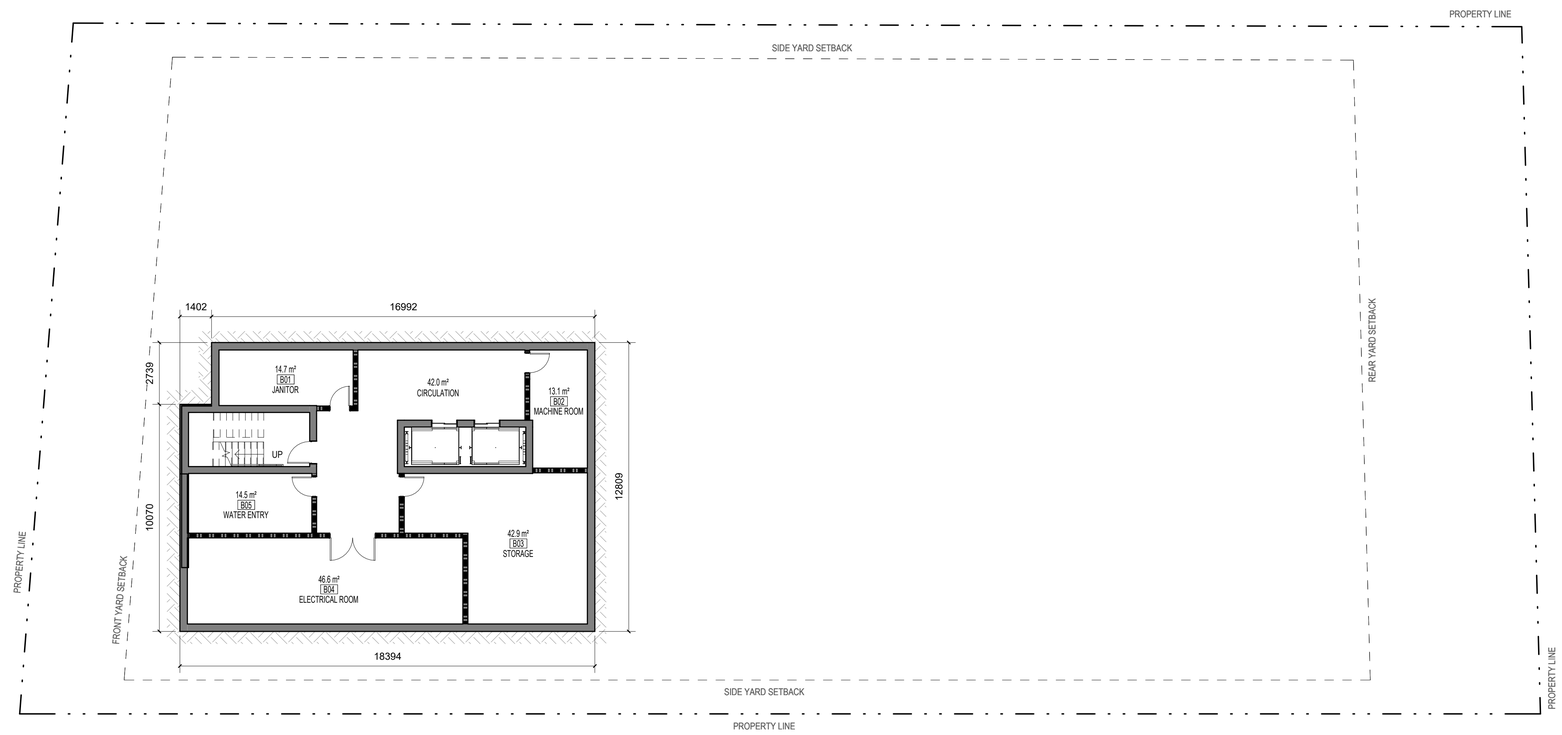

1 / A.120 BASEMENT FLOOR PLAN - SPC
1 : 125

NORTH

GENERAL NOTES - CONSTRUCTION PLAN

1. INTERIOR FINISHES (INCLUDING FLOORS AND BASEBOARDS): REFER TO FINISH PLANS FOR DETAILS OF COMPOSITION

2. PROVIDE NAILERS ON ALL WALLS TO RECEIVE BUILT-IN FURNITURE, SHELVING, SCREENS, ETC.

3. UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TAKEN FROM FACE OF STUDS AND CENTER OF DOORS AND WINDOWS. REQUIRED CLEARANCES WILL BE DIMENSIONED AND SHOWN TO FACE OF WALL OR DOOR OPENING

4. SEE A800 FOR DOOR SCHEDULE

5. UNLESS OTHERWISE INDICATED, ALL EQUIPMENT IS PROVIDED AND INSTALLED BY THE CONTRACTOR. THE CONTRACTOR MUST COORDINATE AND PROVIDE THE SERVICES REQUIRED TO POWER THE EQUIPMENT.

6. FILL ALL GAPS AND JOINTS WITH ACOUSTIC INSULATION AND SEAL WITH ACOUSTIC CAULKING WHEN ACOUSTIC PERFORMANCE IS REQUIRED.

7. COORDINATE WALL OPENINGS WITH MECHANICAL (SEE MECHANICAL DRAWINGS).

8. PLYWOOD PANELS USED AS NAILERS IN THE ELECTRICAL ROOMS MUST BE FIRE-TREATED.

9. PROVIDE ROD AND SHELF TYP. FOR ALL CLOSETS AS SHOWN.

10. ALL WINDOW AND DOOR DIMENSIONS ARE TO ROUGH STUD OPENING.

11. ALL OUTSIDE DIMENSIONS ARE TO OUTSIDE FACE OF STUD SHEATHING.

12. REFER TO STRUCTURAL DRAWINGS FOR BEAMS, LINTELS, POSTS, FLOOR, AND ROOF FRAMING.

13. ALL ELECTRICAL AND MECHANICAL ITEMS SHOWN ON DRAWINGS ARE FOR LOCATION PROPOSED ONLY. COORDINATE WITH M&E DRAWINGS.

14. CAULK AND SEAL AT ALL MECHANICAL AND ELECTRICAL PENETRATIONS.

15. PROVIDE FIRE STOPPING FOR MECHANICAL AND ELECTRICAL PENETRATONS THROUGH FIRE-RATED ASSEMBLIES. INFILL ANY UNUSED PENETRATIONS WITH FIRE-STOPPING TO SUIT ASSEMBLY.

16. REFER TO RCP PLANS FOR BULKHEAD LOCATIONS AND DEPTHS.

17. FURNITURE SHOWN FOR REFERENCE PURPOSE ONLY.

18. ALL ELECTRICAL CONTROL HEIGHTS WITHIN BARRIER-FREE UNITS AND PATHS OF TRAVEL THROUGHOUT THE BUILDING TO COMPLY WITH CSA B-651

19. PROVIDE SOUNDPROOF FIBERGLASS BATT IN ALL PARTITIONS WITH SUPPLY PIPES, SANITARY DRAIN OR RAINWATER LEADERS. COORDINATE WITH MECH.

20. UNIT NAME: "XBD-B/F" INDICATES BARRIER-FREE REQUIREMENTS AS PER CAN/CSA, NATIONAL STANDARD OF CANADA, AND ACTION OTTAWA'S ACCESSBLE UNIT REQUIREMENTS.

GENERAL NOTES - PARTITIONS

1. UNLESS INDICATED OTHERWISE, ALL NEW GYPSUM PARTITIONS ARE WOOD-FRAMED. REFER TO WALL TAGS FOR DETAILS OF COMPOSITION.

2. PARTITIONS CONTINUING TO THE SLAB MUST BLEND PERFECTLY WITH ITS GEOMETRY TO ENSURE THAT THE FULL PERIMETER IS CAULKED TO MEET THE REQUIRED ULC FIRE RESISTANCE AND/OR TO ENSURE THE REQUIRED ACOUSTIC PERFORMANCE.

3. UNLESS NOTED OTHERWISE, DOOR FRAMES ARE INSTALLED 4" FROM THE ADJACENT WALL.

4. WATER-REPELLENT GYPSUM PANELS ARE REQUIRED IN ROOMS WITH WATER OR MOISTURE EXPOSURE (BATHROOMS, JANITOR'S LODGE, KITCHENS WALL ABOVE MILLWORK, ETC.).

5. CONTRACTION JOINTS ON GYPSUM PANELS TO BE USED AT MAXIMUM 9,100mm (30'-0").

6. WALLS TO RECIEVE TILE FINISH MUST BE PROVIDED WITH FIBERBOARD BACKING WITHOUT COMPROMISING THE FIRE RESISTANCE RATING WHERE REQUIRED.

LEGEND - CONSTRUCTION PLAN

- NEW WALL
- WALL TYPE (1.23 / 1h / 0.750 REAL)
- NUMBER OF WALL TYPE (1.23) / FIRE RATING (1h / 0.750 REAL)
  - 0h = FIRE SEPARATION WITHOUT RATING
  - 45 min. = FIRE RESISTANCE RATING OF 45 MIN.
  - 1h = FIRE RESISTANCE RATING OF 1h
- NUMBER AND CEILING HEIGHT (TYPE / 9')
- ROOF TYPE (ID)
- NUMBER AND ROOM NAME (Room Name)
- WINDOW NUMBER (WXXXX)
- REVISION NUMBER (##)
- CENTRE LINE (℄)

No.	Date	Issued for
1	04/04/2025	SITE PLAN CONTROL

Architecte Paysagiste/ Landscape Architect
NAK design strategies

Ingénieur / Engineer
(Civil / Civil)
Stantec

Ingénieur / Engineer
(Mécanique & Electricité / Mechanical & Electrical)
Smith + Andersen

Ingénieur / Engineer
(Structure / Structure)
D+M STRUCTURAL ENGINEERING

Client / Client
Centretown Citizens Ottawa Corporation

Architecte / Architect
Collectif d'architectes
figurr
fig. 1
3550, Saint-Antoine O.
Montréal QC H4C 1A9
T. 514 861-5122
fig. 2
190 Somerset St W #206
Ottawa ON K2P 0J4
T. 613 695-6122
www.figurr.ca

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Sceau / Seal
ONTARIO ASSOCIATION OF ARCHITECTS
ROBERTO CAMPOS
LICENCE
7401

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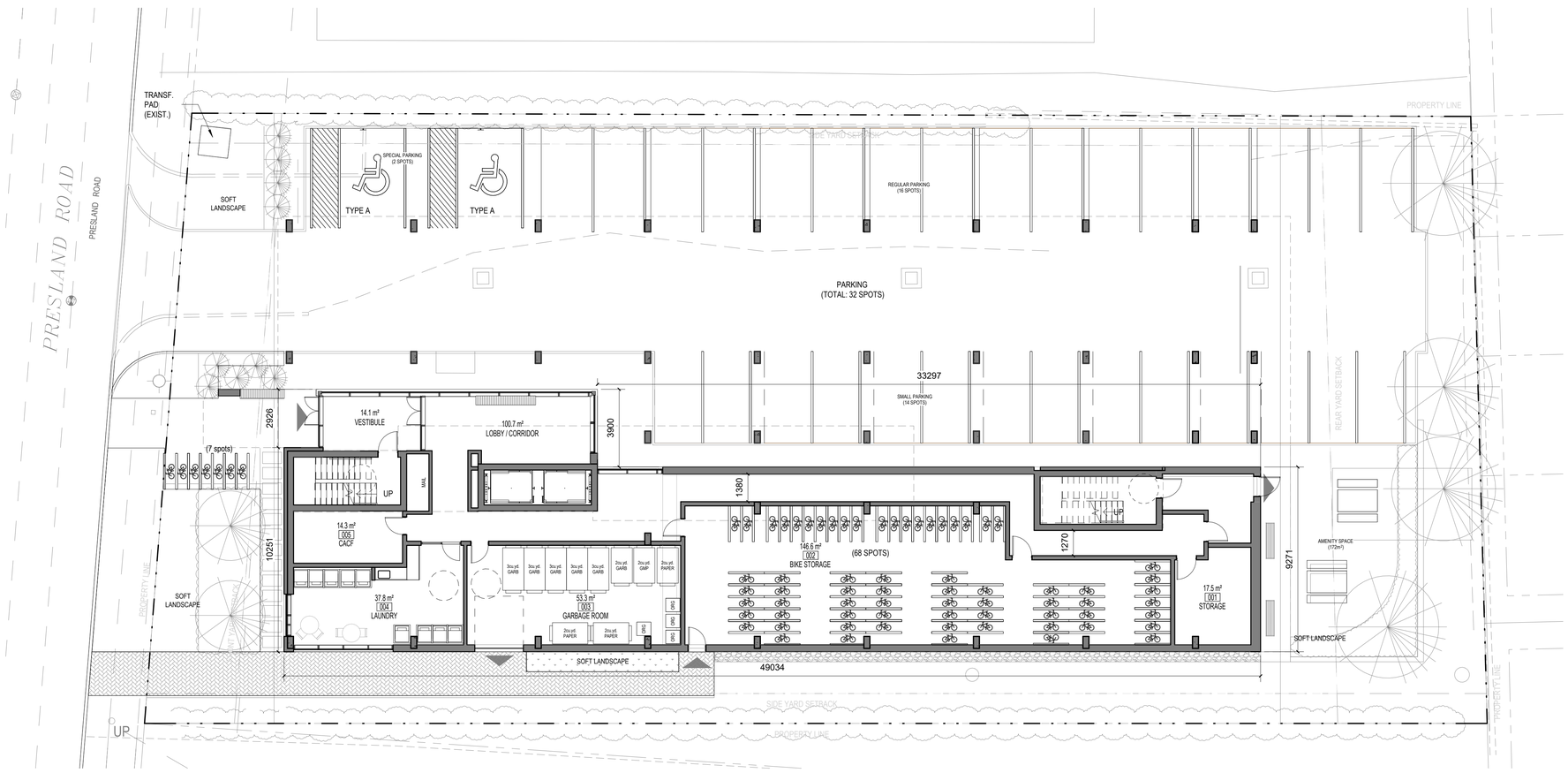
Projet / Project
6 STOREY APARTMENT BUILDING
240 PRESLAND ROAD

Titre / Title
BASEMENT

Dessiné par / Drawn by	No. projet / Project number	
GM	2424	
Vérifié par / Verified by	No. dessin / Drawing number	Révision / Revision
ZK		1
Echelle / Scale: As indicated		
Date de création du dessin / Drawing creation date: 04/04/25	A.120	



1 / A.121 LEVEL 1 FLOOR PLAN - SPC
1 : 125

GENERAL NOTES - CONSTRUCTION PLAN

1. INTERIOR FINISHES (INCLUDING FLOORS AND BASEBOARDS): REFER TO FINISH PLANS FOR DETAILS OF COMPOSITION

2. PROVIDE NAILERS ON ALL WALLS TO RECEIVE BUILT-IN FURNITURE, SHELVING, SCREENS, ETC.

3. UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TAKEN FROM FACE OF STUDS AND CENTER OF DOORS AND WINDOWS. REQUIRED CLEARANCES WILL BE DIMENSIONED AND SHOWN TO FACE OF WALL OR DOOR OPENING

4. SEE A800 FOR DOOR SCHEDULE

5. UNLESS OTHERWISE INDICATED, ALL EQUIPMENT IS PROVIDED AND INSTALLED BY THE CONTRACTOR. THE CONTRACTOR MUST COORDINATE AND PROVIDE THE SERVICES REQUIRED TO POWER THE EQUIPMENT.

6. FILL ALL GAPS AND JOINTS WITH ACOUSTIC INSULATION AND SEAL WITH ACOUSTIC CAULKING WHEN ACOUSTIC PERFORMANCE IS REQUIRED.

7. COORDINATE WALL OPENINGS WITH MECHANICAL (SEE MECHANICAL DRAWINGS).

8. PLYWOOD PANELS USED AS NAILERS IN THE ELECTRICAL ROOMS MUST BE FIRE-TREATED.

9. PROVIDE ROD AND SHELF TYP. FOR ALL CLOSETS AS SHOWN.

10. ALL WINDOW AND DOOR DIMENSIONS ARE TO ROUGH STUD OPENING.

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12. REFER TO STRUCTURAL DRAWINGS FOR BEAMS, LINTELS, POSTS, FLOOR, AND ROOF FRAMING.

13. ALL ELECTRICAL AND MECHANICAL ITEMS SHOWN ON DRAWINGS ARE FOR LOCATION PROPOSED ONLY. COORDINATE WITH M&E DRAWINGS.

14. CAULK AND SEAL AT ALL MECHANICAL AND ELECTRICAL PENETRATIONS.

15. PROVIDE FIRE STOPPING FOR MECHANICAL AND ELECTRICAL PENETRATONS THROUGH FIRE-RATED ASSEMBLIES. INFILL ANY UNUSED PENETRATIONS WITH FIRE-STOPPING TO SUIT ASSEMBLY.

16. REFER TO RCP PLANS FOR BULKHEAD LOCATIONS AND DEPTHS.

17. FURNITURE SHOWN FOR REFERENCE PURPOSE ONLY.

18. ALL ELECTRICAL CONTROL HEIGHTS WITHIN BARRIER-FREE UNITS AND PATHS OF TRAVEL THROUGHOUT THE BUILDING TO COMPLY WITH CSA B-651

19. PROVIDE SOUNDPROOF FIBERGLASS BATT IN ALL PARTITIONS WITH SUPPLY PIPES, SANITARY DRAIN OR RAINWATER LEADERS. COORDINATE WITH MECH.

20. UNIT NAME: "XBD-B/F" INDICATES BARRIER-FREE REQUIREMENTS AS PER CAN/CSA, NATIONAL STANDARD OF CANADA, AND ACTION OTTAWA'S ACCESSBLE UNIT REQUIREMENTS.

GENERAL NOTES - PARTITIONS

1. UNLESS INDICATED OTHERWISE, ALL NEW GYPSUM PARTITIONS ARE WOOD-FRAMED. REFER TO WALL TAGS FOR DETAILS OF COMPOSITION.

2. PARTITIONS CONTINUING TO THE SLAB MUST BLEND PERFECTLY WITH ITS GEOMETRY TO ENSURE THAT THE FULL PERIMETER IS CAULKED TO MEET THE REQUIRED ULC FIRE RESISTANCE AND/OR TO ENSURE THE REQUIRED ACOUSTIC PERFORMANCE.

3. UNLESS NOTED OTHERWISE, DOOR FRAMES ARE INSTALLED 4" FROM THE ADJACENT WALL.

4. WATER-REPELLENT GYPSUM PANELS ARE REQUIRED IN ROOMS WITH WATER OR MOISTURE EXPOSURE (BATHROOMS, JANITOR'S LODGE, KITCHENS WALL ABOVE MILLWORK, ETC.).

5. CONTRACTION JOINTS ON GYPSUM PANELS TO BE USED AT MAXIMUM 9,100mm (30'-0").

6. WALLS TO RECIEVE TILE FINISH MUST BE PROVIDED WITH FIBERBOARD BACKING WITHOUT COMPROMISING THE FIRE RESISTANCE RATING WHERE REQUIRED.

LEGEND - CONSTRUCTION PLAN

- NEW WALL
- WALL TYPE (1.23 / 1h / 0.70-90s)
- NUMBER OF WALL TYPE (1.23) / FIRE RATING (1h / 0.70-90s)
  - 0h = FIRE SEPARATION WITHOUT RATING
  - 45 min. = FIRE RESISTANCE RATING OF 45 MIN.
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- NUMBER AND CEILING HEIGHT (TYPE / 9')
- ROOF TYPE (ID)
- NUMBER AND ROOM NAME (Room Name)
- WINDOW NUMBER (WXXXX)
- REVISION NUMBER (##)
- CENTRE LINE (℄)

NORTH

No.	Date	Émis pour / Object
1	04/04/2025	SITE PLAN CONTROL

Architecte Paysagiste/ Landscape Architect
NAK design strategies

Ingénieur / Engineer
(Civil / Civil)
Stantec

Ingénieur / Engineer
(Mécanique & Electricité / Mechanical & Electrical)
Smith + Andersen

Ingénieur / Engineer
(Structure / Structure)
D+M STRUCTURAL ENGINEERING

Client / Client
Centretown Citizens Ottawa Corporation

Architecte / Architect
fg 1
3550, Saint-Antoine O.
Montréal QC H4C 1A9
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fg 2
252 Argyle Ave.
Ottawa ON K2P 1B9
T. 613 695-6122

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Sceau / Seal
ONTARIO ASSOCIATION OF ARCHITECTS
ROBERTO CAMPOS
LICENCE
7401

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Projet / Project
6 STOREY APARTMENT BUILDING

240 PRESLAND ROAD

Titre / Title
LEVEL 1

Dessiné par / Drawn by: GM	No. projet / Project number: 2424
Vérifié par / Verified by: ZK	No. dessin / Drawing number: A.121
Echelle / Scale: As indicated	Révision / Revision: 1
Date de création du dessin / Drawing creation date: 04/04/25	

1 / A.122 LEVELS 2 & 3 FLOOR PLAN (TYP.) - SPC
1 : 125

NORTH

GENERAL NOTES - CONSTRUCTION PLAN

1. INTERIOR FINISHES (INCLUDING FLOORS AND BASEBOARDS): REFER TO FINISH PLANS FOR DETAILS OF COMPOSITION

2. PROVIDE NAILERS ON ALL WALLS TO RECEIVE BUILT-IN FURNITURE, SHELVING, SCREENS, ETC.

3. UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TAKEN FROM FACE OF STUDS AND CENTER OF DOORS AND WINDOWS. REQUIRED CLEARANCES WILL BE DIMENSIONED AND SHOWN TO FACE OF WALL OR DOOR OPENING

4. SEE A800 FOR DOOR SCHEDULE

5. UNLESS OTHERWISE INDICATED, ALL EQUIPMENT IS PROVIDED AND INSTALLED BY THE CONTRACTOR. THE CONTRACTOR MUST COORDINATE AND PROVIDE THE SERVICES REQUIRED TO POWER THE EQUIPMENT.

6. FILL ALL GAPS AND JOINTS WITH ACOUSTIC INSULATION AND SEAL WITH ACOUSTIC CAULKING WHEN ACOUSTIC PERFORMANCE IS REQUIRED.

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6. WALLS TO RECIEVE TILE FINISH MUST BE PROVIDED WITH FIBERBOARD BACKING WITHOUT COMPROMISING THE FIRE RESISTANCE RATING WHERE REQUIRED.

LEGEND - CONSTRUCTION PLAN

- NEW WALL
- WALL TYPE (1.23 / 0h / 0.750 REAL)
- NUMBER OF WALL TYPE (1.23) / FIRE RATING (0h / 0.750 REAL)
  - 0h = FIRE SEPARATION WITHOUT RATING
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- NUMBER AND CEILING HEIGHT (TYPE / 9')
- ROOF TYPE (ID)
- NUMBER AND ROOM NAME (Room Name)
- WINDOW NUMBER (WXXXX)
- REVISION NUMBER (##)
- CENTRE LINE (℄)

No.	Date	Issued for
1	04/04/2025	SITE PLAN CONTROL

Architecte Paysagiste/ Landscape Architect
NAK design strategies

Ingénieur / Engineer
(Civil / Civil)
Stantec

Ingénieur / Engineer
(Mécanique & Electricité / Mechanical & Electrical)
Smith + Andersen

Ingénieur / Engineer
(Structure / Structure)
D+M STRUCTURAL ENGINEERING

Client / Client
Centretown Citizens Ottawa Corporation

Architecte / Architect
fig. 1
3550, Saint-Antoine O.
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T. 514 861-5122

fig. 2
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Ottawa ON K2P 0J4
T. 613 695-6122

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ONTARIO ASSOCIATION OF ARCHITECTS
ROBERTO CAMPOS
LICENCE
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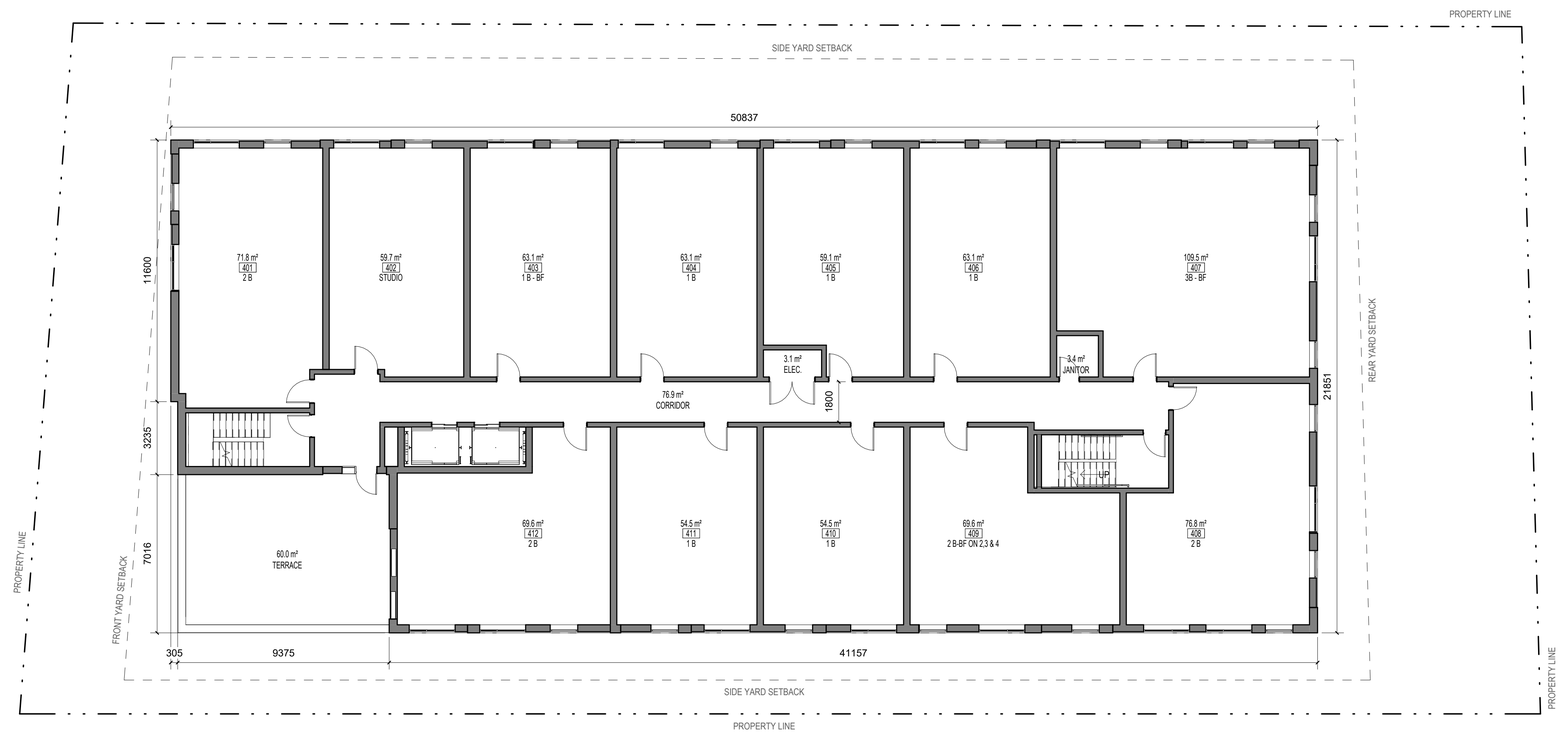
Projet / Project
6 STOREY APARTMENT BUILDING

240 PRESLAND ROAD

Titre / Title
LEVELS 2 & 3 (TYP.)

Dessiné par / Drawn by: GM	No. projet / Project number: 2424	
Vérifié par / Verified by: ZK	No. dessin / Drawing number	Révision / Revision: 1
Echelle / Scale: As indicated		
Date de création du dessin / Drawing creation date: 04/04/25	A.122	



1 / A.123 LEVEL 4 FLOOR PLAN - SPC
1 : 125

NORTH

GENERAL NOTES - CONSTRUCTION PLAN

1. INTERIOR FINISHES (INCLUDING FLOORS AND BASEBOARDS): REFER TO FINISH PLANS FOR DETAILS OF COMPOSITION

2. PROVIDE NAILERS ON ALL WALLS TO RECEIVE BUILT-IN FURNITURE, SHELVING, SCREENS, ETC.

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4. SEE A800 FOR DOOR SCHEDULE

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19. PROVIDE SOUNDPROOF FIBERGLASS BATT IN ALL PARTITIONS WITH SUPPLY PIPES, SANITARY DRAIN OR RAINWATER LEADERS. COORDINATE WITH MECH.

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6. WALLS TO RECIEVE TILE FINISH MUST BE PROVIDED WITH FIBERBOARD BACKING WITHOUT COMPROMISING THE FIRE RESISTANCE RATING WHERE REQUIRED.

LEGEND - CONSTRUCTION PLAN

- NEW WALL
- WALL TYPE
- 1.23 / 1h / 0.750-REAL — NUMBER OF WALL TYPE; FIRE RATING
  - 0h = FIRE SEPARATION WITHOUT RATING
  - 45 min. = FIRE RESISTANCE RATING OF 45 MIN.
  - 1h = FIRE RESISTANCE RATING OF 1h
- TYPE / 9' — NUMBER AND CEILING HEIGHT
- ID — ROOF TYPE
- Room Name — NUMBER AND ROOM NAME
- WXXXX — WINDOW NUMBER
- ## — REVISION NUMBER
- ℄ — CENTRE LINE

No.	Date	Issued for
1	04/04/2025	SITE PLAN CONTROL

Architecte Paysagiste/ Landscape Architect
NAK design strategies

Ingénieur / Engineer
(Civil / Civil)
Stantec

Ingénieur / Engineer
(Mécanique & Electricité / Mechanical & Electrical)
Smith + Andersen

Ingénieur / Engineer
(Structure / Structure)
D+M STRUCTURAL ENGINEERING

Client / Client
Centretown Citizens Ottawa Corporation

Architecte / Architect
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3550, Saint-Antoine O.
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fig. 2
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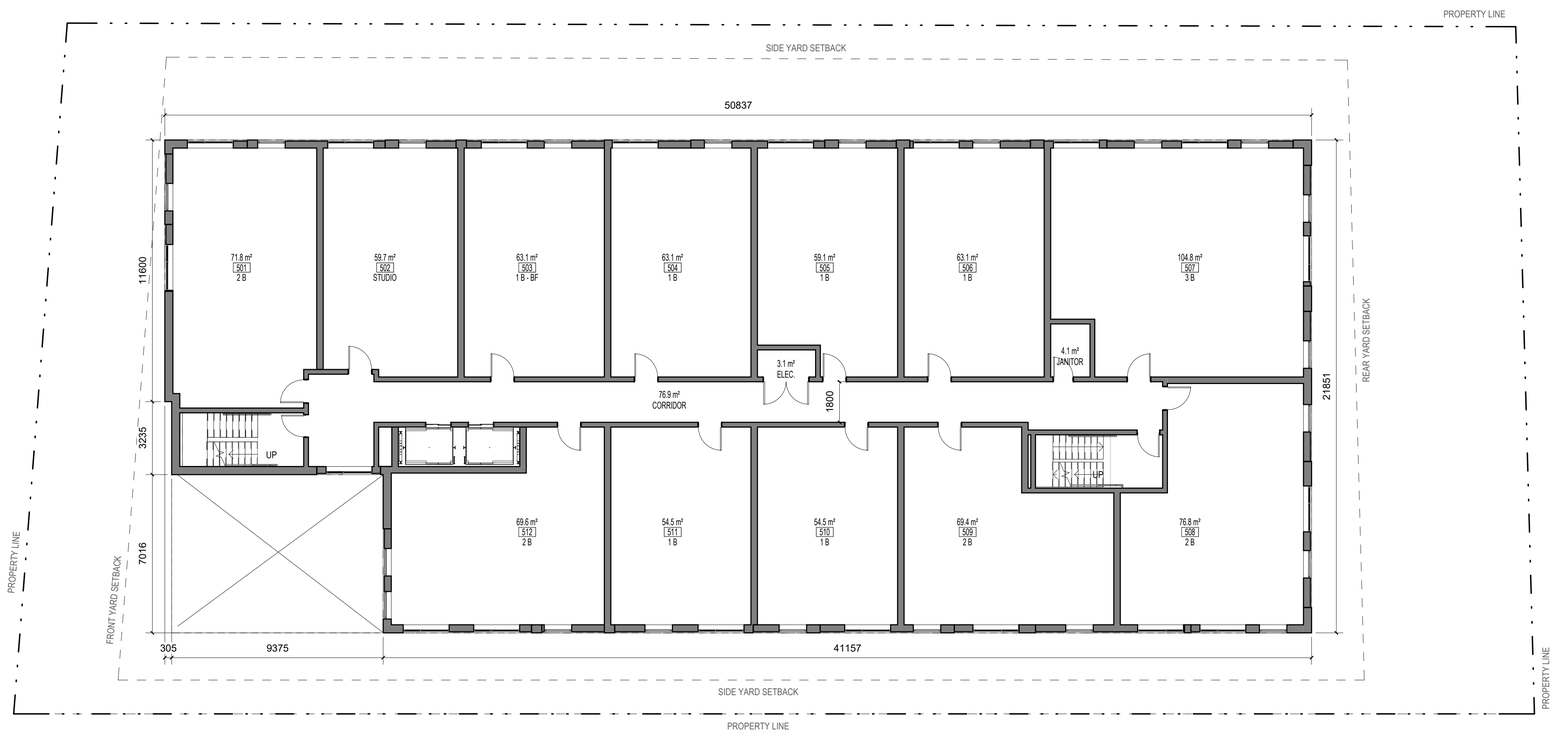
Projet / Project
6 STOREY APARTMENT BUILDING

240 PRESLAND ROAD

Titre / Title
LEVEL 4

Dessiné par / Drawn by	No. projet / Project number	
GM	2424	
Vérifié par / Verified by	No. dessin / Drawing number	Révision / Revision
ZK		1
Echelle / Scale		
As indicated		
Date de création du dessin / Drawing creation date		
04/04/25	A.123	



1 / A.124 LEVELS 5 & 6 FLOOR PLAN (TYP.) - SPC
1 : 125

NORTH

GENERAL NOTES - CONSTRUCTION PLAN

1. INTERIOR FINISHES (INCLUDING FLOORS AND BASEBOARDS): REFER TO FINISH PLANS FOR DETAILS OF COMPOSITION

2. PROVIDE NAILERS ON ALL WALLS TO RECEIVE BUILT-IN FURNITURE, SHELVING, SCREENS, ETC.

3. UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TAKEN FROM FACE OF STUDS AND CENTER OF DOORS AND WINDOWS. REQUIRED CLEARANCES WILL BE DIMENSIONED AND SHOWN TO FACE OF WALL OR DOOR OPENING

4. SEE A800 FOR DOOR SCHEDULE

5. UNLESS OTHERWISE INDICATED, ALL EQUIPMENT IS PROVIDED AND INSTALLED BY THE CONTRACTOR. THE CONTRACTOR MUST COORDINATE AND PROVIDE THE SERVICES REQUIRED TO POWER THE EQUIPMENT.

6. FILL ALL GAPS AND JOINTS WITH ACOUSTIC INSULATION AND SEAL WITH ACOUSTIC CAULKING WHEN ACOUSTIC PERFORMANCE IS REQUIRED.

7. COORDINATE WALL OPENINGS WITH MECHANICAL (SEE MECHANICAL DRAWINGS).

8. PLYWOOD PANELS USED AS NAILERS IN THE ELECTRICAL ROOMS MUST BE FIRE-TREATED.

9. PROVIDE ROD AND SHELF TYP. FOR ALL CLOSETS AS SHOWN.

10. ALL WINDOW AND DOOR DIMENSIONS ARE TO ROUGH STUD OPENING.

11. ALL OUTSIDE DIMENSIONS ARE TO OUTSIDE FACE OF STUD SHEATHING.

12. REFER TO STRUCTURAL DRAWINGS FOR BEAMS, LINTELS, POSTS, FLOOR, AND ROOF FRAMING.

13. ALL ELECTRICAL AND MECHANICAL ITEMS SHOWN ON DRAWINGS ARE FOR LOCATION PROPOSED ONLY. COORDINATE WITH M&E DRAWINGS.

14. CAULK AND SEAL AT ALL MECHANICAL AND ELECTRICAL PENETRATIONS.

15. PROVIDE FIRE STOPPING FOR MECHANICAL AND ELECTRICAL PENETRATONS THROUGH FIRE-RATED ASSEMBLIES. INFILL ANY UNUSED PENETRATIONS WITH FIRE-STOPPING TO SUIT ASSEMBLY.

16. REFER TO RCP PLANS FOR BULKHEAD LOCATIONS AND DEPTHS.

17. FURNITURE SHOWN FOR REFERENCE PURPOSE ONLY.

18. ALL ELECTRICAL CONTROL HEIGHTS WITHIN BARRIER-FREE UNITS AND PATHS OF TRAVEL THROUGHOUT THE BUILDING TO COMPLY WITH CSA B-651

19. PROVIDE SOUNDPROOF FIBERGLASS BATT IN ALL PARTITIONS WITH SUPPLY PIPES, SANITARY DRAIN OR RAINWATER LEADERS. COORDINATE WITH MECH.

20. UNIT NAME: "XBD-B/F" INDICATES BARRIER-FREE REQUIREMENTS AS PER CAN/CSA, NATIONAL STANDARD OF CANADA, AND ACTION OTTAWA'S ACCESSBLE UNIT REQUIREMENTS.

GENERAL NOTES - PARTITIONS

1. UNLESS INDICATED OTHERWISE, ALL NEW GYPSUM PARTITIONS ARE WOOD-FRAMED. REFER TO WALL TAGS FOR DETAILS OF COMPOSITION.

2. PARTITIONS CONTINUING TO THE SLAB MUST BLEND PERFECTLY WITH ITS GEOMETRY TO ENSURE THAT THE FULL PERIMETER IS CAULKED TO MEET THE REQUIRED ULC FIRE RESISTANCE AND/OR TO ENSURE THE REQUIRED ACOUSTIC PERFORMANCE.

3. UNLESS NOTED OTHERWISE, DOOR FRAMES ARE INSTALLED 4" FROM THE ADJACENT WALL.

4. WATER-REPELLENT GYPSUM PANELS ARE REQUIRED IN ROOMS WITH WATER OR MOISTURE EXPOSURE (BATHROOMS, JANITOR'S LODGE, KITCHENS WALL ABOVE MILLWORK, ETC.).

5. CONTRACTION JOINTS ON GYPSUM PANELS TO BE USED AT MAXIMUM 9,100mm (30'-0").

6. WALLS TO RECIEVE TILE FINISH MUST BE PROVIDED WITH FIBERBOARD BACKING WITHOUT COMPROMISING THE FIRE RESISTANCE RATING WHERE REQUIRED.

LEGEND - CONSTRUCTION PLAN

- NEW WALL
- WALL TYPE (1.23 / 0h / 0.750 REAL)
- NUMBER OF WALL TYPE (1.23) — FIRE RATING (0h / 0.750 REAL)
  - 0h = FIRE SEPARATION WITHOUT RATING
  - 45 min. = FIRE RESISTANCE RATING OF 45 MIN.
  - 1h = FIRE RESISTANCE RATING OF 1h
- NUMBER AND CEILING HEIGHT (TYPE / 9')
- ROOF TYPE (ID)
- NUMBER AND ROOM NAME (Room Name)
- WINDOW NUMBER (WXXXX)
- REVISION NUMBER (##)
- CENTRE LINE (℄)

No.	Date	Issued for
1	04/04/2025	SITE PLAN CONTROL

Architecte Paysagiste/ Landscape Architect
NAK design strategies

Ingénieur / Engineer
(Civil / Civil)
Stantec

Ingénieur / Engineer
(Mécanique & Electricité / Mechanical & Electrical)
Smith + Andersen

Ingénieur / Engineer
(Structure / Structure)
D+M STRUCTURAL ENGINEERING

Client / Client
Centretown Citizens Ottawa Corporation

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Sceau / Seal
ONTARIO ASSOCIATION OF ARCHITECTS
ROBERTO CAMPOS
LICENCE
7401

Note:
L'entrepreneur doit vérifier toutes les dimensions et informations sur le site et aviser immédiatement l'architecte de toutes erreurs ou omissions.
Contractor shall verify all information and dimensions on site and immediately report any errors or omissions to the architect.

Projet / Project
6 STOREY APARTMENT BUILDING
240 PRESLAND ROAD

Titre / Title
LEVELS 5 & 6 (TYP.)

Dessiné par / Drawn by: GM	No. projet / Project number: 2424	
Vérifié par / Verified by: ZK	No. dessin / Drawing number	Révision / Revision: 1
Echelle / Scale: As indicated		
Date de création du dessin / Drawing creation date: 04/04/25	A.124	

GENERAL NOTES

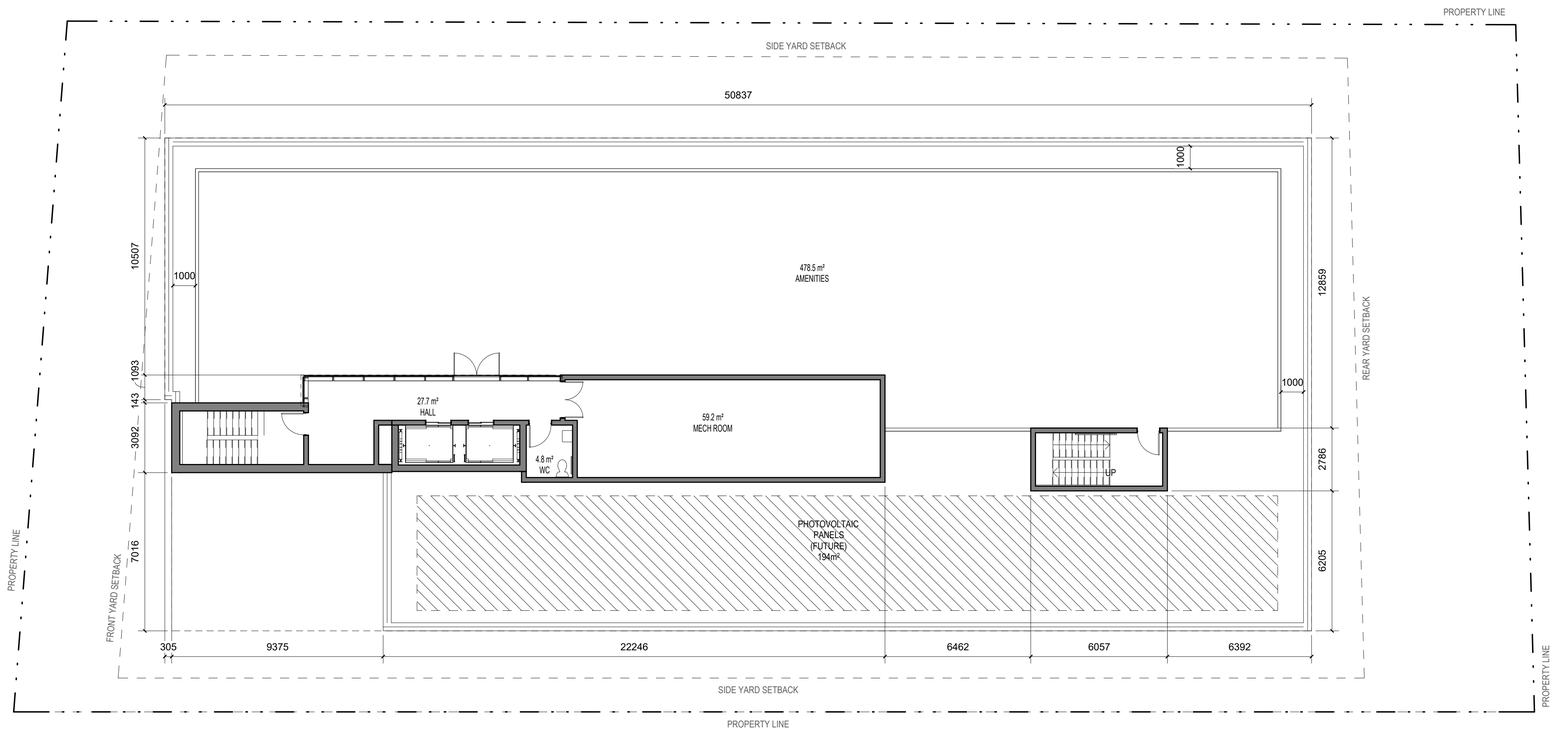
1. ALL WINDOW AND DOOR DIMENSIONS ARE TO ROUGH STUD/MASONRY OPENING
2. ALL OUTSIDE DIMENSIONS ARE TO OUTSIDE FACE OF SHEATHING.
3. REFER TO STRUCTURAL DRAWINGS FOR ALL BEAMS, LINTELS, POSTS, FLOOR AND ROOF FRAMING.
4. ALL ELECTRICAL AND MECHANICAL ITEMS SHOWN ON DRAWINGS FOR LOCATIONS ONLY. COORD. w/ MECH. & ELEC. DRAWINGS.
5. CAULK AND SEAL AT ALL MECHANICAL AND ELECTRICAL PENETRATIONS.
6. PROVIDE FIRE-STOPPING FOR ALL MECHANICAL AND ELECTRICAL PENETRATIONS THROUGH FIRE-RATED ASSEMBLIES. INFILL ANY UNUSED PENETRATIONS WITH FIRESTOPPING TO SUIT ASSEMBLY.
7. VERIFY ALL DOOR AND WINDOW SIZES PRIOR TO FRAMING OF OPENINGS
8. SOILS CONSULTANT TO REVIEW AND VERIFY SOILS CONDITIONS PRIOR TO POURING FOOTINGS.
9. BACKFILL MATERIAL TO BE APPROVED. CLEAR SAND TO MEET REQUIREMENTS OF A DRAINAGE LAYER.
10. REFER TO RCP FOR BULKHEAD LOCATIONS AND DEPTHS.
11. SEE WINDOW SCHEDULE FOR TYPICAL WINDOW TIE-IN DETAILS.
12. FURNITURE SHOWN FOR REFERENCE PURPOSES ONLY.
13. PROVIDE PREFINISHED TRANSITION STRIPS AT JOINTS OF DISSIMILAR MATERIALS.
14. ALL ELECTRICAL CONTROL HEIGHTS WITHIN BARRIER-FREE PATH OF TRAVEL AREAS THROUGHOUT THE BUILDING AND UNITS TO COMPLY WITH OBC 3.8.1.5
15. REFER TO CIVIL & MECHANICAL DRAWINGS FOR WEEPING TILE DRAINAGE CONNECTIONS
16. PROVIDE SOUNDPROOF FIBERGLASS MATS IN ALL PARTITIONS WITH SUPPLY PIPES, SANITARY DRAIN OR RAINWATER LEADERS. COORD. w/ MECH.
17. UNIT NAME: "XBD-X-B/F"" INDICATES B/F REQUIREMENTS AS PER CAN/CSA, NATIONAL STANDARD OF CANADA, AND ACTION OTTAWA'S ACCESSIBLE UNIT REQUIREMENTS

GENERAL NOTES - PARTITION

1. EXCEPT AS OTHERWISE INDICATED, DOORS ARE INSTALLED 4" FROM ADJACENT WALLS.
2. PROVIDE BLOCKING AND NAILERS FOR ALL PARTITIONS SUPPORTING MILLWORK, SHELVES ETC
3. COORDINATE DIMENSIONS OF OPENINGS WITH SPECIFICATIONS FOR EQUIPMENT SUPPLIED AND INSTALLED.
4. WATER RESISTANT GYPSUM BOARD, 1219 AFF REQUIRED IN ALL LOCATIONS WITH EXPOSURE TO WATER OR HUMIDITY. THIS INCLUDES BUT IS NOT LIMITED TO WASHROOMS, JANITOR ROOMS & KITCHEN WALLS ABOVE MILLWORK, CABINETRY, INCLUDING SINKS UP TO UNDERSIDE OF UPPER CABINETS.
5. ALL PARTITIONS THAT EXTEND FROM SUBFLOOR TO UNDERSIDE FLOOR ASSEMBLY ABOVE ARE TO BE ALIGNED WITH GEOMETRY OF THE ASSEMBLIES TO ENSURE THAT THE ENTIRE PERIMETER IS SEALED AS REQUIRED TO ATTAIN THE NECESSARY FIRE RESISTANCE RATING AND ACOUSTICAL PERFORMANCE.

LEGEND - CONSTRUCTION

- ALI — ALIGN DESIGNATED SURFACES
- DIM CLEAR — INDICATED CLEAR DIMENSION REQUIRED BETWEEN FINISHED SURFACES
- FD — FLOOR DRAIN (REFER TO MECH.)
- RD — ROOF DRAIN (REFER TO MECH.
- EP — ELECTRICAL PANEL (REFER TO ELEC.)
- TACTILE ATTENTION INDICATOR AS PER OBC 3.8.3.18
- BARRIER-FREE OPERATOR - REFER TO ELEC.
- 152 DIA. GEOTEXTILE ENCAPSULATED WEEPING TILE - SEE GENERAL NOTES
- HATCH INDICATED LOCATION OF FOUNDATION CHECK TO ACCOMMODATE EXTERIOR DOORS. COORD. W/ DOOR SCHEDULE
- RECESSED ENTRANCE FLOOR GRILLE. DIMENSIONS AS INDICATED ON DRAWINGS. PROVIDE 64 mm DEPRESSION. ENSURE SLAB DEPRESSION IS 76 mm LARGER THAN FLOOR GRILLE SIZE.
- FDC — FIRE DEPARTMENT CONNECTION COORD w/ MECH
- FIRE HOSE CABINET. COORD w/ MECH
- LOAD-BEARING WALL REFER TO STRUCTURE
- SHEARWALL REFER TO STRUCTURE



1 / A.130 ROOF PLAN - SPC
1 : 125

NORTH

No.	Date	Issued for
1	04/04/2025	SITE PLAN CONTROL

Architecte Paysagiste/ Landscape Architect
NAK design strategies

Ingénieur / Engineer (Civil / Civil)
Stantec

Ingénieur / Engineer (Mécanique & Electricité / Mechanical & Electrical)
Smith + Andersen

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Sceau / Seal
ONTARIO ASSOCIATION OF ARCHITECTS
ROBERTO CAMPOS
LICENCE
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Projet / Project

6 STOREY APARTMENT BUILDING

240 PRESLAND ROAD

Titre / Title

ROOF PLAN

Dessiné par / Drawn by: GM	No. projet / Project number: 2424
Vérifié par / Verified by: ZK	No. dessin / Drawing number: A.130
Echelle / Scale: As indicated	Révision / Revision: 1
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