



Other Applicable Zoning Provisions			
Front Yard Softscaping (Table 16.1)	No minimum, but all lands within the front yard that are not used by permitted projections, driveways and walkways, must consist of soft landscaped area	All lands within the front yard that are not used by permitted projections and walkways consist of soft landscaping	Yes
Rear Yard Softscaping (Section 139)	15%	75.7%	Yes
Front Facade	Must comprise of at least 25% windows	N/A as subject lands are within a district designated under Part V of the <i>Ontario Heritage Act</i>	N/A
Penetration (Section 16.1)	Recessed front facade where no balconies or porches are provided - At least 20% of the front facade must be recessed an additional 0.6m from the front setback line		

[illegible]

CONSULTANTS:		
STRUCTURAL - TBD		
MECHANICAL - TBD		
ELECTRICAL - TBD		
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1	ISSUED FOR SPA	07/04/
NO. REVISION/ISSUE		DATE
PROJECT:		
168-174 MURRAY ST.		
4 STOREY ADDITION TO EXISTING		
TWO STOREY BUILDINGS		
168-174 MURRAY ST.		
OTTAWA, ON N1N 5M5		
SITE PLAN		
DRAWN BY:		SHEET:
DATE: MAY 11, 2021		A0
SCALE: AS NOTED		

RESPONSIBILITIES:

DO NOT SCALE DRAWINGS

ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2012

ALL CONTRACTORS MUST WORK IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BYLAWS HAVING JURISDICTION

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT/DESIGNER

THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT

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GENERAL NOTES:



168-174 MURRAY ST.
- STOREY ADDITION TO EXISTING
TWO STOREY BUILDINGS

OWNER/DEVELOPER:
DAVID YOYO

ARCHITECT:
REDLINE ARCHITECTURE INC.

APPLICANT:
FOYEN PLANNING + DESIGN
107-86 SIMPSON ST.
429 O'CONNOR STREET
OTTAWA ON K2P 1W4

CIVIL ENGINEER:
T L MAK ENGINEERING CONSULTANTS LTD.,
SUITE 100, 200 DUNDAS ST. EAST, OTTAWA, ON K1G 6Z7

GEO TECHNICAL INVESTIGATION:
PATRICKSON GROUP
9 AUBURN RD., OTTAWA
ON K2E 7D9

LANDSCAPING:
JAMES B. LENNOX & ASSOCIATES INC.
3221 HURONTARIO AVE OTTAWA ON K2H S4B
CANADA

TCE:
DECONFOR FORESTRY SERVICES

SURVEYOR:
ADV LT
16 DECONFORS GATE, SUITE 500
OTTAWA, ON K2E J56

HERITAGE PLANNING:
THE HERITAGE RESOURCE MANAGEMENT LTD.
53 HERRIOT ST. SUITE 201
PERTH, ON K7H 1R5

CONSULTANTS:

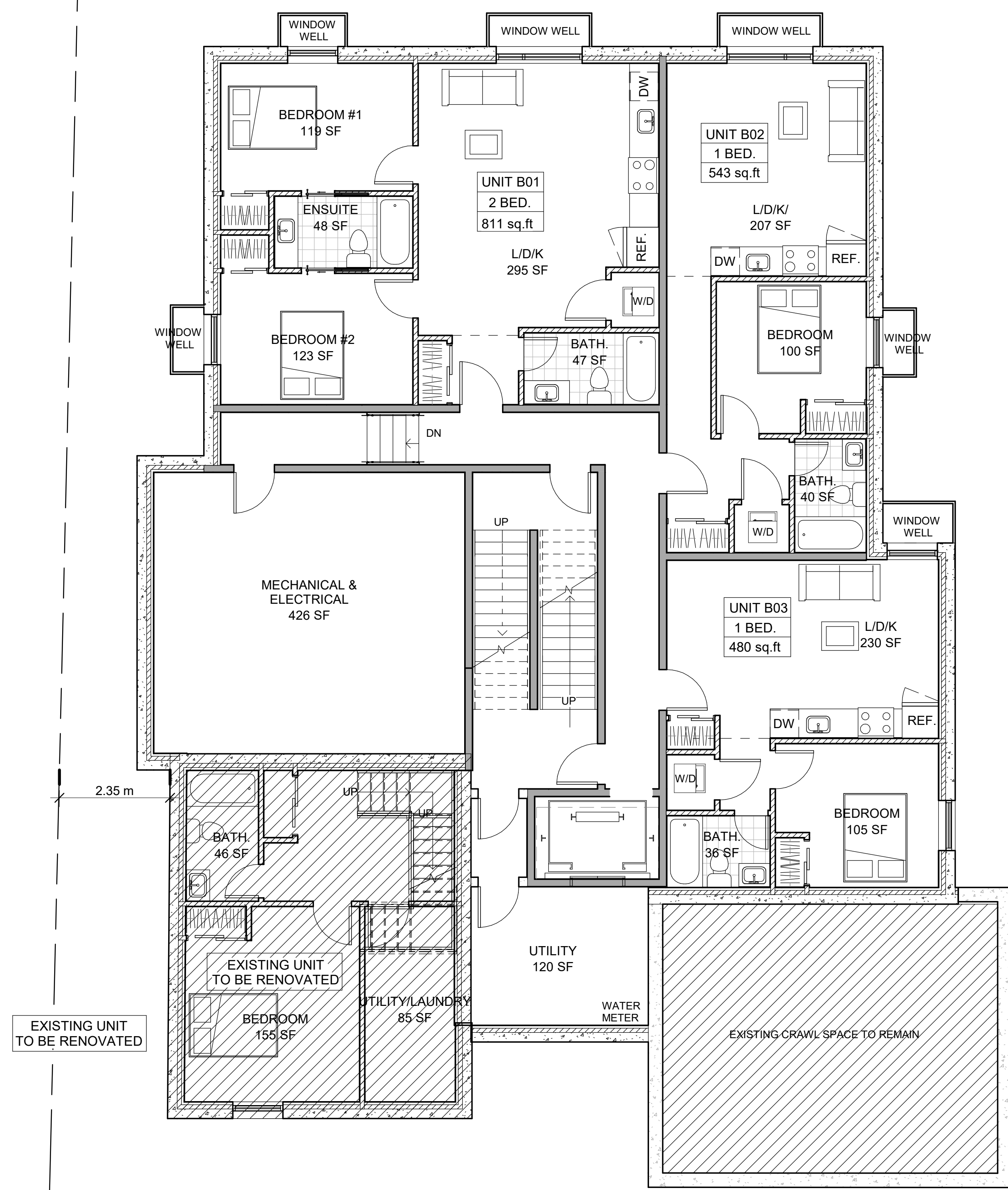
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MECHANICAL - TBD
FI ELECTRICAL - TBD

ELECTRICAL - TBD		M/D/Y
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1	ISSUED FOR SPA	07/04/2
Nº	REVISION/ISSUE	DATE

PROJECT:
168-174 MURRAY ST.
4 STOREY ADDITION TO EXISTING
TWO STOREY BUILDINGS
168-174 MURRAY ST.
OTTAWA, ON K1N 5M8

FLOOR PLANS

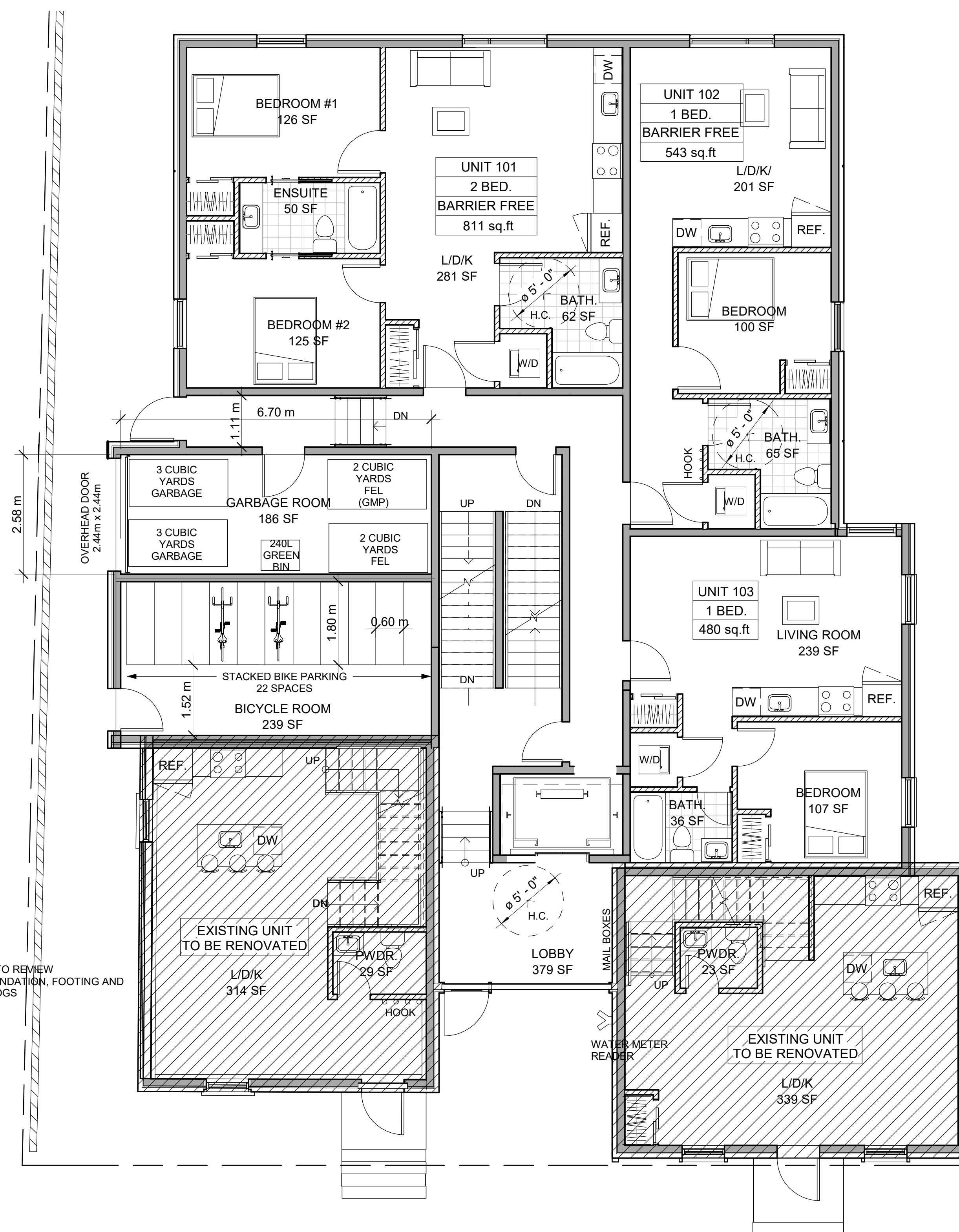
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DATE:	MAY 11, 2021	
SCALE:	AS NOTED	



STRUCTURAL ENGINEER TO REVIEW
EXISTING BUILDING'S FOUNDATION, FOOTING AND
THE CONDITON OF THE LOGS

 EXISTING BUILDING TO REMAIN

2 BASEMENT
3/16" = 1'-0"



1 GROUND FLOOR
3/16" = 1'-0"

RESPONSIBILITIES:

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GENERAL NOTES:


168-174 MURRAY ST.

4 STOREY ADDITION TO EXISTING TWO STOREY BUILDINGS

OWNER/DEVELOPER:
DAVID YOO

ARCHITECT:
REDLINE ARCHITECTURE INC.

APPLICANT:
FOTENY PLANNING + DESIGN
JILLIAN SIMPSON
420 O'CONNOR STREET
OTTAWA, ON K2P 1W4

CIVIL ENGINEER:
T.L. MAK ENGINEERING CONSULTANTS LTD.
1465 DUNDAS ST. W., OAKVILLE, ON L6H 6Z7

GEOTECHNICAL INVESTIGATION:
PATERSON GROUP
9 AUBURN DR., OTTAWA
ON K2E 7T9

LANDSCAPING:
JAMES B. LINDOX & ASSOCIATES INC.
2332 CARLING AVE OTTAWA ON K2H 5A8
CANADA

TOR:
DENDRON FORESTRY SERVICES

SURVEYOR:
ADVI LTD.
14 CONDOURSE GATE, SUITE 500
OTTAWA, ON K2E 1S6

HERITAGE PLANNING:
COMMONWEALTH HISTORIC RESOURCE
MANAGEMENT LTD.
53 HERIOTT ST. SUITE 201,
PERTH, ON K7H 1R5

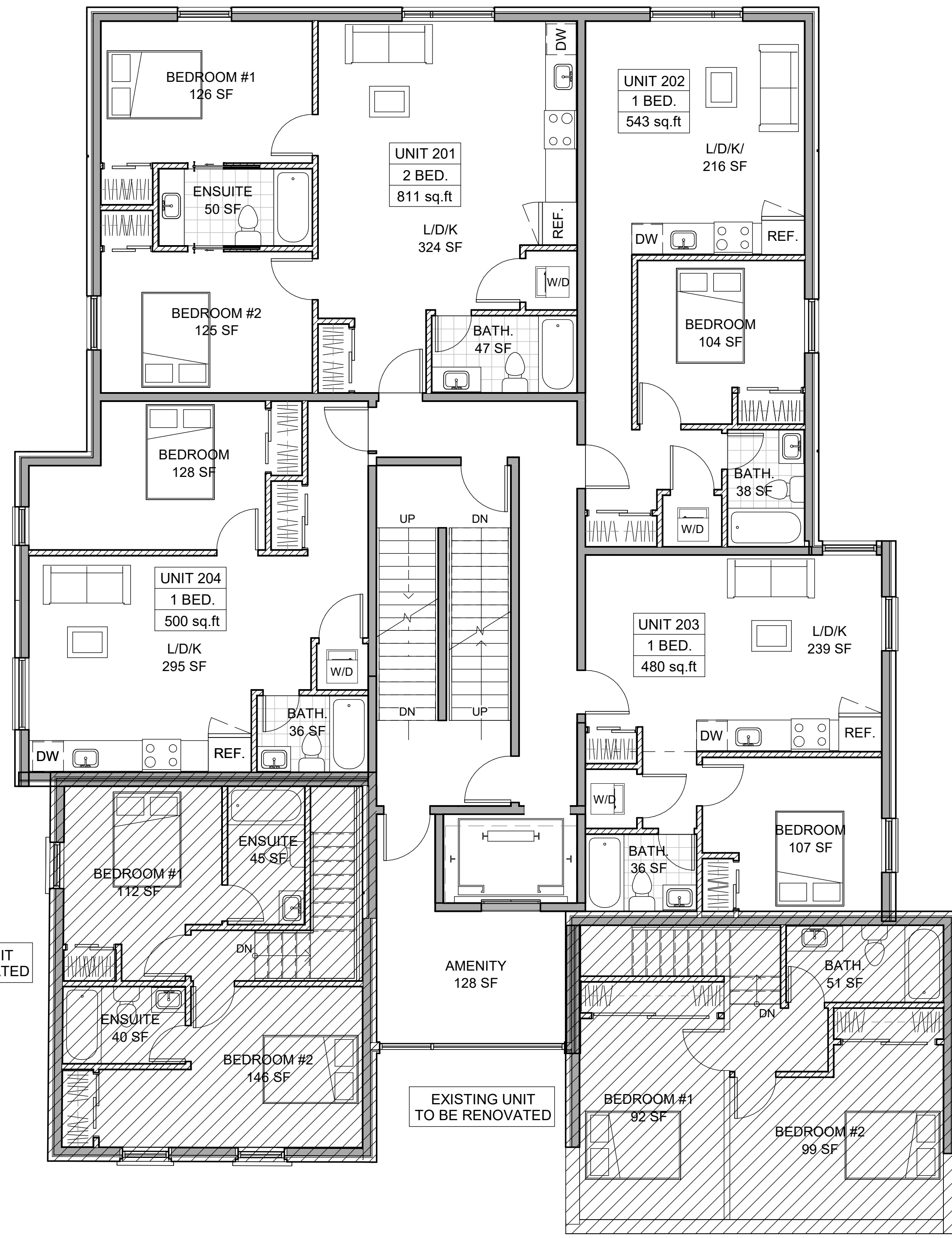
CONSULTANTS:
STRUCTURAL - TBD
MECHANICAL - TBD
ELECTRICAL - TBD

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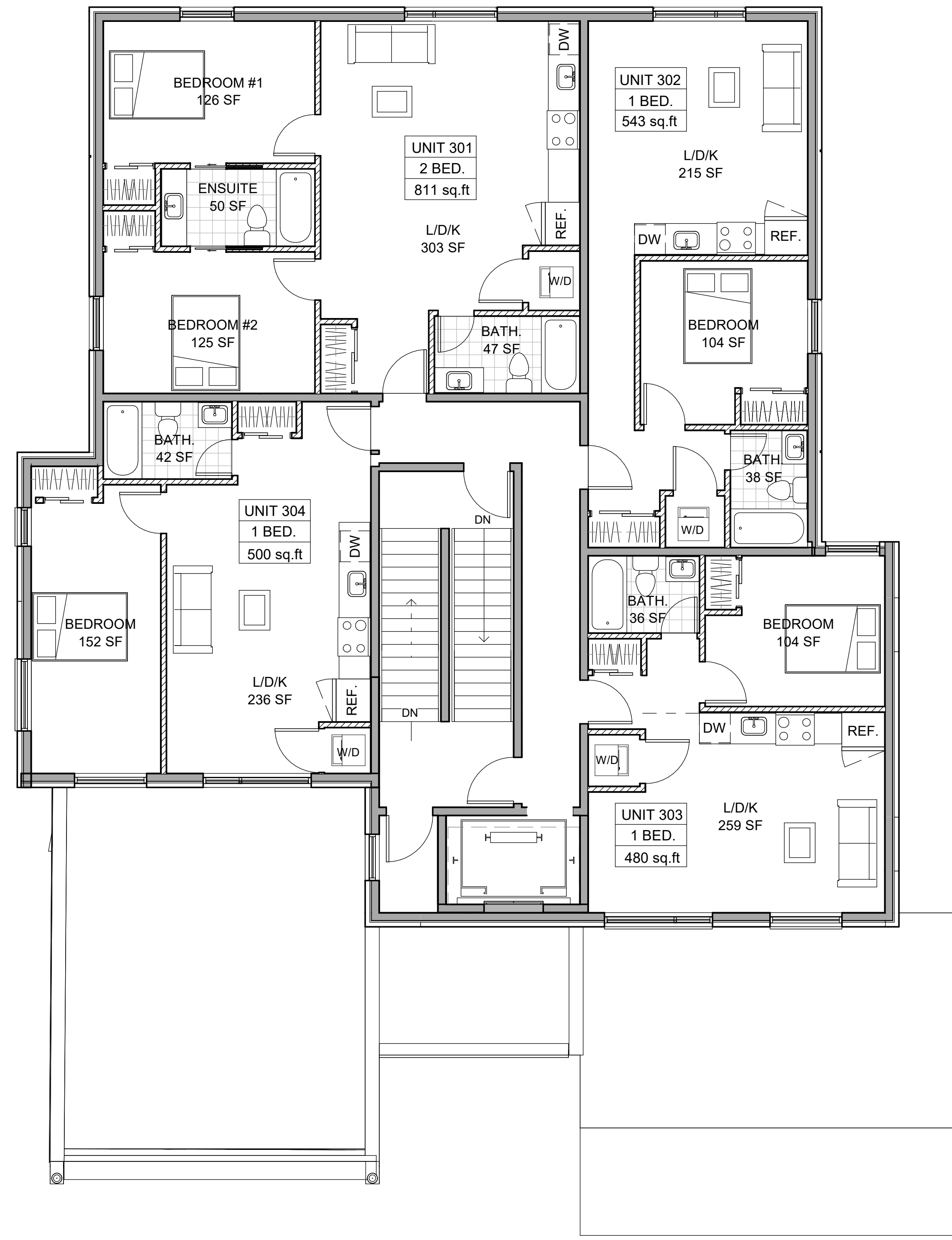
PROJECT:
168-174 MURRAY ST.
4 STOREY ADDITION TO EXISTING
TWO STOREY BUILDINGS
168-174 MURRAY ST.
OTTAWA, ON K1H 5M5

FLOOR PLANS

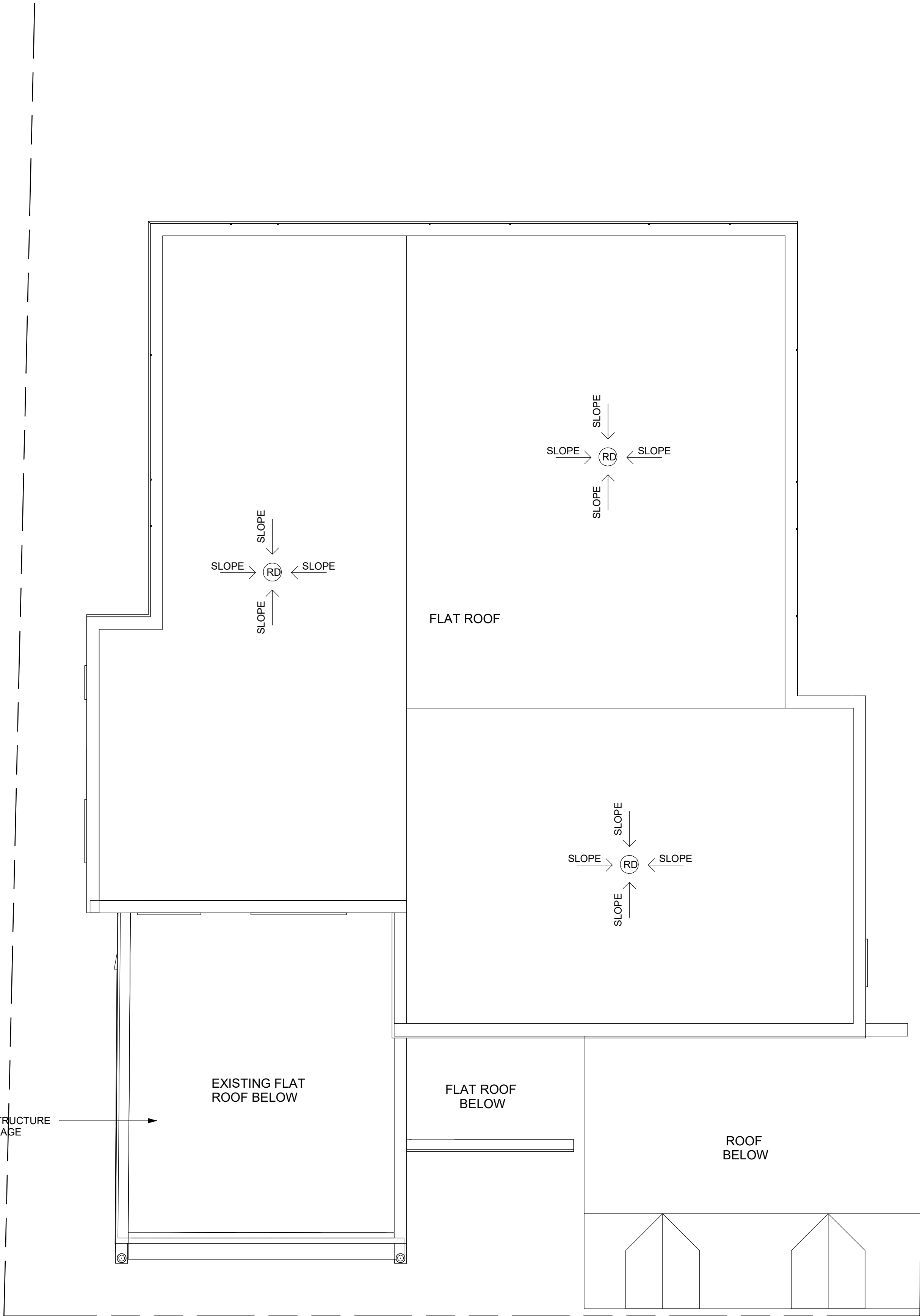
DRAWN BY:
DATE: MAY 11, 2021
SCALE: AS NOTED

SHEET:
A3


2 SECOND FLOOR
3/16" = 1'-0"



1 THIRD & FOURTH FLOORS
3/16" = 1'-0"



1 ROOF
3/16" = 1'-0"

168-174 MURRAY ST.
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TWO STOREY BUILDINGS

OWNER/DEVELOPER:
DAVID YOO
ARCHITECT:
REDLINE ARCHITECTURE INC.
APPLICANT:
FOTENN PLANNING + DESIGN
JILLIAN SIMPSON
420 O'CONNOR STREET
OTTAWA, ON K2P 1W4
CIVIL ENGINEER:
T.L.MAK ENGINEERING CONSULTANTS LTD.
1455 YONGE ST., OREGON, ON K1G 5Z7
GEOTECHNICAL INVESTIGATION:
PATERSON GROUP
9 AUBURN ST., OTTAWA
ON K2E 7T9
LANDSCAPING:
JAMES B. LINDOX & ASSOCIATES INC.
3332 CARLING AVE OTTAWA ON K2H 5A8
CANADA
TCR:
DENDRON FORESTRY SERVICES
SURVEYOR:
ACVI LTD.
15 CONCOURSE GATE, SUITE 500
OTTAWA, ON K2E 1S6
HERITAGE PLANNING:
COMMONWEALTH HISTORIC RESOURCE
MANAGEMENT LTD.
53 HERIOTT ST. SUITE 201,
PERTH, ON K7H 1R5

CONSULTANTS:
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MECHANICAL - TBD
ELECTRICAL - TBD

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168-174 MURRAY ST.
4 STOREY ADDITION TO EXISTING
TWO STOREY BUILDINGS
168-174 MURRAY ST.
OTTAWA, ON K1H 5M5

FLOOR PLANS



1 Front (North) Elevation
3/16" = 1'-0"



4 Side (East) Elevation
3/16" = 1'-0"



3 Rear (South) Elevation
3/16" = 1'-0"



5 Side (West) Elevation
3/16" = 1'-0"

MATERIAL LEGEND & NOTES

- 1 EXISTING BRICK VANNER TO REMAIN
- 2 EXPOSED ORIGINAL CLADDING (SIDING)
- 3 NEW BRICK VENEER (SIMILAR TO THE BUFF BRICK OF OUR LADY SCHOOL AT 283 CUMBERLAND ST.)
- 4 NEW METAL PANEL, GREY COLOUR
- 5 ASPHALT SHINGLE, GREY COLOUR
- 6 METAL FLASHING, GREY COLOUR

NEW WINDOW
RELOCATE THE DECORATIVE HOOD AND ARCH BRICKWORK TO THE FRONT ENTRANCE

168-174 MURRAY ST.
4 STOREY ADDITION TO EXISTING
TWO STOREY BUILDINGS

OWNER/DEVELOPER:
DAVID YOO
ARCHITECT:
REDLINE ARCHITECTURE INC.
APPLICANT:
FOTENY PLANNING + DESIGN
JILLIAN SIMPSON
420 O'CONNOR STREET
OTTAWA, ON K2P 1Y4
CIVIL ENGINEER:
T.L. MAK ENGINEERING CONSULTANTS LTD.
1465 YONGE ST., 2ND FLOOR, TORONTO, ON M4T 1G7
GEOTECHNICAL INVESTIGATION:
PATERSON GROUP
9 AUBURN ST., OTTAWA
ON K2E 7T9
LANDSCAPING:
JAMES B. LINDOX & ASSOCIATES INC.
3332 CARLING AVE OTTAWA ON K2H 5A8
CANADA
TCR:
DENDRON FORESTRY SERVICES
SURVEYOR:
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HERITAGE PLANNING:
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MANAGEMENT LTD.
53 HERIOTT ST. SUITE 201,
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CONSULTANTS:
STRUCTURAL - TBD
MECHANICAL - TBD
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ELEVATIONS