

POST-DEVELOPMENT CONDITIONS  
SCALE = 1:1000

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		4.	RESPONSE TO 5TH COMMENTS	2025.MAR.27	SD
		3.	RESPONSE TO 4TH COMMENTS	2024.DEC.10	SD
		2.	PARTIAL RESPONSE TO 4TH COMMENTS	2024.SEP.10	SD
		1.	RESPONSE TO SECOND REVIEW COMMENTS	2024.APR.19	SD

CONSULTANTS			



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DESIGN  
A.J./SD

DRAWN  
A.J.

CHECKED  
SD

APPROVED  
SD

STAMP  


CLIENT NAME ZBIGNIEW HAUDEROWCZ	PROJECT No. 200977
PROJECT NAME PROPOSED RESIDENTIAL SUBDIVISION	DATE 2024/12/10
PROJECT LOCATION 2050 DUNROBIN ROAD OTTAWA, ONTARIO	SCALE 1:1000
DRAWING POST-DEVELOPMENT CONDITIONS	DRAWING No. POST

PROJECT No. 200977
DATE 2024/12/10
SCALE 1:1000
DRAWING No. POST

D02-02-22-0018



- Tree planting Guidelines
- Where silty clay soils are encountered at a proposed building location, small and medium sized trees can be planted as close as 4.5 metres from the proposed dwelling provided sufficient soil volume is available around the proposed tree location (a minimum of 25 m<sup>3</sup> for small trees and 30 m<sup>3</sup> for medium trees must be available in the upper 1.5 metres below finished grade).
  - Where silty clay is present at a proposed building location and where the thickness of the silty clay deposit exceeds 0.4 metres, large trees should be planted no closer than 15 metres from the proposed building.
  - Excluding the areas where the silty clay deposits exceed 0.4 metres, the remainder of the subsurface soils encountered at the site are not considered particularly sensitive to depletion of moisture by trees. There are no planting restrictions from a geotechnical perspective for small and medium trees with respect to planting distance from the proposed buildings. Large trees should be planted no closer than 10 metres from a proposed dwelling where no silty clay is present on the lot.
  - Tree planting guidelines provided by a landscape architect, arborist, urban forest manager or other qualified professional with respect to species, distance to building requirements, moisture requirements etc should be obtained and followed in addition to the geotechnical recommendations.

General Grading Notes:

All grade elevations shown on softscaped or grassed surfaces are finished grades including topsoil. Rough grading is to be completed to allow for 100 mm of Topsoil on all disturbed areas.

During detailed grading of individual lots, the designer is to ensure that the area within 3 metres of the proposed drilled well is graded away from the well with a minimum ground surface slope of 2%.

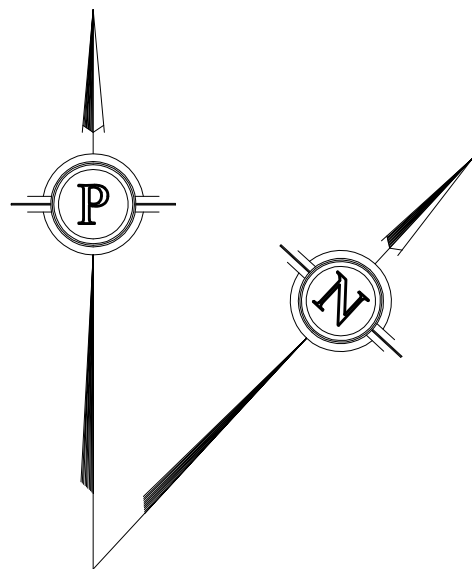
SITE BENCHMARK  
NAIL IN HYDRO POLE  
ELEV = 79.06  
HORIZONTAL DATUM: MTM ZONE 9, NAD 83  
(ORIGINAL) AND VERTICAL DATUM OF 1928  
(CGVD28)  
REFERENCED TO COSINE MONUMENT  
STATION: 0011970U245 CGVD28: 78 ELEV 120.549

OLD PROPERTY LINE  
REPLACED WITH NEW  
SETBACK 15m FROM  
CENTRELINE OF ROAD  
WITH 0.3m RESERVE

PROPOSED 2m TALL, WITH 20kg/m<sup>2</sup> DENSITY, NOISE  
BARRIER (WITH NO HOLES OR GAPS) AS PER  
ENVIRONMENTAL NOISE IMPACT ASSESSMENT  
PREPARED BY ARCADIS IBI GROUP  
- TO BE DESIGNED BY OTHERS

NOTE:  
ALL PRIVATE DRIVEWAY ENTRANCE CORNER RADII AS PER  
C/OO DRAWING S26

- LEGEND - GRADING
- PROP. ELEV (PROP/EX)
  - PROP. TOP OF GRATE ELEVATION
  - PROP. GRADE
  - PROP. ELEV (PROP/INVERT)
  - PROPERTY LINE
  - TOP OF SLOPE
  - BOTTOM OF SLOPE
  - PROPOSED WELL LOCATION
  - 100YR MVCA FLOODPLAIN
  - 100YR SWM FACILITY PONDING
  - 100YR FLOW DEPTH
  - LOT RESERVE LINE
  - 80m ZONING SETBACK
  - 12HR 2YR CHICAGO PONDING
  - 100YR MVCA POST DEVELOPMENT FLOODPLAIN HATCH



- PROPOSED DWELLING FOOTPRINT
- PROPOSED SEPTIC BED
- SEPTIC BED MANTLE

SITE (WEST) GRADING PLAN  
SCALE = 1:500

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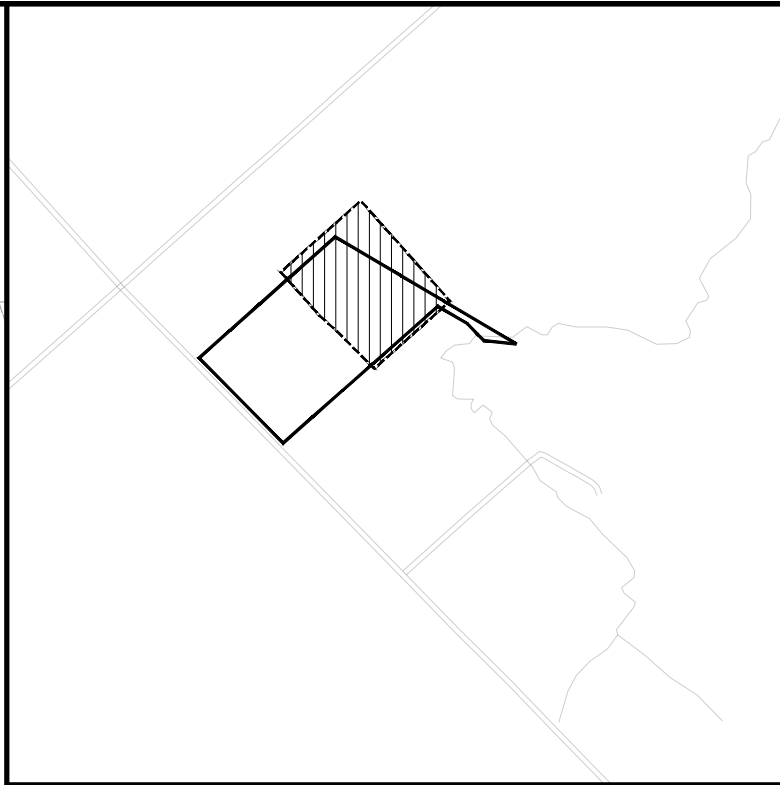
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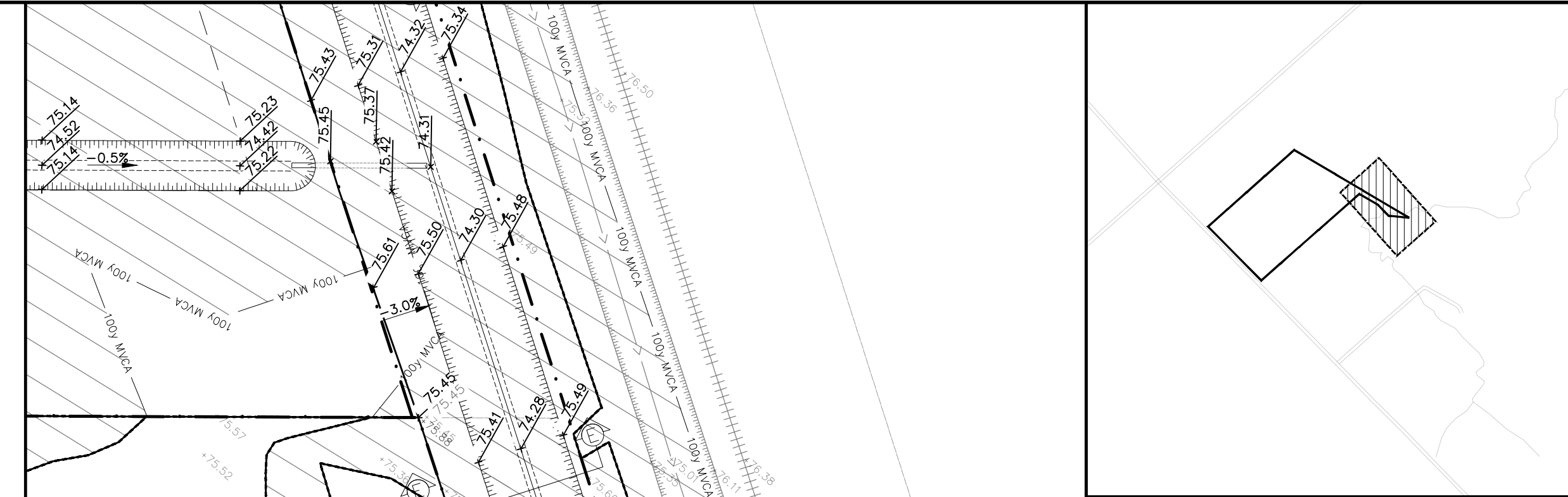
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LICENSED PROFESSIONAL ENGINEER  
2025.MAR.27  
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100079612  
PROVINCE OF ONTARIO

CLIENT NAME	ZBIGNIEW HAUDEROWCZ	PROJECT No.	200977
PROJECT NAME	PROPOSED RESIDENTIAL SUBDIVISION	DATE	2024/12/10
PROJECT LOCATION	2050 DUNROBIN ROAD OTTAWA, ONTARIO	SCALE	1:500
DRAWING	SITE (WEST) GRADING PLAN	DRAWING No.	GR - W

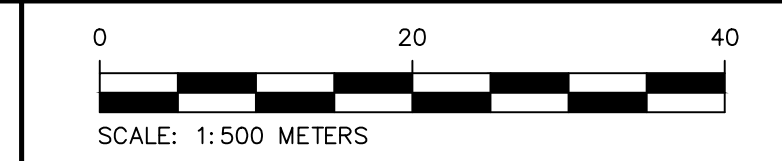
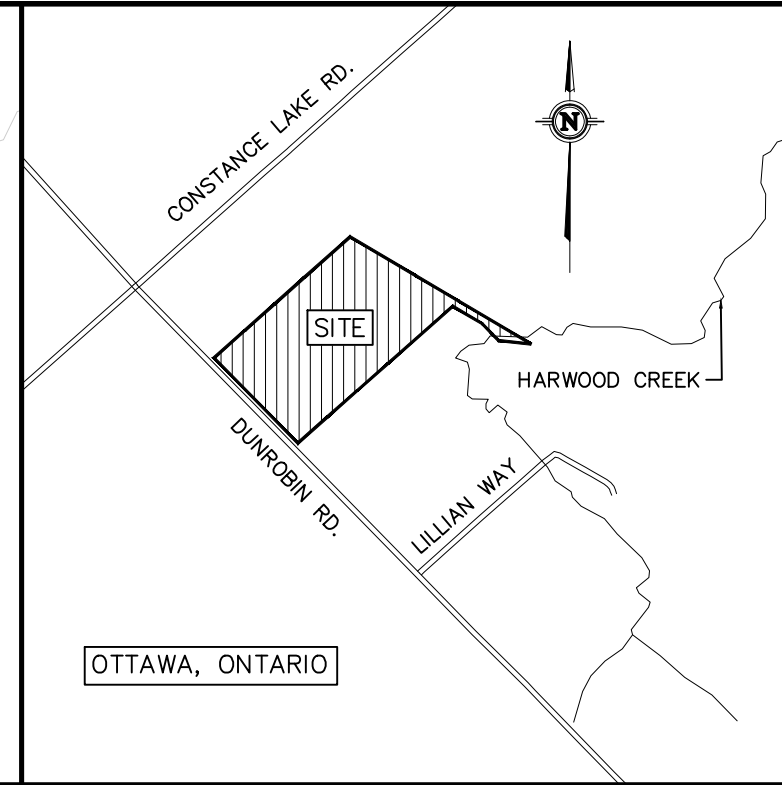





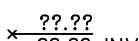













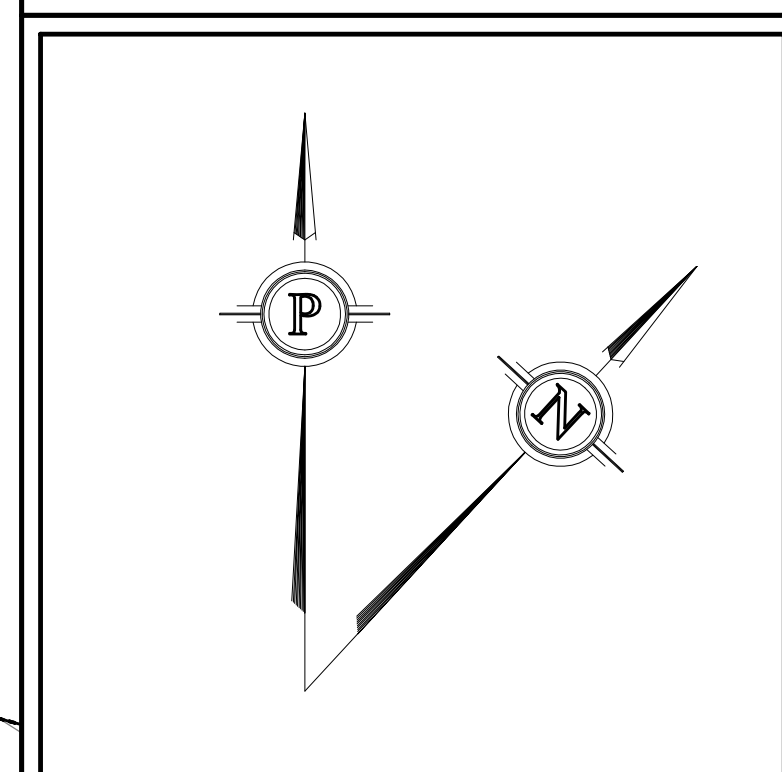
SITE (EAST) GRADING PLAN  
SCALE = 1:500



SITE (HARWOOD CREEK) GRADING PLAN  
SCALE = 1:500



LEGEND -- GRADING	
	PROPOSED ELEVATION (PROP/EX)
	PROPOSED TOP OF GRATE ELEVATION
	PROPOSED GRADE
	PROPOSED ELEVATION (PROP/INVERT)
	PROPERTY LINE
	TOP OF SLOPE
	BOTTOM OF SLOPE
	PROPOSED WELL LOCATION
	100YR MCVA FLOODPLAIN
	100YR SWM FACILITY PONDING
	100YR FLOW DEPTH
	LOT RESERVE LINE
	80m ZONING SETBACK
	12HR 2YR CHICAGO PONDING
	100YR MCVA POST DEVELOPMENT FLOODPLAIN HATCH



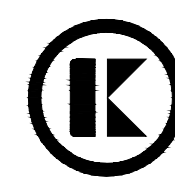
The diagram shows a site plan with a building footprint and a septic bed layout. The building footprint is an irregular shape with a central rectangular section and two side extensions. To the right of the building is a rectangular area labeled 'PROPOSED DWELLING FOOTPRINT'. Below the building footprint is a rectangular area labeled 'PROPOSED SEPTIC BED'. To the right of the septic bed is a rectangular area labeled 'SEPTIC BED MANTLE'.

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No.	REVISION	DATE	BY	

CONSULTANT:

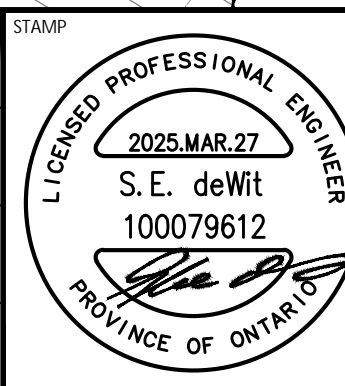


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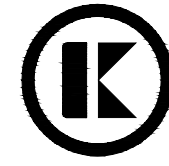
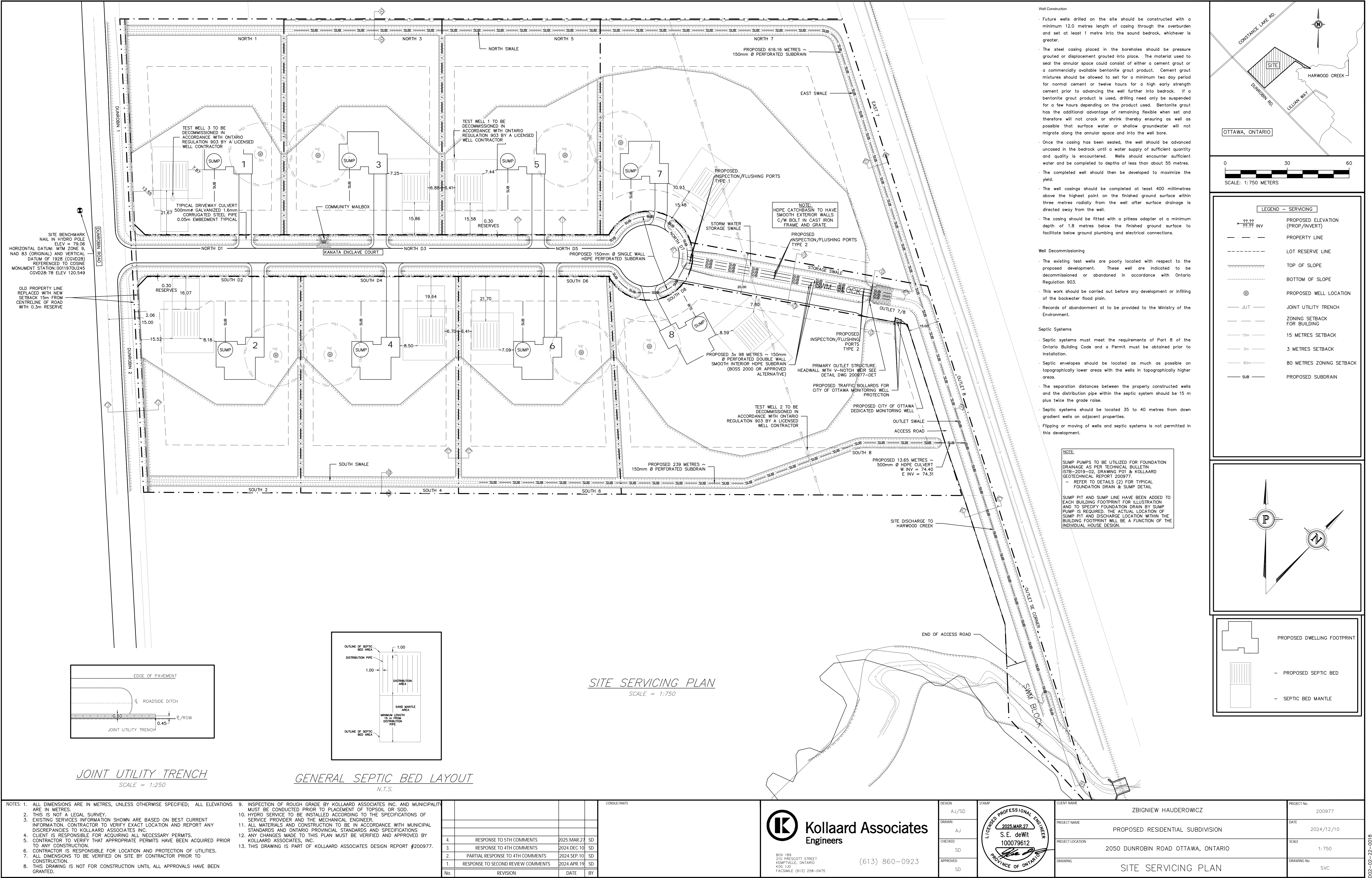
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DRAWN	AJ
CHECKED	SD
APPROVED	SD



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PROJECT NAME	PROPOSED RESIDENTIAL SUBDIVISION	DATE	2024/12/10
PROJECT LOCATION	2050 DUNROBIN ROAD OTTAWA, ONTARIO	SCALE	1:500
DRAWING	SITE (EAST) GRADING PLAN	DRAWING No.	GR-E

002-02-22-0018



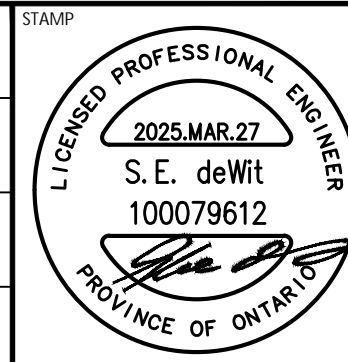


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A.J./S.D.  
DRAWN  
A.J.  
CHECKED  
S.D.  
APPROVED  
S.D.



CLIENT NAME  
ZBIGNIEW HAUDEROWCZ  
PROJECT NAME  
PROPOSED RESIDENTIAL SUBDIVISION  
PROJECT LOCATION  
2050 DUNROBIN ROAD OTTAWA, ONTARIO  
DRAWING  
SITE SERVICING PLAN

PROJECT No.  
200977  
DATE  
2024/12/10  
SCALE  
1:750  
DRAWING No.  
SVC



- 1) Construction of Roadway:
  - a) Install sediment and erosion control measures;
  - b) Strip topsoil and prepare subgrade;
  - c) Place roadway granular subbase and base;
  - d) Shape ditches and back slope to property lines;
  - e) Topsoil and seed ditches;
- f) Construct "Cow path" to support truck traffic;
- g) Following placement of fill in flood plain, remove "Cow path and finish shopping roadway;

- SITE BENCHMARK  
NAIL IN HYDRO POLY  
ELEV = 79.01  
HORIZONTAL DATUM: MTH  
ZONE 9, NAD 83  
(ORIGINAL) AND VERTICAL  
DATUM OF 1921  
(CGVD28)  
REFERENCED TO COSINE  
MONUMENT  
STATION: 0011970U24;  
CGVD28: 78 ELEV 120.54

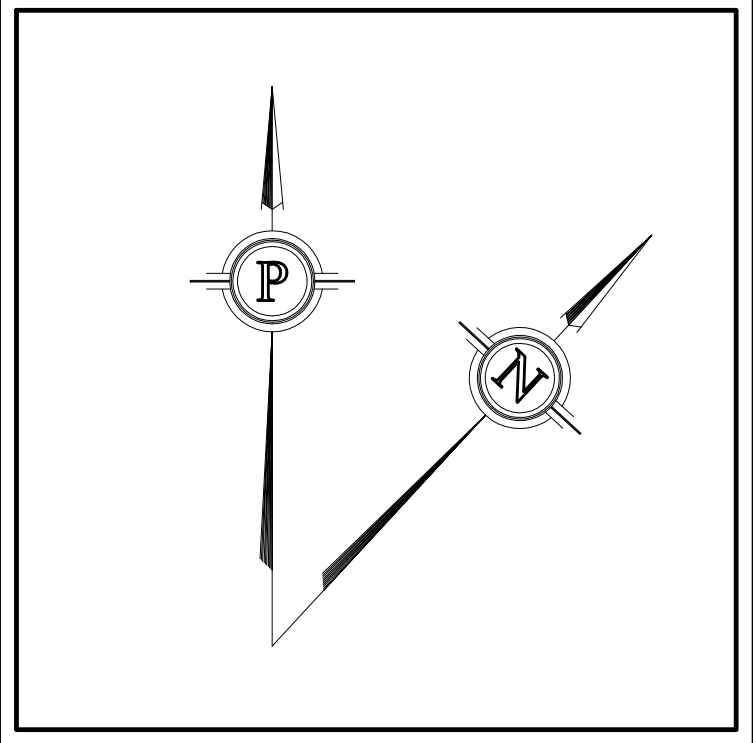
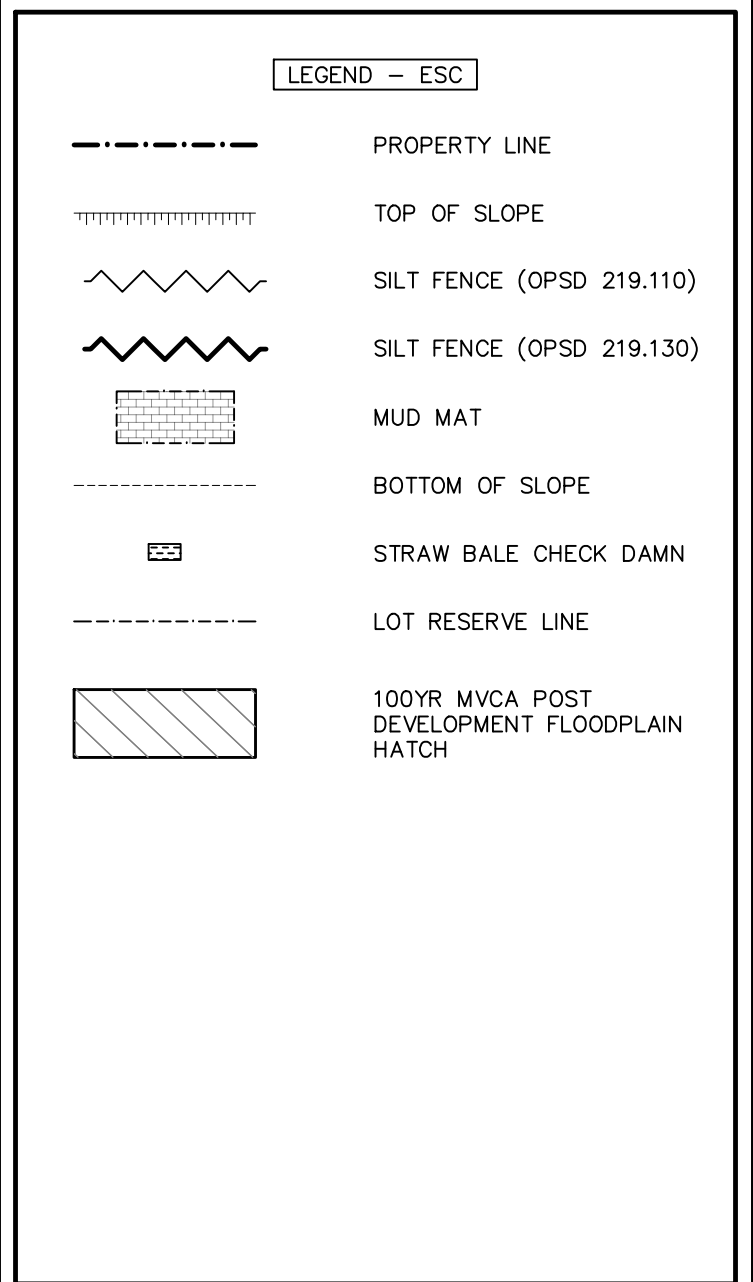
DUNROBIN ROAD

EROSION & SEDIMENT CONTROL PLAN  
CONDITIONS  
SCALE = 1:1000

- 1) To prevent the introduction and spread of invasive plant species into the study area, equipment utilized during construction should be inspected and cleaned in accordance with the Clean Equipment Protocol for Industry.
- 2) All equipment should be thoroughly inspected for the presence of plant material and seeds may be lodged or adhering to interior and exterior surfaces prior to mobilizing equipment onto the site.
- 3) Remove any guards, covers or plates that are easy to remove.
- 4) If any clods of dirt, soil or other plant material are found, removal should take place immediately, using the techniques outlined in the Clean Equipment Protocol for Industry.
- 5) Except as required to construct the outlet a minimum of 30 m setback from hardwood Creek should be maintained where development or clearing should occur.
- 6) In accordance with the City of Ottawa's Protocol for Wildlife Protection during Construction to reduce potential wildlife usage of the Trestle, and in accordance with the City of Ottawa's Wildlife Protection Policy, all clearing and/or construction activities should be completed by moving/clearing outside of the breeding season (i.e., before April 15), then maintain as moss grew prior to on-site work begins.
- 7) No clearing of any vegetation should occur between April 1 and September 15 of any year, unless a qualified biologist has determined that the clearing is necessary.
- 8) If any SARs be discovered during the project works, and/or should any SAR or their habitat be potentially impacted by on-site activities, the MDCP shall be contacted immediately and operations modified to avoid any negative impacts to SAR or their habitat.
- 9) Any excavation or heavy equipment use in the floodplain or near hardwood Creek within the study area, conducted between May 1 and September 15, has the potential to harm travelling Blanding's Turtles and other SAR turtles that utilize the watercourse. As such, the City of Ottawa will require that any excavation or heavy equipment use in the floodplain or near hardwood Creek be limited to the watercourse. Some common mitigations would include working outside the known timing window for active turtle movement; from May 1 to September 15, any excavation or heavy equipment use in the floodplain or near hardwood Creek should be limited to the watercourse. Barriers should be installed by May 1, prior to the turtle nesting season surrounding the impacted watercourse or proposed works.

- 1) Prior to Start of Construction:
  - a) Install silt fence, straw bale check dams and mud mat in location shown;
  - b) Inspect measures immediately after installation.
- 2) In General:
  - a) Do not locate topsoil piles or fill piles within 2.5 m from any paved or gravel surface area;
  - b) Control dust off site by seeding topsoil and soil piles and other disturbed areas watering as necessary if they are to remain unvegetated longer than 30 days
  - c) City Roadway to be cleaned of all sediment from vehicular tracking as required;
  - d) Provide mud mat where ever vehicular traffic leaves the site from an unpaved egress point;
  - e) All erosion control measures should be inspected within 24 hours of a storm event and should be cleaned / repaired / replaced as necessary

- 4) During Placement of the Fill within the Flood Plain Area:
  - a) Minimize the extend of the disturbed areas outside of the area immediately affected by the fill placement;
  - b) Prior the placement of the fill to reduce the duration of exposure either by ensuring sufficient equipment or by placing the fill in stages;
  - c) Install silt fence at the perimeter of the disturbed area or around the perimeter of each phase if not completing the fill placement at once;
  - d) Level the fill to finished grade immediately after placement;
  - e) Cover fill with minimum 100 mm of topsoil then seed and mulch or hydro seed. The placement of the fill should be completed in a manner that will allow the placement of the topsoil / seed and mulch / hydro seeding within 30 days of start of fill placement;
  - f) Install silt fence within 24 hours of a storm event and clean / repair as necessary;
- 4) During Construction of Storm water Management Facility:
  - a) Minimize the extend of the disturbed areas outside of the area immediately affected by storm water management facility;
  - b) Install silt fence at the perimeter of the disturbed area;
  - c) Ensure straw bale check dams are in place downstream of the facility;
  - d) Equipment used should be sufficient in size and quantity to ensure the construction time is minimized;
  - e) Any excess soil material excavated during the construction should be stockpiled on the proposed lots outside of vulnerable areas and outside of the road allowance. The soil should be leveled to rough grade and stabilized by seeding;
  - f) Cover disturbed areas with minimum 100 mm of topsoil then seed and mulch or hydro seed. The topsoil placement and seeding and mulching / hydro seeding should be completed within 30 days of start of the construction of the facilities;
- 5) During Construction of a Cul-de-Sac:
  - a) Minimize the extend of the disturbed areas outside of the area immediately affected by the road construction;
  - b) Install silt fence at the perimeter of the disturbed area;
  - c) Ensure straw bale check dams are in place at the discharge point from the Cul-de-Sac;
  - d) Equipment used should be sufficient in size and quantity to ensure the construction time is minimized;
  - e) Any excess soil material excavated during the construction should be stockpiled on the proposed lots outside of vulnerable areas and outside of the road allowance. The soil should be leveled to rough grade and stabilized by seeding;
  - f) Cover disturbed areas with minimum 100 mm of topsoil then seed and mulch or hydro seed. The topsoil placement and seeding and mulching / hydro seeding should be completed within 30 days of start of the construction of the roadway;
- 6) During Development of Individual Lots:
  - a) Install silt fence at the perimeter of the disturbed area;
  - b) Control dust off site by seeding topsoil and other disturbed areas where necessary if they are to remain unfinished longer than 30 days;
  - c) Repair any erosion channels as they occur and redirect surface runoff with the use of berms to promote sheet flow;
  - d) Cover disturbed areas with minimum 100 mm of topsoil then seed and mulch or hydro seed as soon as possible;



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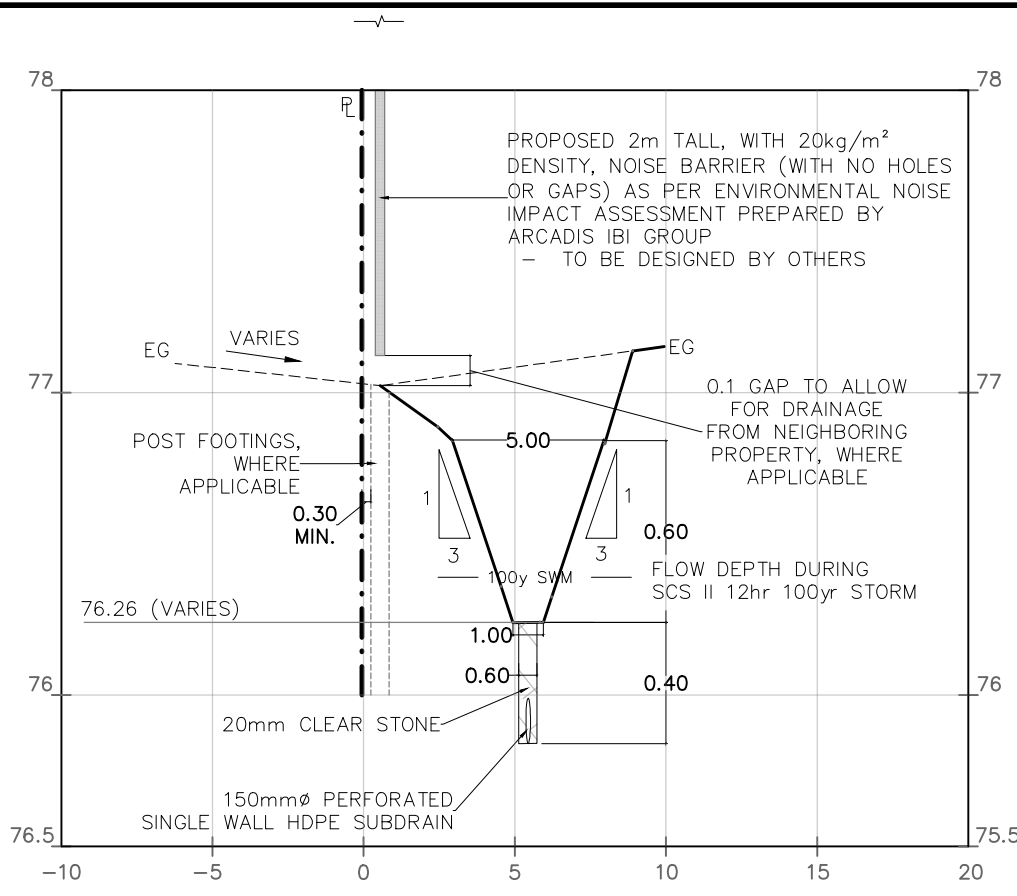
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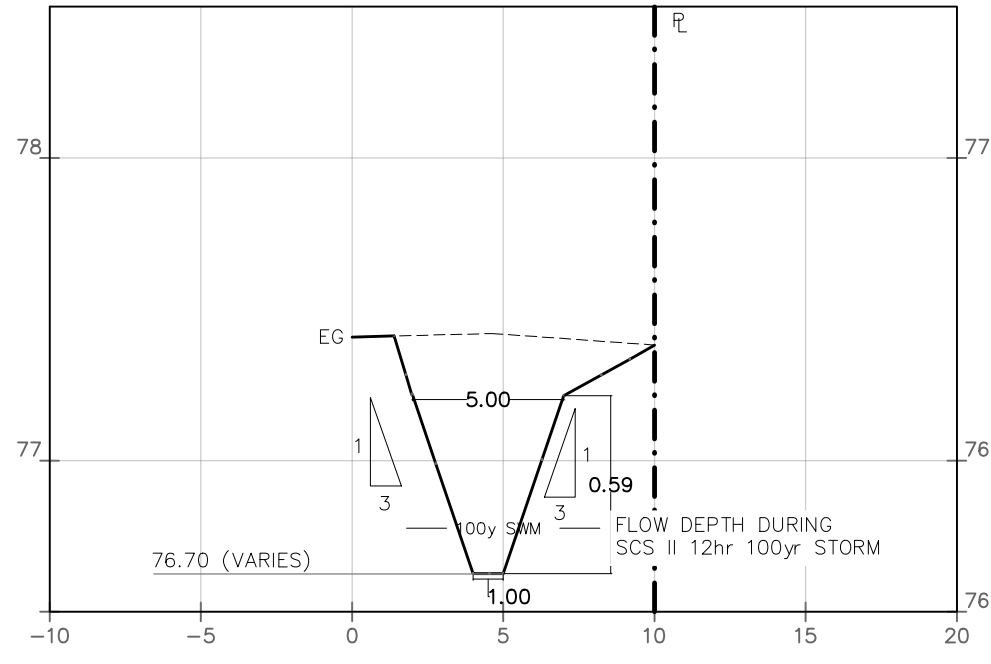
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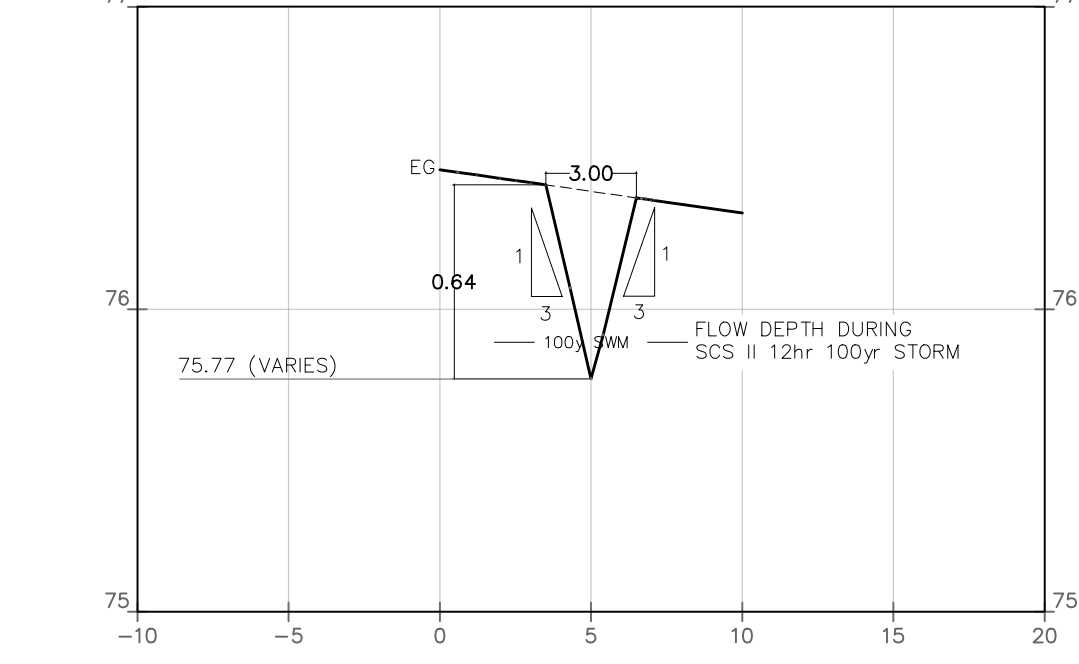




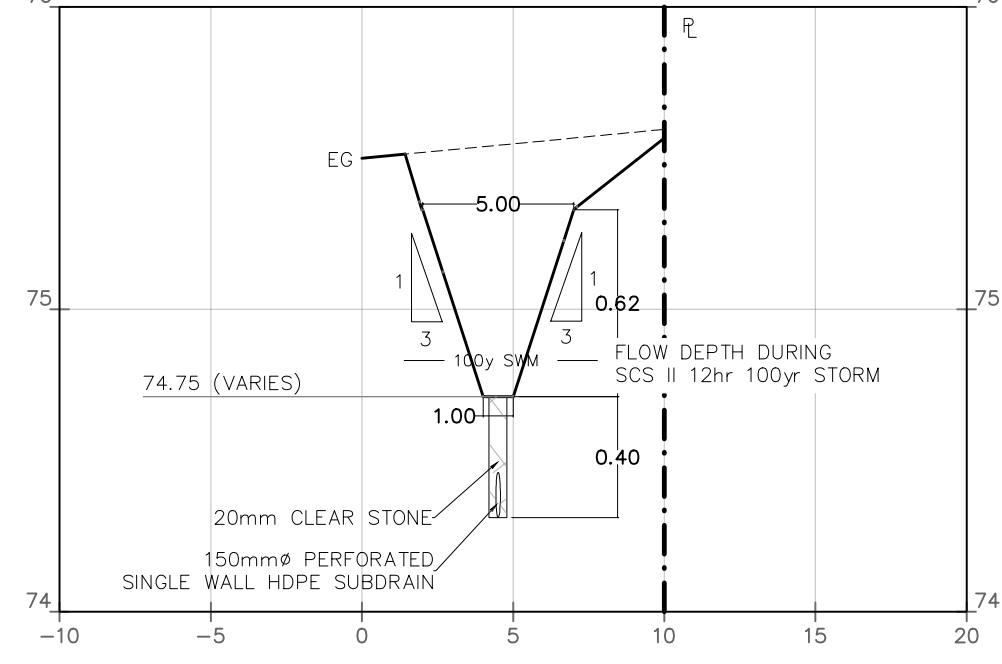
SECTION A-A (NORTH SWALE) /  
TYPICAL NOISE BARRIER DETAIL  
SCALE = 1:250(H) 1:25(V)



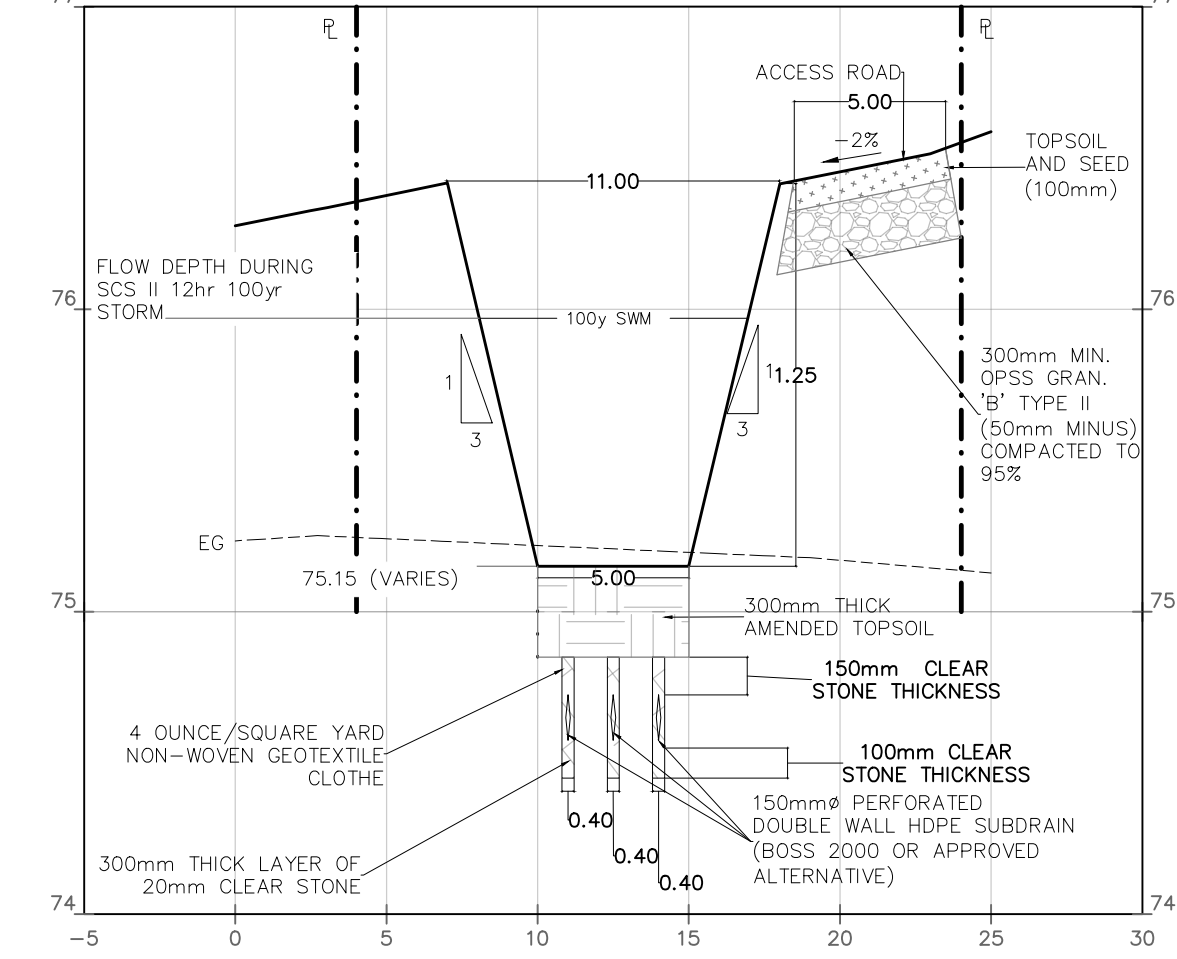
SECTION B-B (SOUTH SWALE)  
SCALE = 1:250(H) 1:25(V)



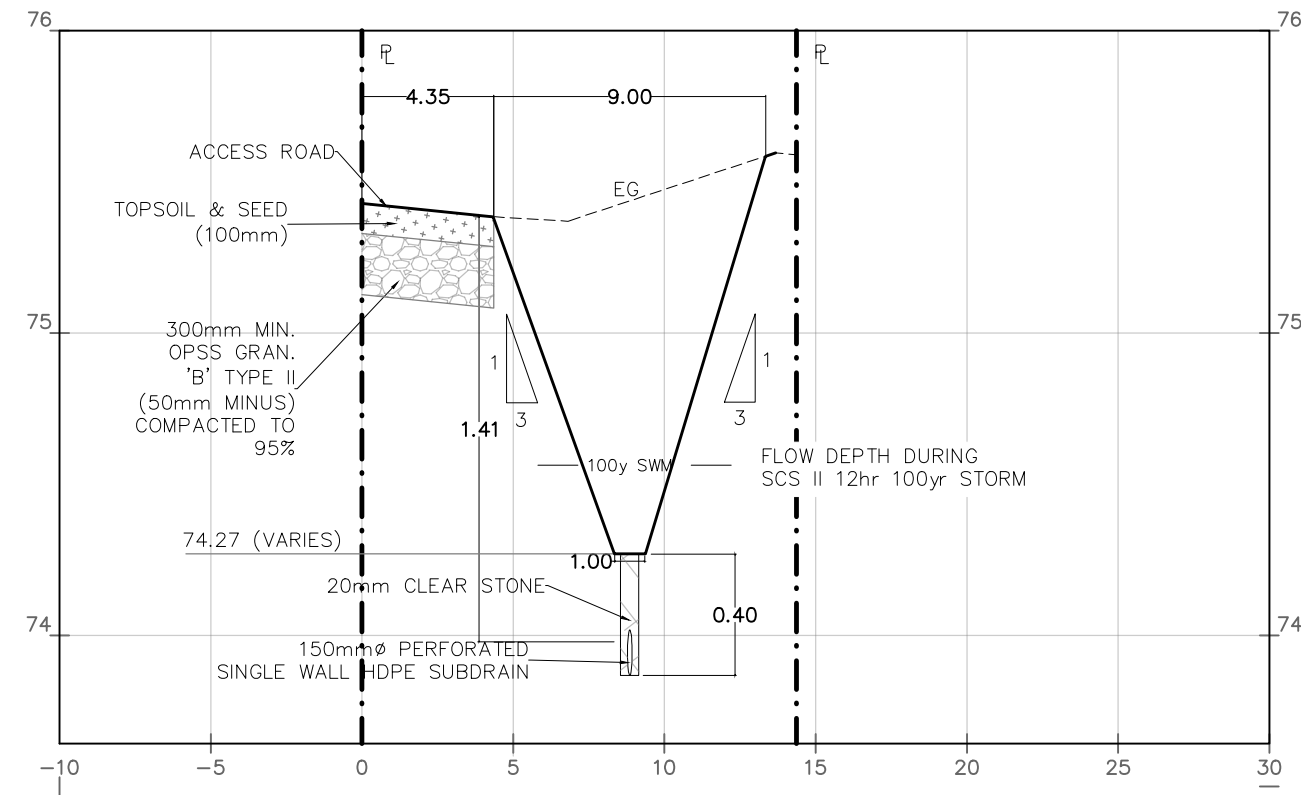
SECTION C-C (SOUTH REAR SIDE YARD)  
SCALE = 1:250(H) 1:25(V)



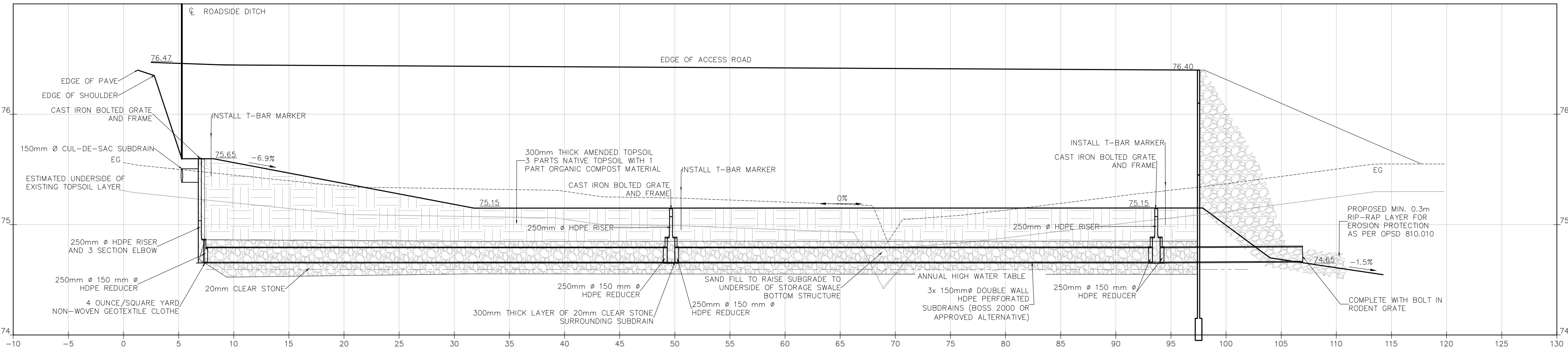
SECTION D-D (EAST SWALE)  
SCALE = 1:250(H) 1:25(V)



SECTION G-G (STORAGE)  
SCALE = 1:250(H) 1:25(V)

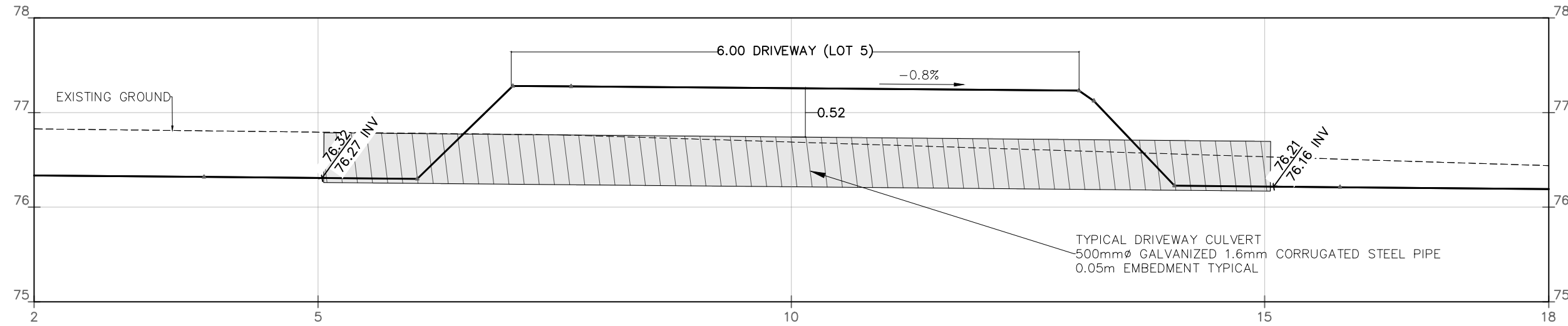


SECTION E-E (OUTLET TO HARWOOD CREEK)  
SCALE = 1:250(H) 1:25(V)

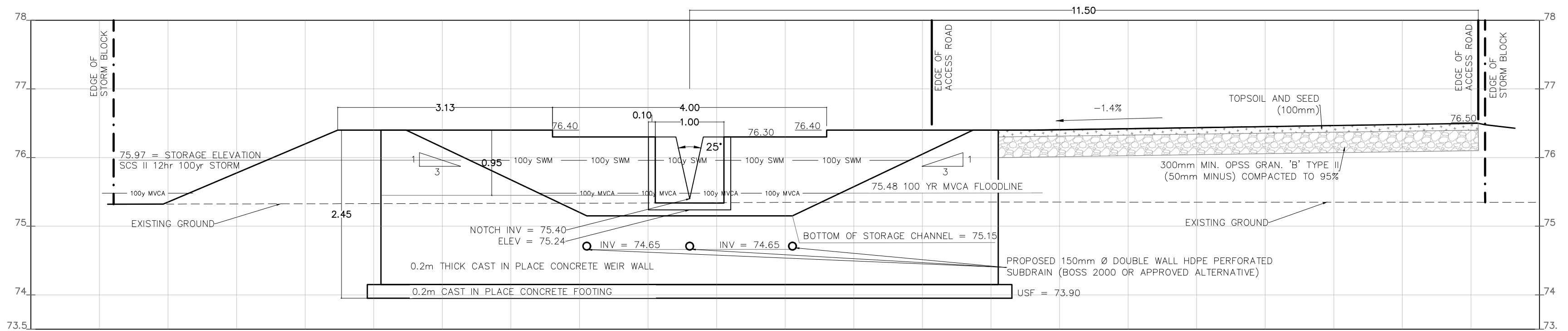


SECTION F-F (STORAGE)  
SCALE = 1:250(H) 1:25(V)

NOTE: All grade elevations shown on softscaped or grassed surfaces are finished grades including topsoil. Rough grading is to be completed to allow for 100 mm of Topsoil on all disturbed areas.



SECTION I-I (TYPICAL DRIVEWAY CULVERT)  
SCALE = 1:50(H) 1:50(V)



PRIMARY OUTLET SWALE CONTROL STRUCTURE (HEADWALL)  
SECTION H-H  
SCALE = 1:50(H) 1:50(V)

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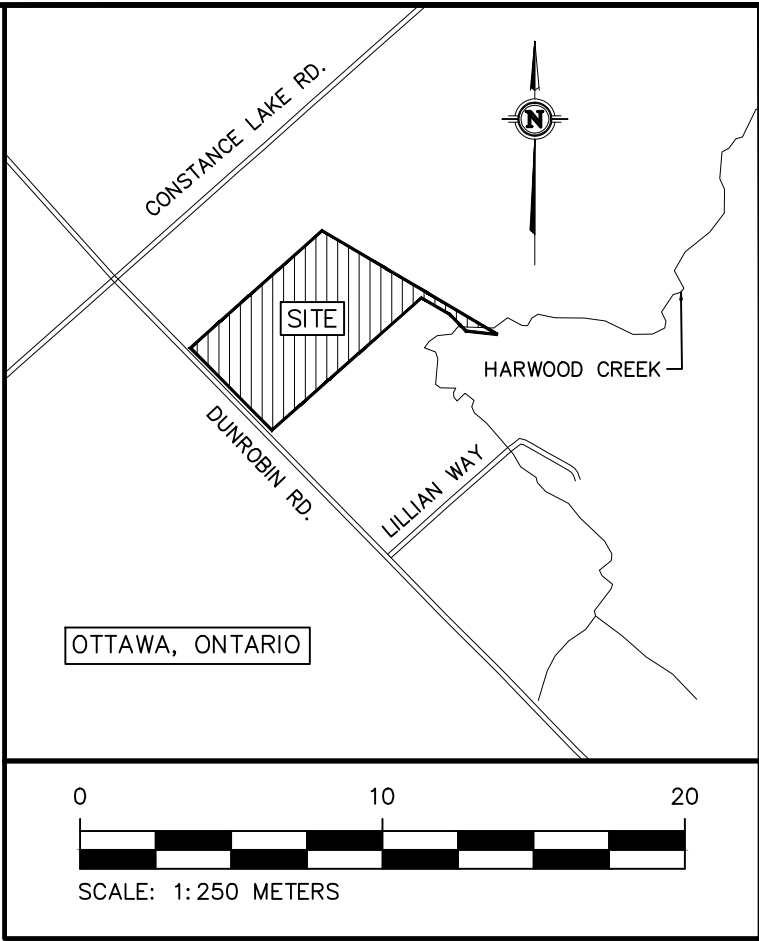
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3.	RESPONSE TO 4TH COMMENTS	2024.DEC.10	SD
2.	PARTIAL RESPONSE TO 4TH COMMENTS	2024.SEP.10	SD
1.	RESPONSE TO SECOND REVIEW COMMENTS	2024.APR.19	SD

CONSULTANTS			
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BOX 188 210 PRESCOTT STREET KEMPVILLE, ONTARIO K0G 1J0 FACSIMILE (613) 258-0475			

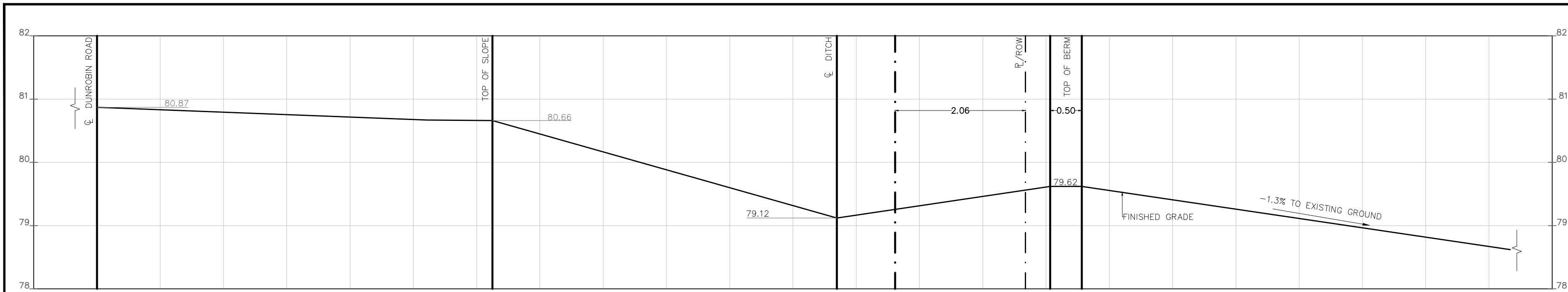
DESIGN A.J./SD			
DRAWN A.J.			
CHECKED SD			
APPROVED SD			

STAMP LICENSED PROFESSIONAL ENGINEER 2025.MAR.27 S.E. deWit 100079612 PROVINCE OF ONTARIO			
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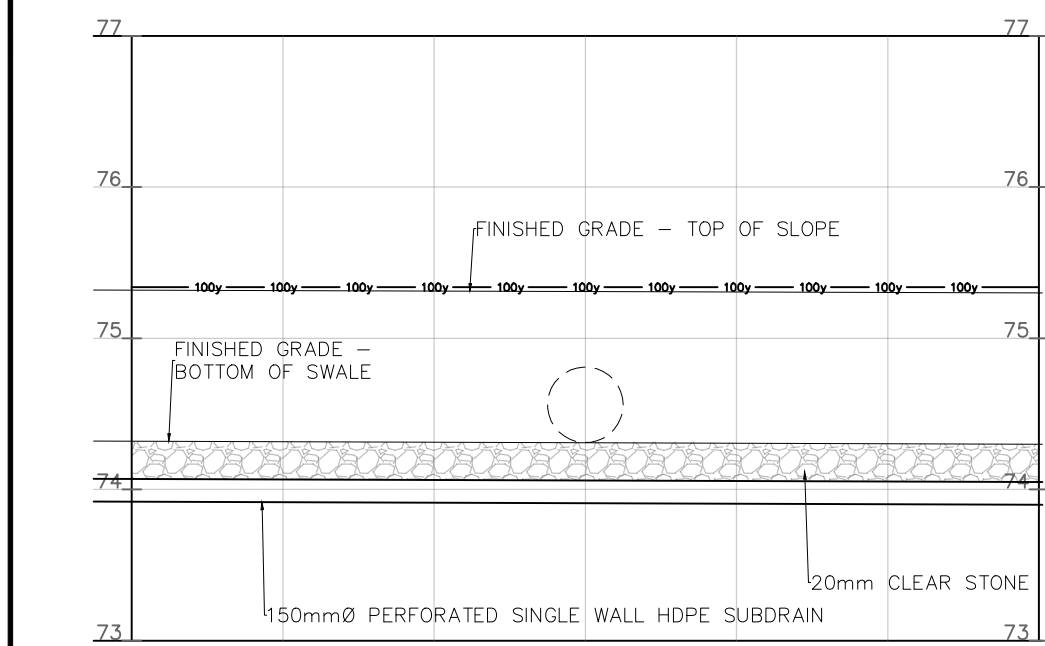
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PROJECT NAME PROPOSED RESIDENTIAL SUBDIVISION		DATE 2024/12/10	
PROJECT LOCATION 2050 DUNROBIN ROAD OTTAWA, ONTARIO		SCALE AS NOTED	
DRAWING DETAILS		DRAWING No. DET	



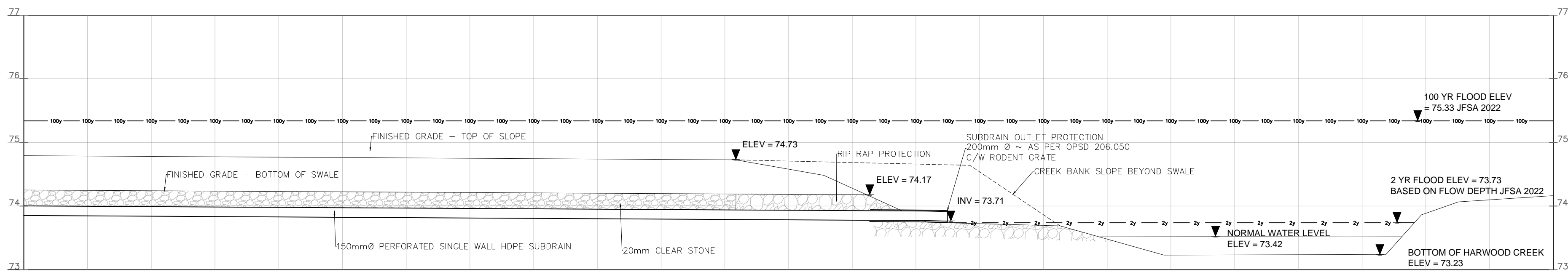




SECTION J-J  
N.T.S.



SECTION K-K  
N.T.S.



SECTION L-L  
N.T.S.

**SEEDING - GENERAL**

THE SEED MIXES BELOW SHOULD BE SOWN AT THE RATES RECOMMENDED BY THE SUPPLIER.

THE SEED MIXES SHOULD BE SOWN IN COMBINATION WITH A NURSE CROP OF ANNUAL RYE OR OATS WHICH IS SOWN AT A RATE OF 22-25 KG/HA

THE FOLLOWING SEED MIXES ARE INTENDED TO RESULT IN A VEGETATIVE COVER THAT REQUIRES NO MAINTENANCE. THE NATURALLY UN-MAINTAINED CONDITION WILL PROVIDE HEALTHY AND ADEQUATE COVER TO PROTECT THE SURFACES FROM EROSION, FACILITATE VEGETATIVE FILTRATION AND WILL PROVIDE NATURAL HABITAT FOR WILDLIFE.

**STORAGE SWALE SEEDING**

THE BOTTOM OF THE PROPOSED STORAGE SWALE SHOULD BE LIGHTLY SEED WITH SWEET CLOVER IN COMBINATION WITH A MIX SUCH AS WET MEADOW OR STORM POND SEED SUCH AS QS WET MEADOW MIXTURE AS SUPPLIED BY QUALITY SEEDS OR STORMPOND NATIVE SEED MIXTURE OR CREEK BANK NATIVE SEED MIXTURES SUPPLIED BY OSC SEEDS.

THE SIDES SLOPES OF THE STORAGE SWALE SHOULD BE SEED WITH A MEADOW MIX SUCH AS QS MEADOW MIXTURE AS SUPPLIED BY QUALITY SEEDS.

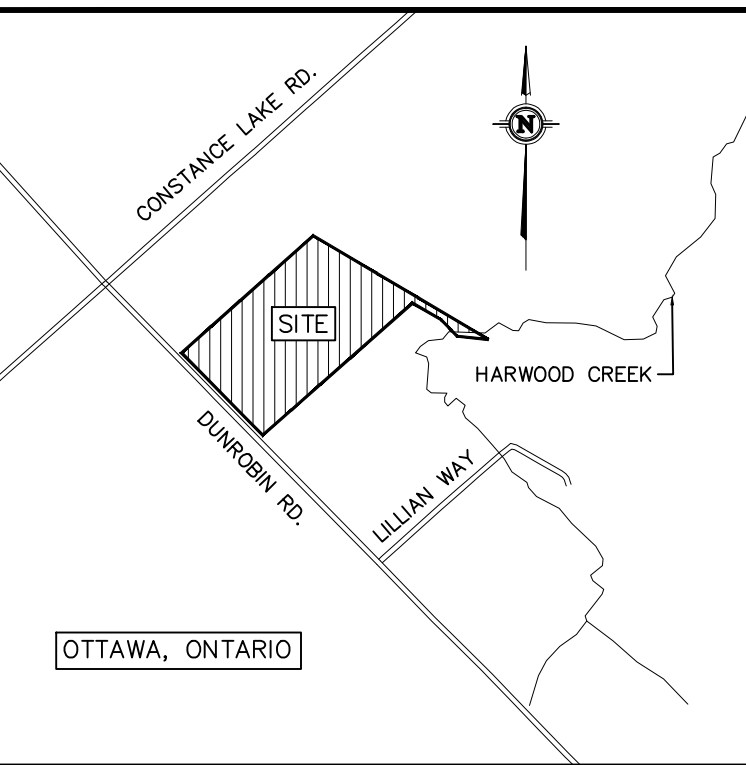
**PERIMETER AND OUTLET SWALE SEEDING**

WHERE THE PROPOSED LONGITUDINAL SLOPE OF THE PERIMETER SWALES IS A MINIMUM OF 0.6 PERCENT, BOTH THE SIDES AND BOTTOM OF THE PERIMETER SWALES SHOULD BE SEED WITH A NATIVE MEADOW MIX SUCH AS QS MEADOW MIXTURE AS SUPPLIED BY QUALITY SEEDS.

WHERE THE PROPOSED LONGITUDINAL SLOPE OF THE PERIMETER AND OUTLET SWALES IS LESS THAN 0.6 PERCENT, THE BOTTOMS OF THE PERIMETER SWALES SHOULD BE SEED WITH A NATIVE MIX SUCH AS WET MEADOW OR STORM POND SEED SUCH AS QS WET MEADOW MIXTURE AS SUPPLIED BY QUALITY SEEDS

**DISTURBED AND UNMAINTAINED REAR YARD AREAS**

THE DISTURBED AND PROPOSED UNMAINTAINED AREAS IN THE REAR YARDS SHOULD BE LEVELED AND SEED WITH A NATIVE MEADOW MIX SUCH AS QS MEADOW MIXTURE AS SUPPLIED BY QUALITY SEEDS.



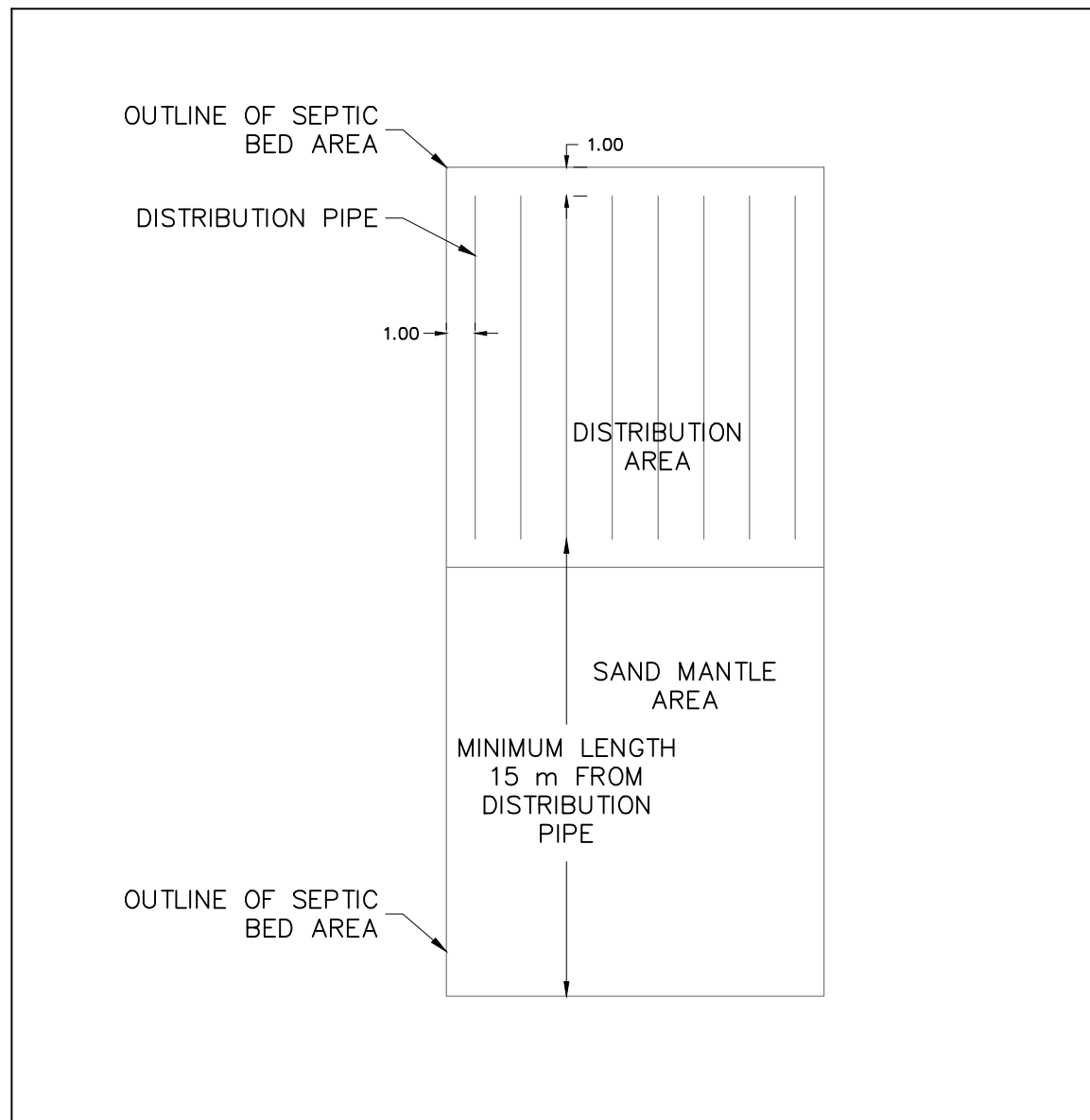
NOTES:

1. THE STANDARDS INDICATE MINIMUM DIMENSIONS THAT ARE TO BE INCORPORATED INTO THE DESIGN OF ANY NEW DEVELOPMENTS INVOLVING NEW AND EXISTING STREETS. ANY VARIATION TO THIS DESIGN WILL REQUIRE APPROVAL OF THE CITY OF OTTAWA.
2. ALL DIMENSIONS TO BE READ IN CONJUNCTION WITH APPLICABLE CITY STANDARDS.
3. ALL COMPOSITE UTILITY PLANS MUST ADHERE TO THE CITY OF OTTAWA'S STANDARD LOCATION OF UTILITY PLANS SHOWN IN ORDER TO AVOID INTERFERENCE THROUGH THE SITE PLAN CONTROL AND SUBSTATION APPROVALS PROCESS.
4. TYPICAL CROSS SECTION BOLLENDER WITH SHALL BE MAINTAINED WHEN CONSTRUCTING SIDEWALKS AND CORNER LOTS REGARDLESS OF ROAD ANY GEOMETRY.
5. WATERMAIN AND HYDROLINE TO BE INSTALLED OFF THE STREET CENTERLINE TO ACCOMMODATE LARGER SIZE SEWER PIPES AND STILL MAINTAIN THE CLEARANCES REQUIRED TO THE WATERMAIN.
6. THE USE OF IN-ROAD CATCH BASINS INSTEAD OF CURB INLET CATCH BASINS SHALL BE APPROVED BY AN AUTHORIZED CITY REPRESENTATIVE.
7. THE USE OF BARRIER CURBS AND MOUNTABLE CURBS SHALL BE APPROVED BY AN AUTHORIZED CITY REPRESENTATIVE. MOUNTABLE CURBS SHALL BE SPECIFIED FOR TYPICAL TOWNHOUSE DEVELOPMENTS.
8. BUILDING SEWER AND WATER SERVICES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH CITY STANDARDS.
9. SANITARY AND SEWER SERVICE CONNECTORS WILL BE EXTENDED A MINIMUM OF 2.0m BEYOND THE PROPERTY LINE TO ALLOW FOR FUTURE CONNECTION. WATER SERVICE PIPE MATERIAL SHALL BE Laid IN ONE CONTINUOUS PIPE LENGTH (i.e. SPLICING AND JOINTS SHALL NOT BE PERMITTED FROM ANY SIDE OF THE BUILDING TO THE CURBSTOP AND FROM THE CURBSTOP TO THE MAIN / CORPORATION STOP).
10. 1.5m CLEARANCE TO BE MAINTAINED AROUND WATER SERVICE POST. REFER TO OSC PROCEDURE MANUAL FOR UTILITY SPECIFICATION CONCERNING PLANT INSTALLATION.
11. TRANSFORMERS AND PROTECTORS SHALL BE LOCATED BETWEEN TOWNHOUSE BUILDINGS. REFER TO OSC PROCEDURE MANUAL FOR PREVENTING THE INSTALLATION OF ROAD ALLOWANCE TREES.
12. ALL UTILITIES TO BE INSTALLED IN LINE WITH TRENCHES OR ON HOUSE SIDE OF TRENCH.
13. THE BASE OF A HYDRO TRANSFORMER SHALL BE LOCATED A MINIMUM OF 2.0m FROM THE EDGE OF A DRIVEWAY.
14. REQUIREMENTS FOR PROTECTIVE RELAYING AT TRANSFORMERS SHALL BE DETERMINED BY HYDRO OR HYDRO ONE ON A CASE BY CASE BASIS.
15. SERVICE LATERALS MUST BE LOCATED A MINIMUM OF 3.0m FROM THE BASE OF A HYDRO TRANSFORMER.
16. STREET LIGHT CABLE SHALL BE PLACED IN JOINT USE TRENCH. STREET LIGHT CABLE SHALL BE AT SAME OFFSET AS STREET LIGHTS WHEN JOINT USE TRENCH NOT CONSTRUCTED.
17. TRAFFIC DUCT ALTERNATIVE PLACEMENT LOCATIONS ARE:  
1) JOINT USE TRENCH (LEFT LANE) OR  
2) SAME OFFSET AS STREETLIGHT POLES IN A SEPARATE TRENCH.
18. OPTIONAL LOCATION FOR THE TRAFFIC COMMUNICATIONS DUCT IS A TRENCH LOCATED AT THE SAME OFFSET AS THE STREETLIGHT POLES.
19. TRAFFIC ELECTRICAL DUCTS SHALL BE PLACED IN JOINT USE DUCT BANKS.
20. TRAFFIC DUCTS SHALL BE LOCATED IN THE BOLLENDER AREA ADJACENT TO THE SIDEWALK.
21. USE OF THE FOUR PARTY-UTILITY TRENCH WILL BE CONSIDERED AS AN OPTION, BUT REQUIRES THE AGREEMENT OF ALL UTILITIES PRIOR TO THE DEVELOPMENT OF THE COMPOSITE UTILITY PLAN, AND MUST BE IN CONFORMANCE WITH THE GUIDELINES ESTABLISHED BY THE OTHER UTILITIES COOPERATING COMMITTEE.
22. ONE TREE PER LOT TYPICAL. 2 TREES ON CORNER LOT WITH ONE OF THE TREES ON THE STREET SIDE OF THE LOT.
23. SPECIFIC TREE SPECIES SHALL BE SELECTED FOR SOIL TYPES AND AVAILABLE SPACES FOR PLANTINGS.
24. TREE PLACEMENT LOCATION AND TREE SPECIES WILL REQUIRE THE APPROVAL OF THE CITY.
25. TREE PLANTING SHALL BE HAND DUGGERS FOR THESE LOCATIONS WITH LESS THAN 1 METRE CLEARANCE TO THE LOT.

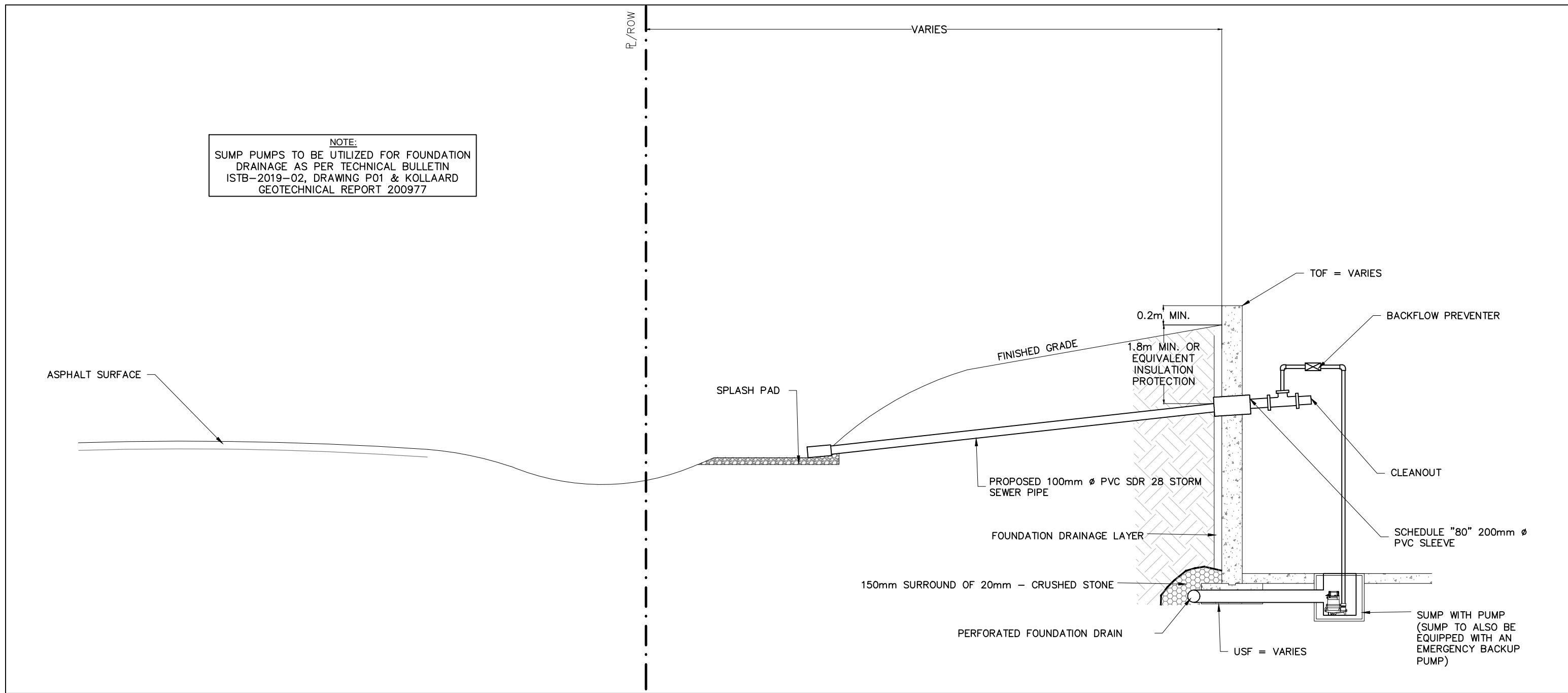


STANDARD NOTES  
ROAD ALLOWANCE

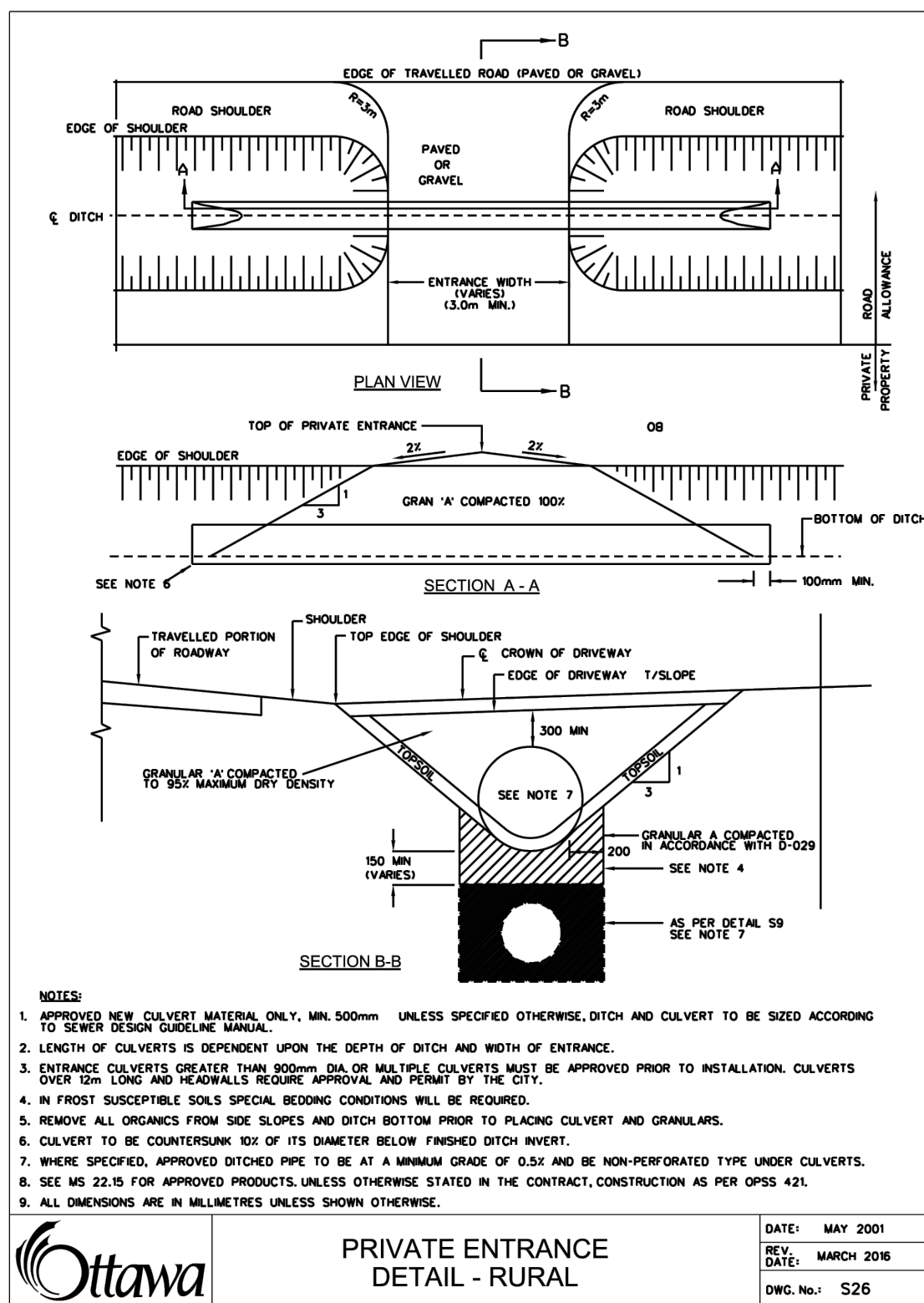
DATE: -  
REV. MARCH 2009  
DATE: -  
DWG. No.: ROW-NOTES



SEPTIC BED LEGEND  
N.T.S.



TYPICAL FOUNDATION DRAIN AND SUMP DETAIL  
N.T.S.



DATE: MAY 2001  
REV. MARCH 2016  
DATE: -  
DWG. No.: 526

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4.	RESPONSE TO SECOND REVIEW COMMENTS	2024.APR.19	SD

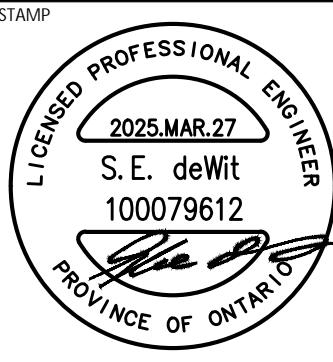
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**Kollaard Associates**  
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DESIGN	AJ/SD
DRAWN	JR
CHECKED	SD
APPROVED	SD



CLIENT NAME	ZBIGNIEW HAUDEROWICZ	PROJECT No.	200977
PROJECT NAME	PROPOSED RESIDENTIAL SUBDIVISION	DATE	2024/12/10
PROJECT LOCATION	2050 DUNROBIN ROAD OTTAWA, ONTARIO	SCALE	AS NOTED
DRAWING	DETAILS (2)	DRAWING No.	DET(2)



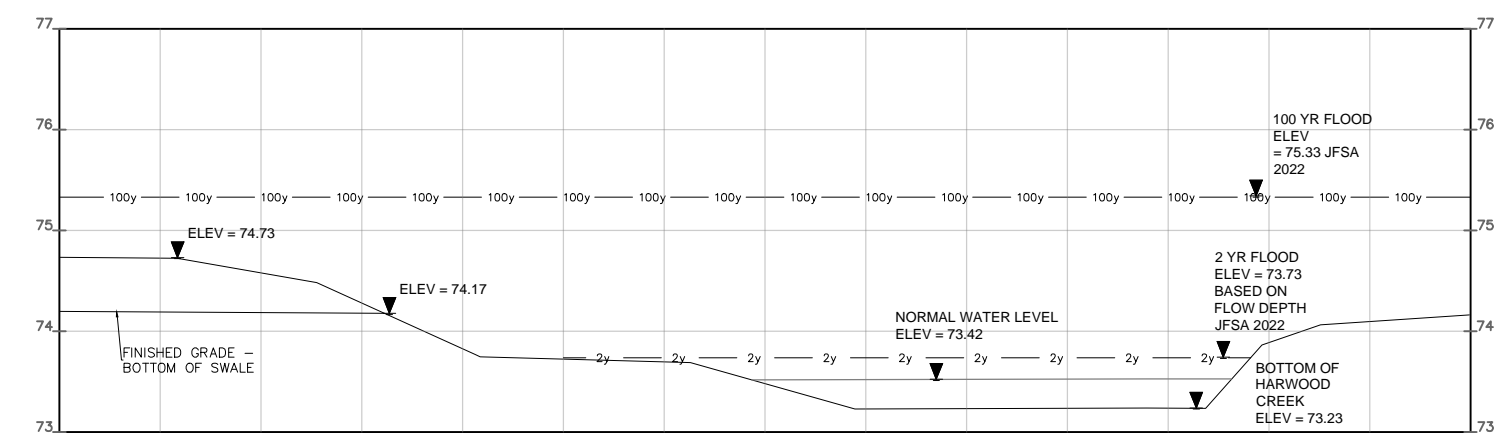
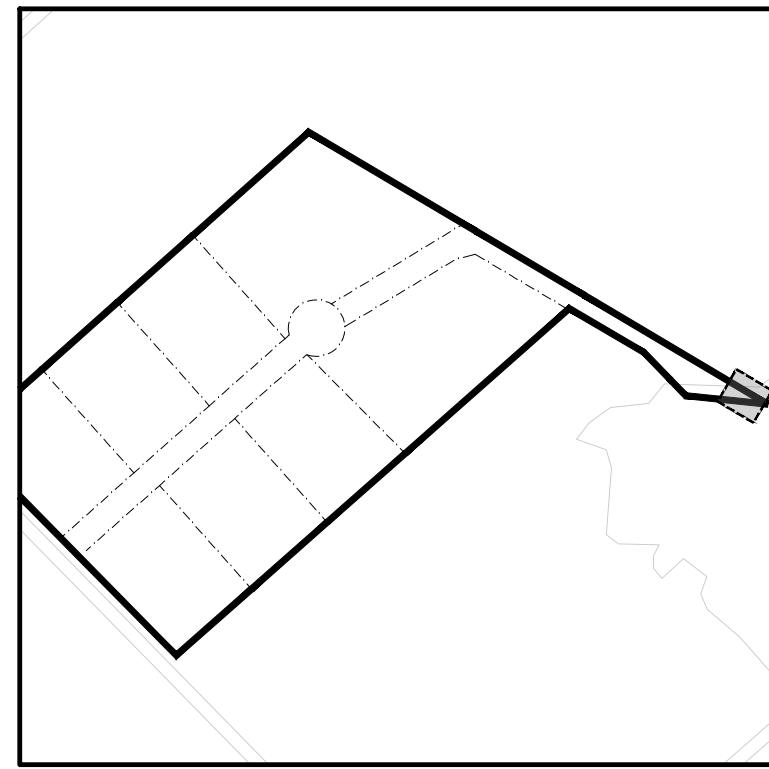


Diagram illustrating the cross-section of a road shoulder and ditch area, showing dimensions and material layers.

**Dimensions:**

- Horizontal distance from Edge of Pavement to Edge of Shoulder: 1.50
- Horizontal distance from Edge of Shoulder to Ditch: 2.50
- Horizontal distance from Ditch to E/R.O.W. (Right of Way): 2.50
- Horizontal distance from Ditch to JUT (Joint Utility Trench): 1.53
- Horizontal distance from JUT to E/R.O.W.: 0.60
- Vertical distance from Ditch to JUT: 0.30
- Vertical distance from JUT to E/R.O.W.: 0.45
- Vertical distance from Ditch to JUT (Slope): 0.30
- Vertical distance from JUT to E/R.O.W. (Slope): 0.30

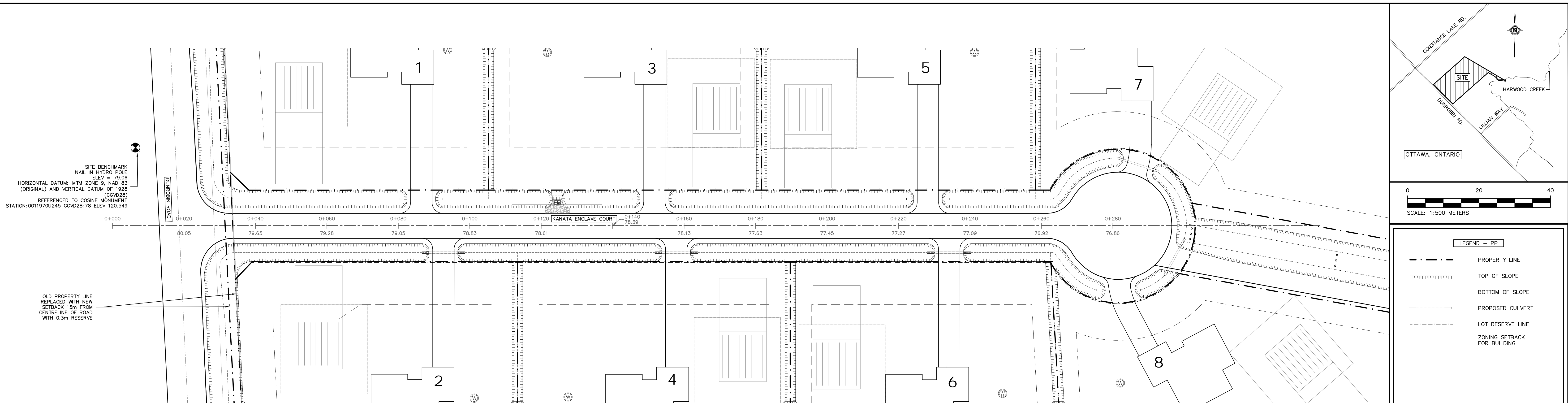
**Material Layers (from top to bottom):**

- 40mm HL3
- 50mm HL8
- 150mm GRAN A
- 400mm GRAN B TYPE II
- 150mm Ø PERFORATED ROAD SUBDRAIN
- HL4 COARSE AGGREGATE BEDDING AND BACKFILL
- GEOTEXTILE FILER CLOTH

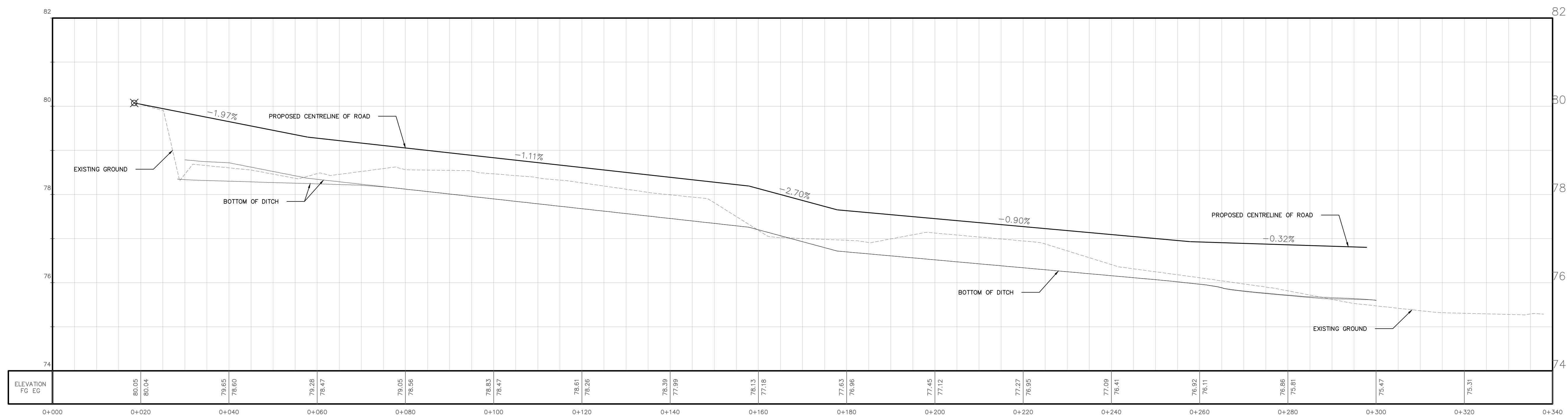
**Other Labels:**

- STREET LIGHT LOCATION
- EDGE OF PAVEMENT
- EDGE OF SHOULDER
- DITCH
- E/R.O.W.
- JUT (Joint Utility Trench)
- 0.10 TOPSOIL
- 3:1 (Slope Ratio)
- 2% (Slope)

02-02-22-0018



KANATA ENCLAVE COURT PLAN  
SCALE = 1:500(H) 1:50(V)



KANATA ENCLAVE COURT PROFILE  
SCALE = 1:500(H) 1:50(V)

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CONSULTANTS

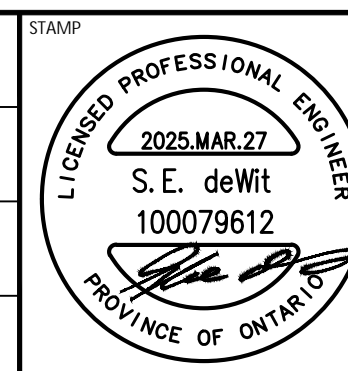


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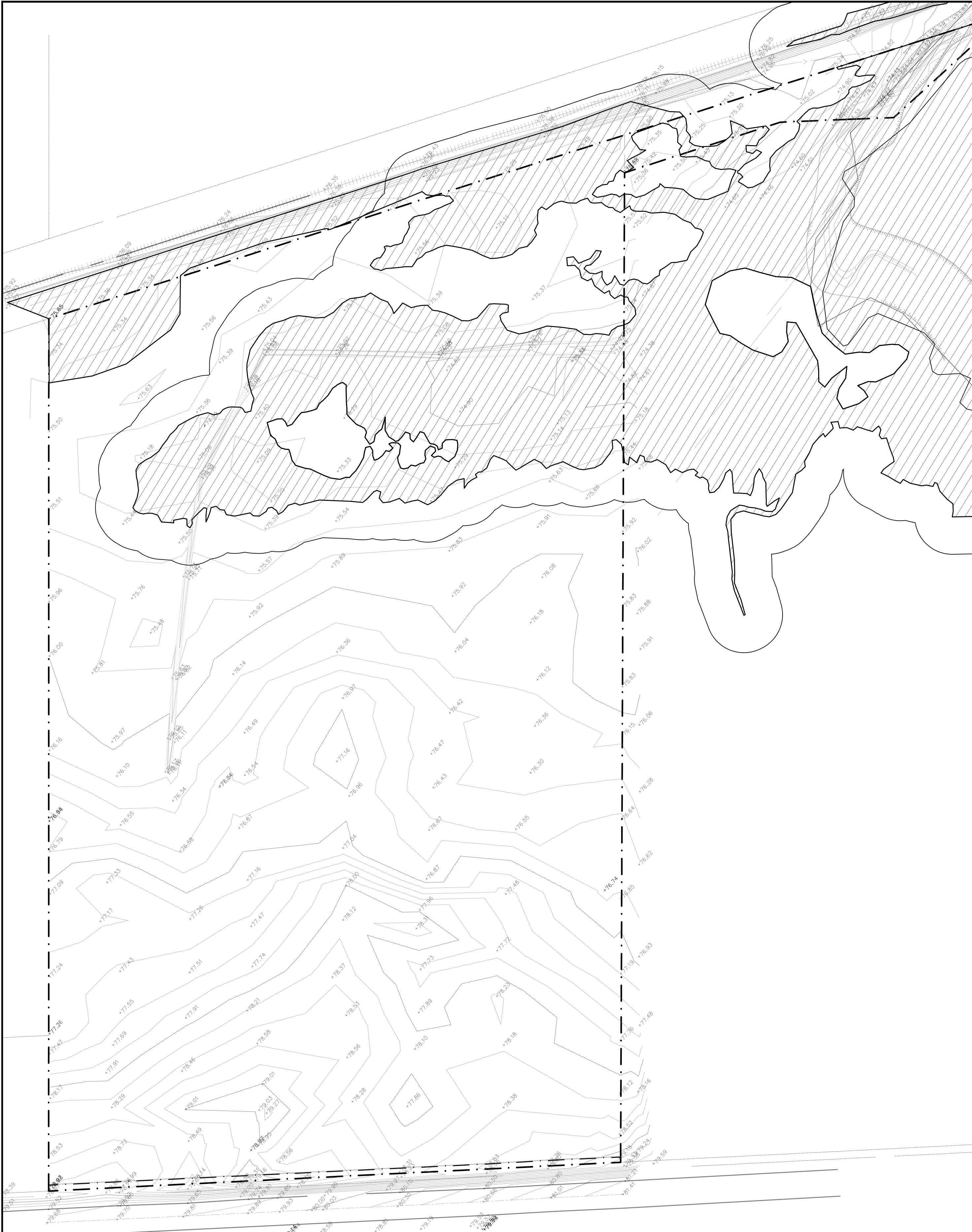
(613) 860-0923

DESIGN	AJ/SD
DRAWN	AJ
CHECKED	SD
APPROVED	SD

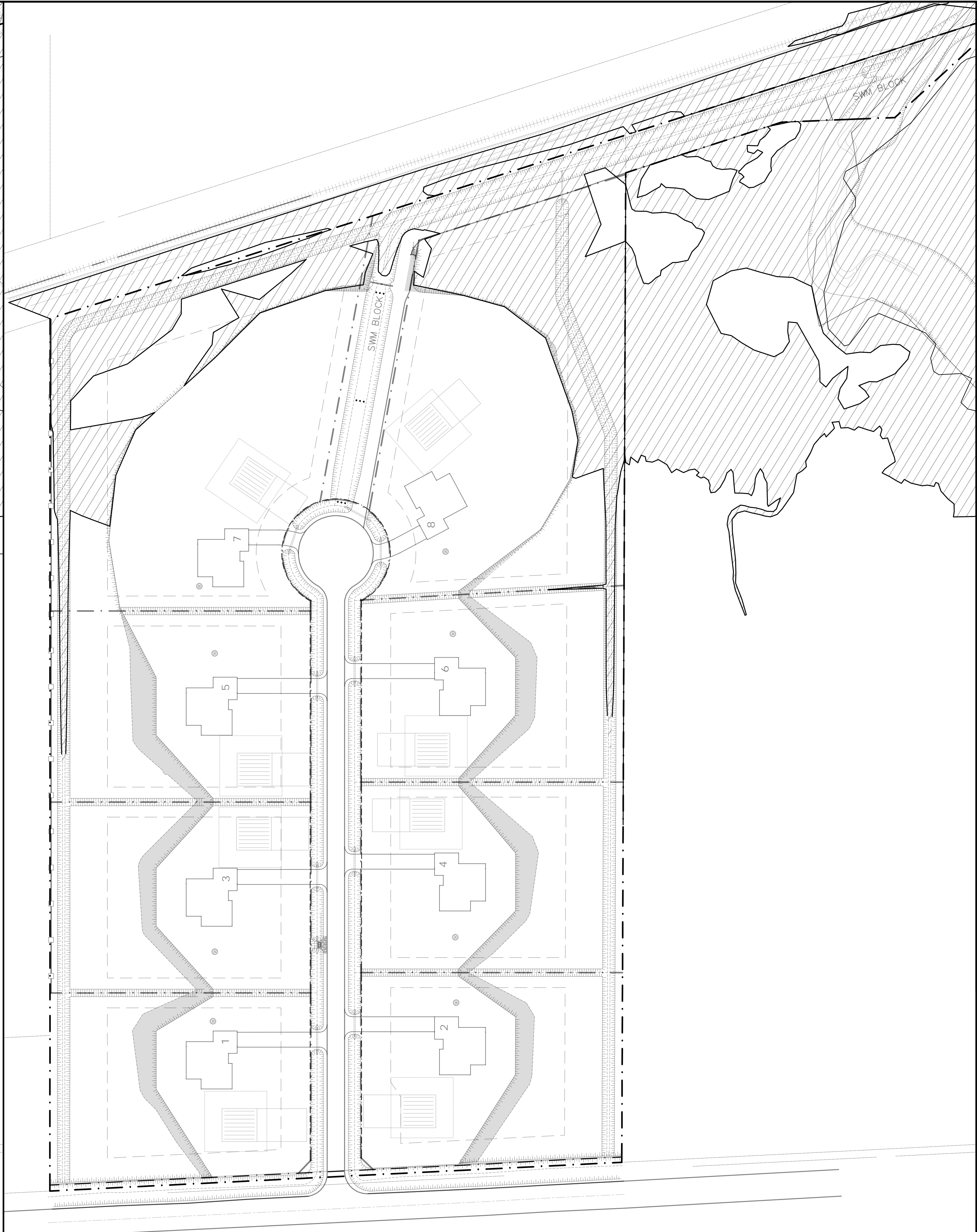


CLIENT NAME	ZBIGNIEW HAUDEROWICZ	PROJECT No.	200977
PROJECT NAME	PROPOSED RESIDENTIAL SUBDIVISION	DATE	2024/12/10
PROJECT LOCATION	2050 DUNROBIN ROAD OTTAWA, ONTARIO	SCALE	1:500
DRAWING	PLAN AND PROFILE	DRAWING No.	PP

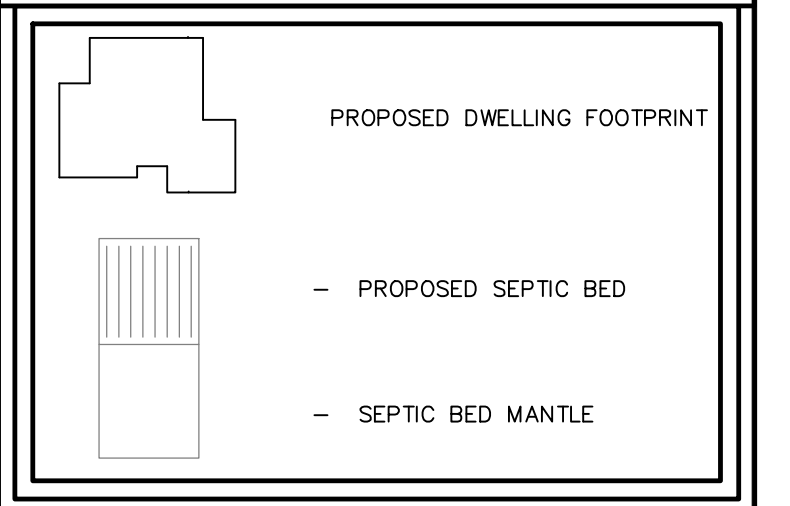
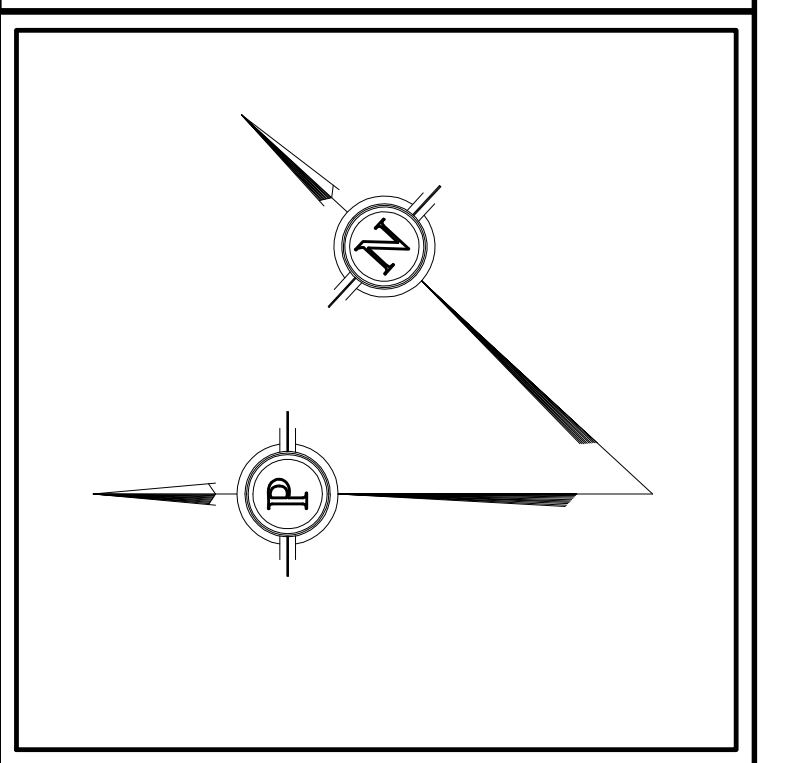
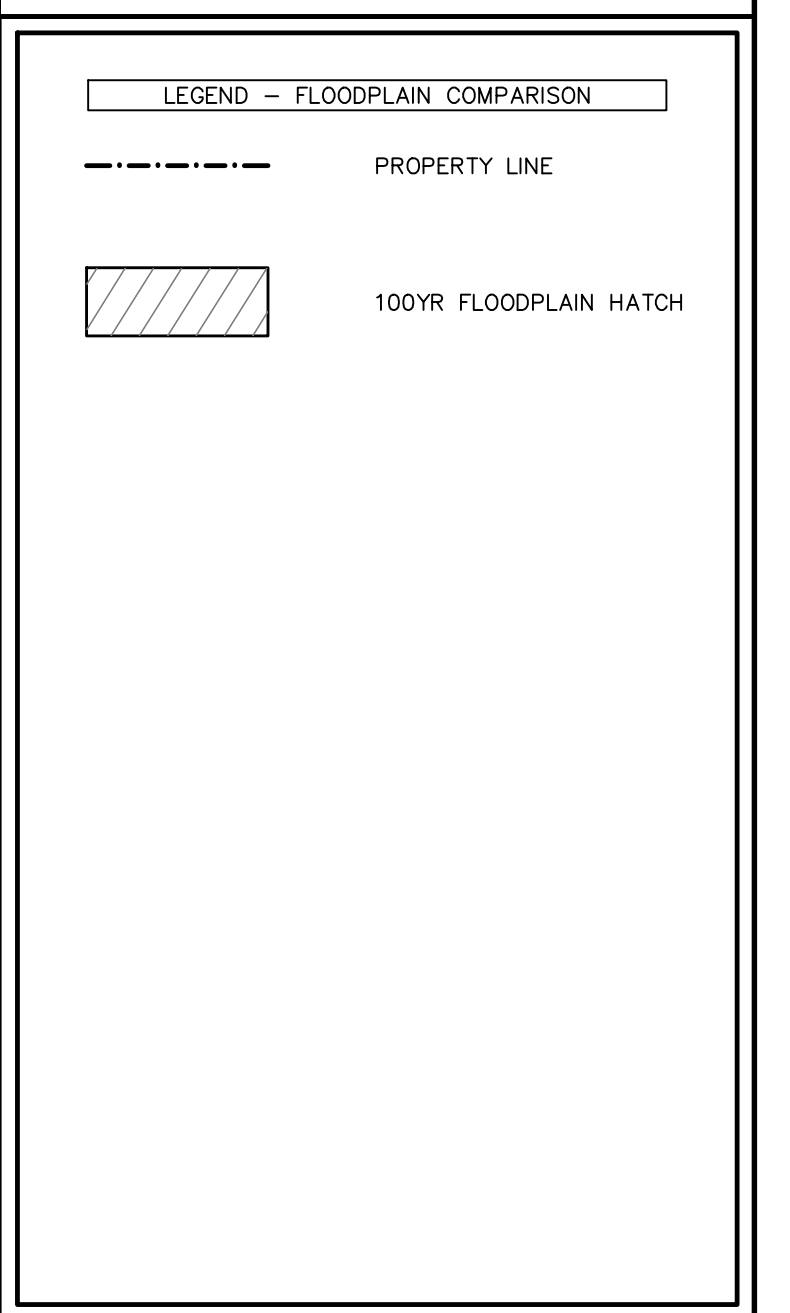
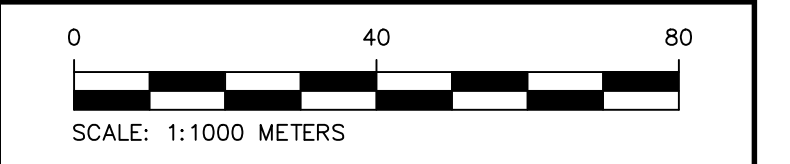
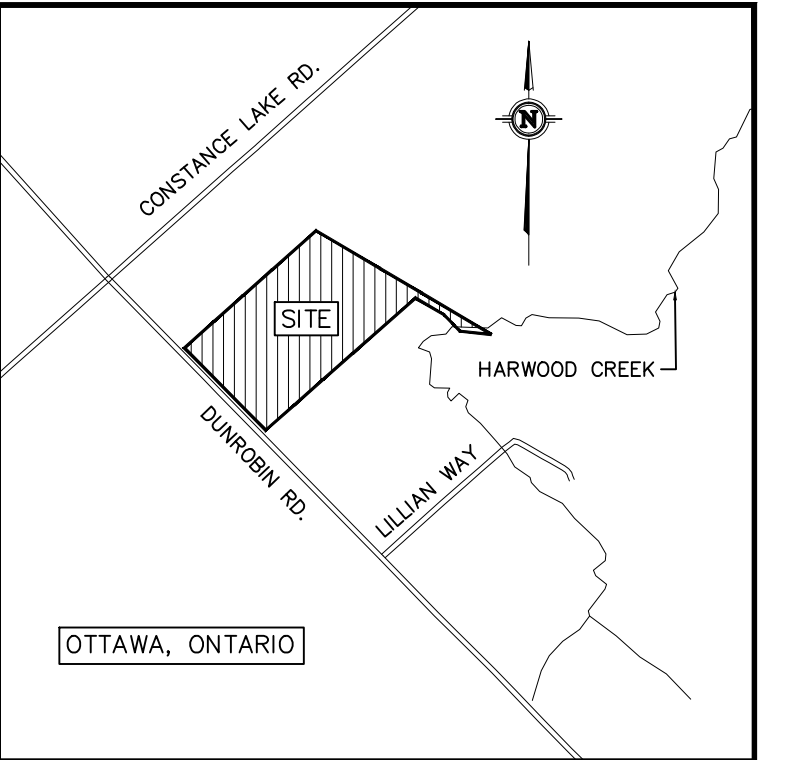




PRE-DEVELOPMENT 100YR FLOODPLAIN  
SCALE = 1:1000



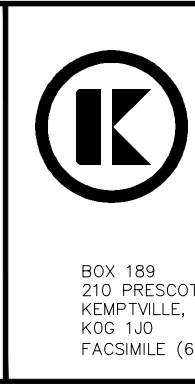
POST-DEVELOPMENT 100YR FLOODPLAIN  
SCALE = 1:1000



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No.	REVISION	DATE	BY				

4.	RESPONSE TO 5TH COMMENTS	2025.MAR.27	SD				
3.	RESPONSE TO 4TH COMMENTS	2024.DEC.10	SD				
2.	PARTIAL RESPONSE TO 4TH COMMENTS	2024.SEP.10	SD				
1.	RESPONSE TO SECOND REVIEW COMMENTS	2024.APR.19	SD				
No.	REVISION	DATE	BY				

CONSULTANTS							



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Engineers

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DESIGN  
A.J./SD

DRAWN  
A.J.

CHECKED  
SD

APPROVED  
SD

CLIENT NAME  
ZBIGNIEW HAUDEROWCZ

PROJECT NAME  
PROPOSED RESIDENTIAL SUBDIVISION

PROJECT LOCATION  
2050 DUNROBIN ROAD OTTAWA, ONTARIO

DRAWING  
FLOODPLAIN COMPARISON

PROJECT No.  
200977

DATE  
2024/12/10

SCALE  
1:1000

DRAWING No.  
FP

