

	250: R4UD [952] S74; Heritage Overlay; Matur			
Zoning	e: 4-storey addition to existing 2-storey buildi	Provided	Compliance	
Mechanism	Required		-	
Minimum Lot Width (Section 162)	15 m	20.46 m	Yes	
Minimum Lot Area (Section 162)	450 m2	645.2 m2	Yes	
Front Yard Setback – Existing (Section 144)	Required front yard setback must align with the average of the abutting lots (not less than 1.5 m or more than $4.5 m$) 0.2 m + 1.63 m / 2 = 0.915 m	Existing setbacks: 0.16 m, 1.45 m, 1.59 m	Non-complying (Existing building)	
Front Yard – Addition (Section 60)	Must not extend in the front yard beyond that of the heritage building			
Interior Side Yard	1.5 m	Existing setback (east): 1.638 m	Non-complying (Existing building)	
Setback – Existing (Section 162)		Existing setback (west): 0 m		
Interior Side Yard	Must be at least 60 cm. greater than that of the wall of the building located closest to the	Addition setback (east): 1.48 m	No	
Setback – Addition (Section 60)	side lot line	Addition setback (west): 1.223 m	Yes	
Rear Yard Setback – Existing (Section 144)	Any lot with a lot depth > 25m, distance equal to 30% of the lot depth must comprise at least 25% of the area of the lotExisting setback: 23.05 m & 25.85 m Rear Yard Area: 158.77 m² in areaMinimum Setback: 9.69 m Minimum Area: 163.5 m²Minimum Area: 163.5 m²		Non-complying (Existing buildings)	
Rear Yard Setback – Addition (Section 60)	Must be located entirely within the rear yard, or in the interior yard abutting the rear yard and complies with the rear yard setback of the underlying zone, except where the building has a non-complying rear yard setback the addition may be built to that rear yard setback the addition may be built to that rear yard setback, but in no case may be less than 3.0 metres Addition setback: 7.916 m N Minimum Setback: 9.69 m Minimum Setback: 9.69 m Addition setback: 7.916 m N		No	
Building Height Addition (Schedule 74)	<u>168 Murray</u> : 5.8 m (9.14 m from front lot line), 9.3 m (rear) <u>174 Murray</u> : 7.0 m (9.14 m from front lot line); 10.5 m (rear)	13.38 m	No	
Projections into Required Yards (Section 65)	Open Stairways, Stoops, Landing Steps: where at or below the floor level of the first floor and in the case of the front yard or corner side yard: no closer than 0.6 m to a lot line	Existing heritage building stairways projected beyond the front lot line, abutting the front lot line	Non-complying (Existing buildings)	
	Eaves, eaves-troughs, and gutters – 1m, but not closer than 0.3m to a lot line.	Only the existing heritage building at 168 Murray has existing eaves on the property line but will be removed.	Yes	

EXISTING BUILDING TO BE DEMOLISHED

- NEW RETAINING WALL

— EXISTING BUILDING TO REMAIN (INTERIOR LAYOUT CHANGE)

	icycle Parking Requirements (Area X, Schedu			
Required Parking Spaces (Section 101, 103)	Section 101 (4): where a residential use is located within a building of four or fewer storeys, no offstreet vehicle parking is required to be provided	0 spaces	Yes	
Visitor Parking Spaces (Section 102)	20 - 12 x 0.1 = 1 space required	0 spaces	No	
Bicycle Parking Rates (Section 111)	0.5 / dwelling unit 20 x 0.5 = 10 spaces 22 spaces total (stacked) required		Yes	
Bicycle Parking Space Dimensions (Section 111)	Horizontal: 0.6 m x 1.8 m Stacked: 0.37 m x 1.8 m	Stacked: 0.37 m x 1.8 m	Yes	
Bicycle Parking Aisle Dimension (Section 111)	Minimum width: 1.5 m	1.5 m	Yes	
	ble Zoning Provisions		Yes	
Front Yard Softscaping (Table 161)	No minimum, but all lands within the front yard that are not used by permitted projections, driveways and walkways, must consist of soft landscaped area	used by permitted projections, and walkways, must consist of soft walkways consist of soft landscaping		
Rear Yard Softscaping (Section 139)	15%	75.7%	Yes	
Front Façade Fenestration	Must comprise of at least 25% windows Recessed front façade where no balconies or	N/A as subject lands are within a district designated under Part V of the <i>Ontario Heritage Act</i>	ə N/A	

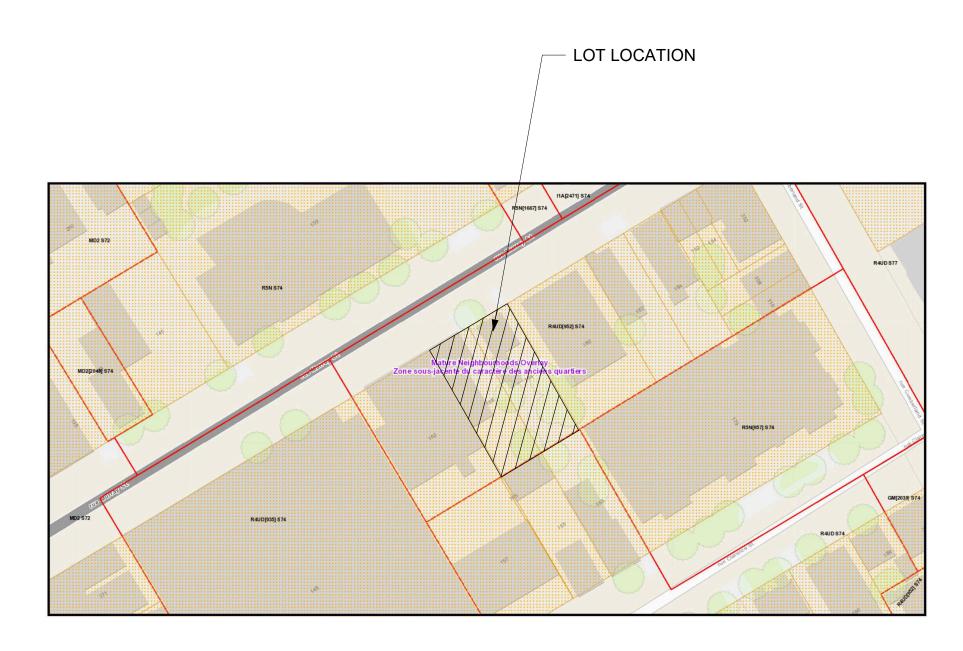
(Section 161) porches are provided - At least 20% of the

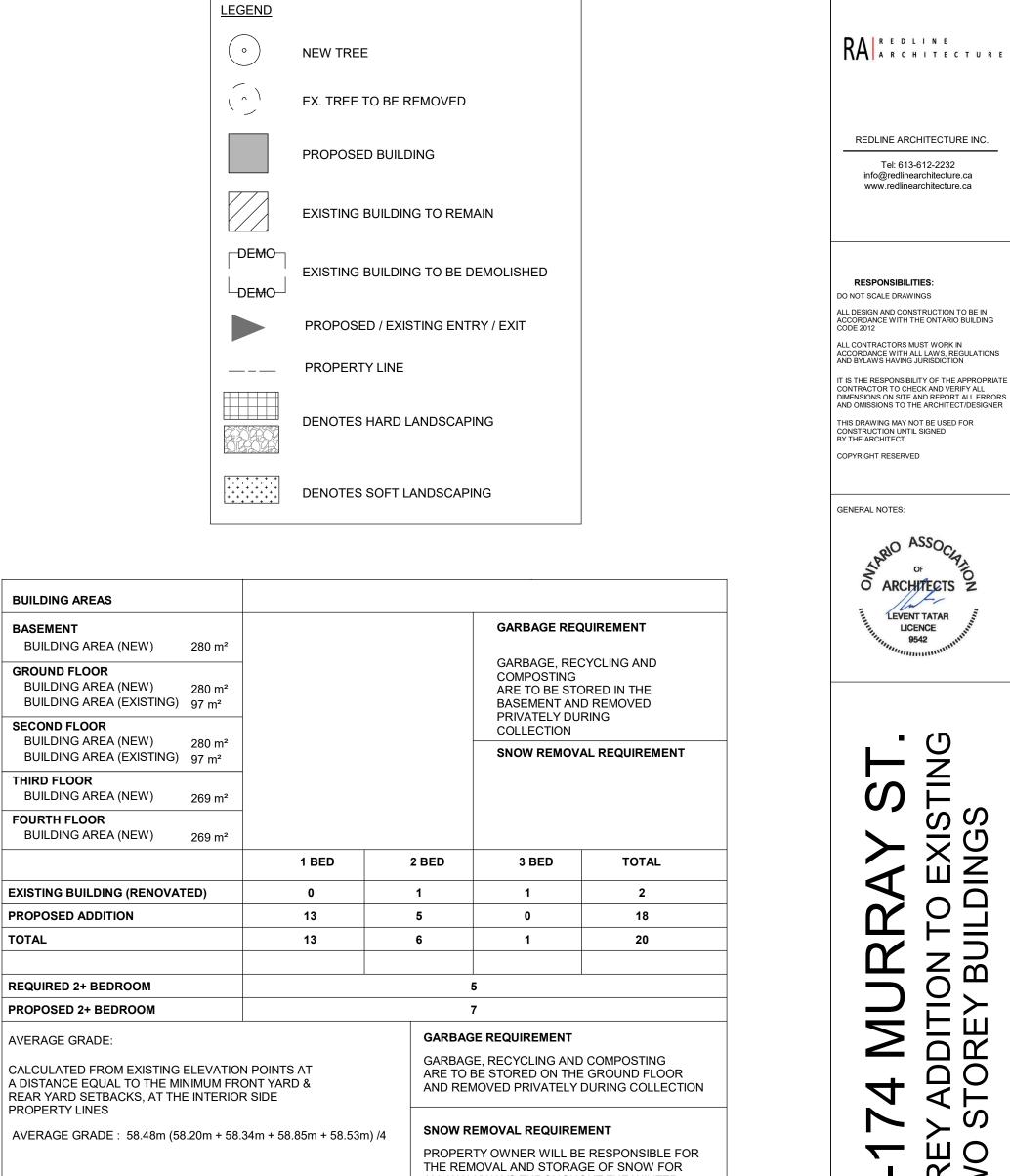
0.6m from the front setback line

front facade must be recessed an additional

Front yard eaves to lot line per survey

Existing porch and canopy





ALL WALKWAYS THROUGHOUT THE WINTER



SCALE: AS NOTED

19225



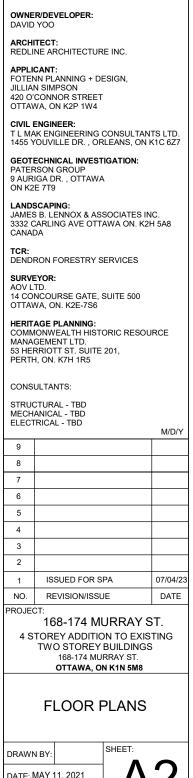
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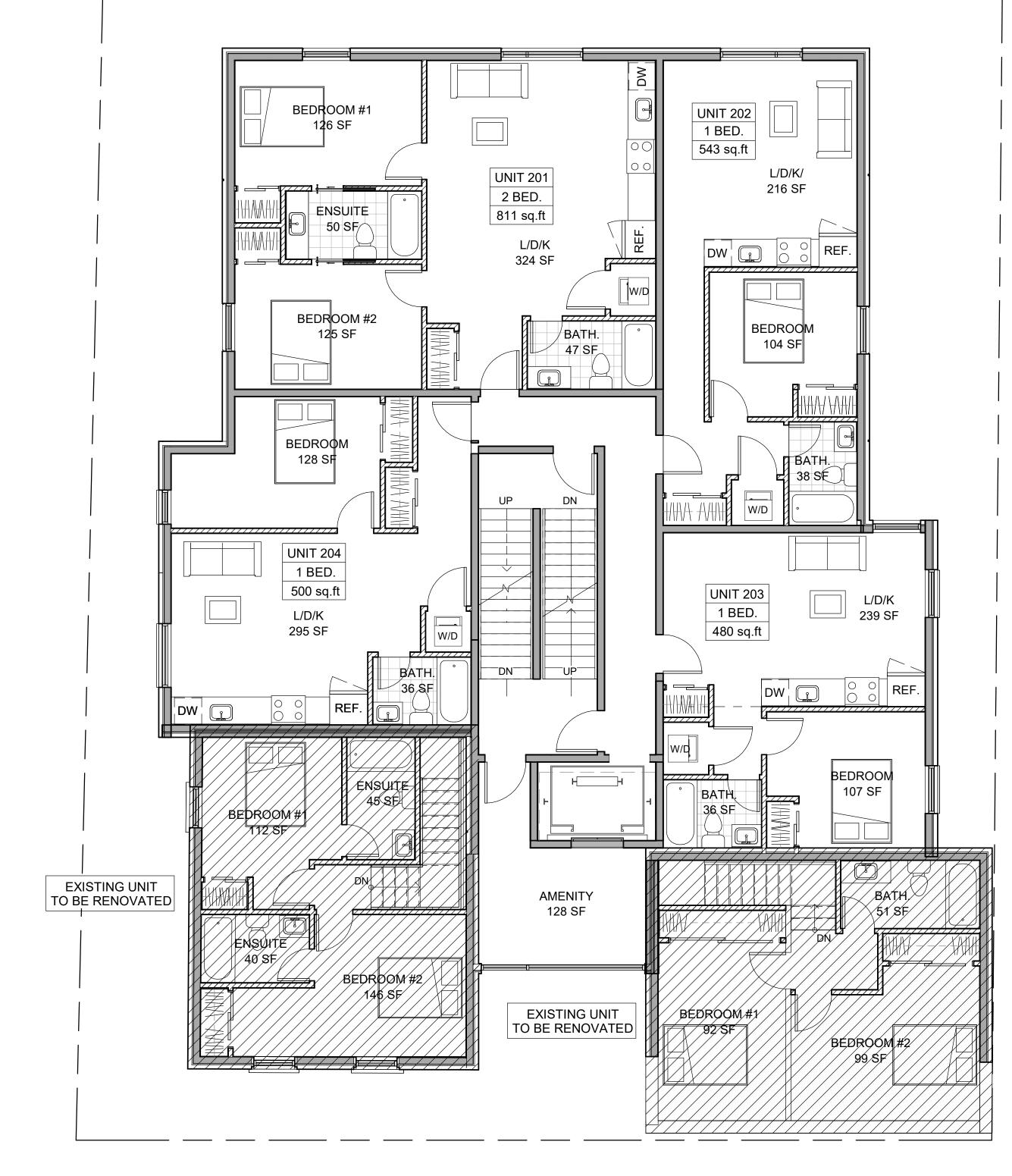


ADDITION TO EXISTING TOREY BUILDINGS S \succ 4 M Ľ MU Y A ST V ORE, TWO \odot Q Ś 4



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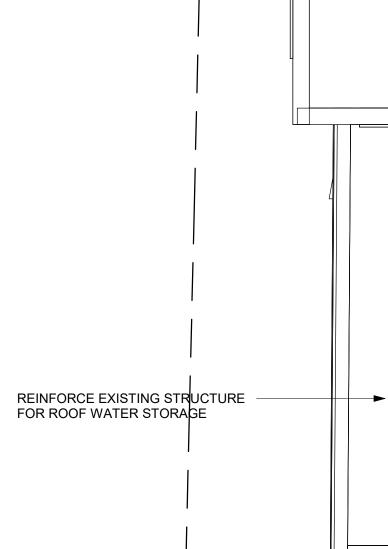


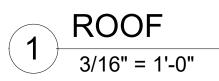
168-174 MURRAY ST. 4 STOREY ADDITION TO EXISTING TWO STOREY BUILDINGS

DAVID YOO						
ARCHITECT: REDLINE ARCHITECTURE INC.						
APPLICANT: FOTENN PLANNING + DESIGN, IILLIAN SIMPSON 120 O'CONNOR STREET DITAWA, ON K2P 1W4						
T L MA	C IVIL ENGINEER: I L MAK ENGINEERING CONSULTANTS LTD. 1455 YOUVILLE DR. , ORLEANS, ON K1C 6Z7					
GEOTECHNICAL INVESTIGATION: PATERSON GROUP 9 AURIGA DR., OTTAWA ON K2E 7T9						
JAMES 3332 C	LANDSCAPING: IAMES B. LENNOX & ASSOCIATES INC. 1332 CARLING AVE OTTAWA ON. K2H 5A8 CANADA					
TCR: DENDI	ICR: DENDRON FORESTRY SERVICES					
SURVEYOR: AOV LTD. 14 CONCOURSE GATE, SUITE 500 DTTAWA, ON. K2E-7S6						
HERITAGE PLANNING: COMMONWEALTH HISTORIC RESOURCE MANAGEMENT LTD. 53 HERRIOTT ST. SUITE 201, PERTH, ON. K7H 1R5						
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168-174 MURRAY ST. 4 STOREY ADDITION TO EXISTING TWO STOREY BUILDINGS 168-174 MURRAY ST. OTTAWA, ON K1N 5M8						
FLOOR PLANS						
RAWN	NBY:		SHEET:			
			-			

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4 MURRAY ST. ADDITION TO EXISTING TOREY BUILDINGS Υ A ST \succ **168-1** 4 STORE TWO 4

OWNER/DEVELOPER: DAVID YOO
ARCHITECT: REDLINE ARCHITECTURE INC.

APPLICANT: FOTENN PLANNING + DESIGN, JILLIAN SIMPSON 420 O'CONNOR STREET OTTAWA, ON K2P 1W4

CIVIL ENGINEER: T L MAK ENGINEERING CONSULTANTS LTD. 1455 YOUVILLE DR. , ORLEANS, ON K1C 6Z7 GEOTECHNICAL INVESTIGATION: PATERSON GROUP 9 AURIGA DR. , OTTAWA ON K2E 7T9

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SURVEYOR: AOV LTD. 14 CONCOURSE GATE, SUITE 500 OTTAWA, ON. K2E-7S6

HERITAGE PLANNING: COMMONWEALTH HISTORIC RESOURCE MANAGEMENT LTD. 53 HERRIOTT ST. SUITE 201, PERTH, ON. K7H 1R5

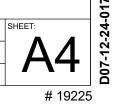
CONSULTANTS: STRUCTURAL - TBD MECHANICAL - TBD ELECTRICAL - TBD

9 8 6 5 4 3 ISSUED FOR SPA 07/04/23 NO. REVISION/ISSUE DATE

PROJECT ROJECT: 168-174 MURRAY ST. 4 STOREY ADDITION TO EXISTING TWO STOREY BUILDINGS 168-174 MURRAY ST. OTTAWA, ON K1N 5M8

FLOOR PLANS

DRAWN BY: DATE: MAY 11, 2021 SCALE: AS NOTED





DRAWN BY: DATE:MAY 11, 2021 SCALE: AS NOTED

