

DRAWING LEGEND	
	SUBJECT SITE
	ZONING BOUNDARY
	LOT LINE
	ZONING SETBACK
	EASEMENT
	RAILWAY SETBACK
	TOP OF STABLE SLOPE
	TOE EROSION SETBACK
	ACCESS ALLOWANCE & WATERCOURSE SETBACK
	FUTURE ROAD EXPANSION
	OVERHEAD WIRES
	UTILITY POLE
	FIRE HYDRANT
	TOP OF SLOPE
	BOTTOM OF SLOPE
	NEW CHAIN LINK FENCE
	BUILDABLE AREA
	LANDSCAPED AREA
	FLOOD PLAIN LIMIT
	NEW PRIVATE ROAD
	NEW 20'x12' DECK
	NEW SINGLE DETACHED HOUSE (House size depicted for illustration purposes only.)
	EXAMPLE OF FUTURE 2 STOREY SINGLE DETACHED DWELLING 1500 FT ² + GARAGE + 18'x10' DECK OUTSIDE WATER COURSE SETBACK (OR 2400 SQ.FT. OVER 3 STORIES)
	SNOW STORAGE
	DWELLING UNIT MAIN ENTRY (Entrance depicted for illustration purposes only.)
	LIGHT POST
	EXISTING TREES
	EXISTING HEDGE
	NEW TREE

PROPOSED ZONING - R3(B1XXXX) PUD (ONE LOT FOR ZONING PURPOSES) - No Variances Required					
REQUIRED PROVISIONS					
Minimum Lot Width(m)	Minimum Lot Area (m ²)	Maximum Building Height (m)	Minimum Front Yard Setback (m)	Minimum Corner Side Yard Setback (m)	Minimum Rear Yard Setback (m)
N/A	1400	(10,540.8 provided)	3.0	N/A	7.5m *
As per dwelling type					
Detached, Duplex, Semi-Detached and Townhouse: 10m					
or 11m if a bldg has a peaked roof 4/12 or steeper					
Three Unit: 10.7m					

LOT AREA	BUILDABLE AREA
LOT 1	1163m ² 130m ² (1400 ft ²)
LOT 2	2795m ² 311m ² (3355 ft ²)
LOT 3	887.9m ² 291m ² (3135 ft ²)
LOT 4	952.9m ² 431m ² (4635 ft ²)
LOT 5	965.5m ² 430m ² (4625 ft ²)
LOT 6	971.8m ² 416m ² (4480 ft ²)
LOT 7	924m ² 254m ² (2730 ft ²)
LOT 8	895.9m ² Storm Water Management
LOT 9	748.9m ² Future Street Widening
LOT 10	12.9m ² Future Street Widening
LOT 11	984.8m ² Private Road & Common Elements

Survey Info
 Surveys completed by Farley, Smith & Denis Surveying Limited on December 10, 2020 and July 11, 2022 which were revised on November 24, 2022. Updated property boundaries and topographic info is taken from R-PLAN 404 by Farley, Smith & Denis Surveying Limited on June 13, 2023.

no.	date	revision
5	2025-02-14	REVISED SUBMISSION
4	2024-07-16	REVISED SUBMISSION
3	2023-12-20	REVISED SUBMISSION
2	2023-06-29	ISSUED FOR PLAN OF SUBDIVISION
1	2023-06-29	ISSUED FOR ZONING BYLAW AMENDMENT



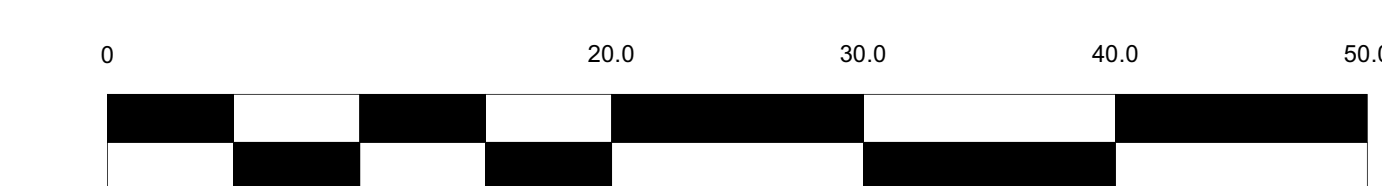
GENERAL NOTES
 1. Contractor must verify dimensions and conditions on site before proceeding with any portion of this work.
 2. Do not scale from drawings.
 3. All work to comply with the Ontario Building Code and municipal regulations.
 4. This drawing to be read in conjunction with all material relevant to this project.

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scale	1:300
job no.	2112
project	2009 / 2013 Prince of Wales Ottawa, ON
date	February 14, 2025
drawing	CONCEPT SITE PLAN
designed	JT, ED
drawn	ED, IC, AH
checked	JT, ED
dwg no.	A101

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A101
CONCEPT SITE PLAN



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