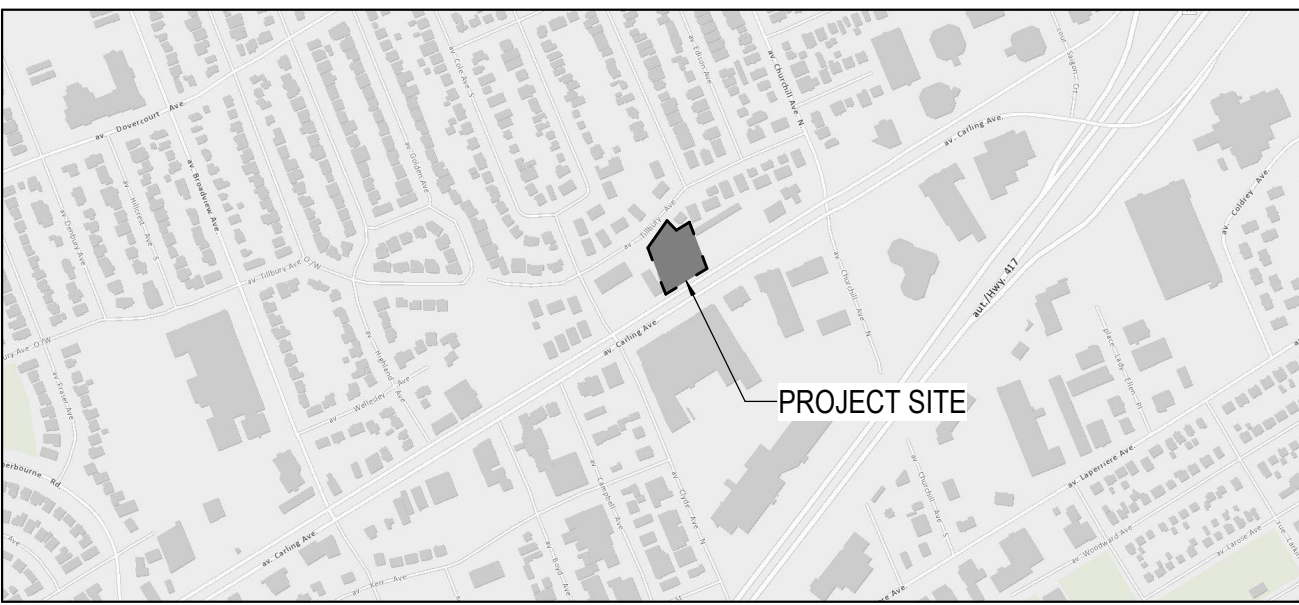


1 SITE PLAN
SP-01 SCALE: 1 : 200



2 LOCATION PLAN
SP-01 SCALE: NTS

SITE PLAN SYMBOLS LEGEND

	BUILDING ENTRANCE		FIRE DEPARTMENT CONNECTION
	BUILDING EXIT		FIRE HYDRANT
	BICYCLE PARKING		FIRE HYDRANT TO BE RELOCATED
	PROPERTY LINE		EXISTING UTILITY POLE TO REMAIN
	SETBACK LINE		EXISTING TOPOGRAPHY
	PAVERS		

TOPOGRAPHIC PLAN OF SURVEY OF
PART OF LOT 2
REGISTERED PLAN 492
AND
PART OF BLOCK 4
REGISTERED PLAN 310595
GEOGRAPHIC TOWNSHIP OF NEPEAN
CITY OF OTTAWA
STANTEC GEOMATICS LTD. 2023

SURVEY INFO
SCALE: 1 : 200

SITE PLAN NOTES

- ASPHALT
- EXISTING STRUCTURE TO BE DEMOLISHED
- CONCRETE SIDEWALK
- REFER TO LANDSCAPE
- DEPRESSED CURB
- EXISTING RETAINING WALL
- 2m HIGH WOOD PRIVACY FENCE
- CANOPY/BUILDING ABOVE
- CONCRETE
- RAILING AROUND PARKING RAMP PERIMETER
- REFER TO LANDSCAPE
- PRIVATE TERRACE
- CURB RAMP
- ASPHALT CYCLE TRACK

OWNER
INSIDE EDGE PROPERTIES
464 BANK STREET, SUITE 200
OTTAWA, ON, K2P 1Z3

ARCHITECT
PROJECT1 STUDIO
260 ST. PATRICK ST, SUITE 300
OTTAWA, ON, K1N 5K5

PLANNER
FOTENN PLANNING + DESIGN
396 COOPER ST SUITE, SUITE 300
OTTAWA, ON, K2P 2H7

CIVIL ENGINEER
LRL ENGINEERING
5430 CANOTEK RD
OTTAWA, ON, K1J 9G2

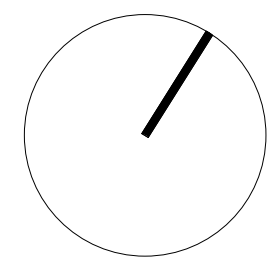
SURVEYOR
STANTEC GEOMATICS LTD.
1331 CLYDE AVENUE, SUITE 300
OTTAWA, ON, K2C 0A9

LANDSCAPE ARCHITECT
GJA INC
110 DIDSBURY ROAD, UNIT 9
OTTAWA, ON, K2T0C2

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1	ISSUED FOR COORDINATION	2023-10-30

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2213	NOTED	JH/BH	RMK

SITE PLAN

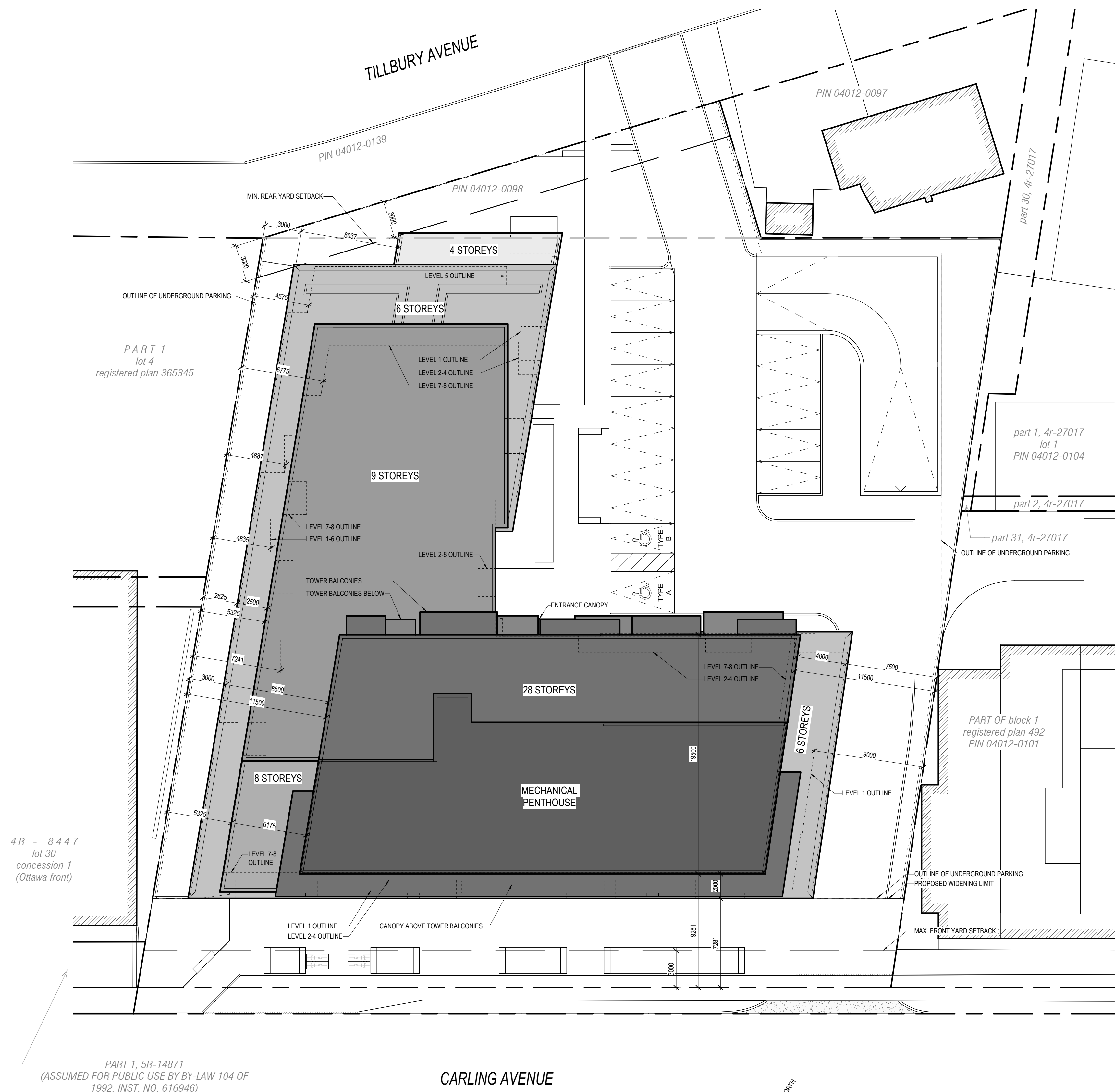
SP-01

UNIT COUNT																														
NAME	LVL 01	LVL 02	LVL 03	LVL 04	LVL 05	LVL 06	LVL 07	LVL 08	LVL 09	LVL 10	LVL 11	LVL 12	LVL 13	LVL 14	LVL 15	LVL 16	LVL 17	LVL 18	LVL 19	LVL 20	LVL 21	LVL 22	LVL 23	LVL 24	LVL 25	LVL 26	LVL 27	LVL 28	TOTAL COUNT	PERCENTAGE
1-BED	3	6	6	6	6	6	8	8	7	5	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	133	36%
1-BED + DEN	3	7	7	7	7	7	5	5	5	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	72	19%
2-BED	2	5	5	5	6	6	5	5	4	3	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	136	37%
2-BED + DEN	1	1	1	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	4	1%
STUDIO	0	5	5	5	5	5	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	25	7%
TOTAL	9	24	24	24	24	24	18	18	16	9	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	370	100%

RETAIL UNIT COUNT			
NUMBER	UNIT TYPE	AREA	AREA (SF)
R1	RETAIL UNIT 1	90.52 m²	974 SF
R2	RETAIL UNIT 2	92.17 m²	992 SF
R3	RETAIL UNIT 3	80.22 m²	864 SF
R4	RETAIL UNIT 4	94.40 m²	1016 SF
TOTAL		357.32 m²	3846 SF

PARKING SCH. (VEHICLE)	
TYPE	COUNT
RESIDENT	152
RETAIL/DROP-OFF AT-GRADE	15
VISITOR	36
TOTAL	203

PARKING SCH. (BICYCLE)	
LEVEL	COUNT
LEVEL P1	222
AVG. PROPOSED GRADE	4
LEVEL 01	146
TOTAL	374



1 SITE SETBACK PLAN
SP-02 SCALE: 1 : 200

Site Statistics		
Current Zoning Designation:	AM10	
Lot Width:	61.45m	
Total Lot Area:	3949.9m²	
Average Existing Grade:	77.62m	
Gross Floor Area:	27336.48m²	
Building Area	1628.99m²	
Floor Space Index:	6.92	
Proposed Development - 28 Storey High-Rise Apartment Building		
No. of units 370 Units		
Zoning Mechanism	Required	Provided
Minimum Lot Area Table 185 (a)	No Minimum	3949.9m²
Minimum Lot Width Table 185 (b)	No Minimum	61.45m
Min. Front Yard Setback Table 185 (c)(i)	No Minimum	7.3m
Max. Front Yard Setback Section 185 (10)(b)(i)	3m	7.3m
Corner Side Yard Setback Table 185 (c)(i)	No Minimum	-
Min. Rear Yard Setback Table 185 (d)(i)	3m	3m
Min. Interior Side Yard Setback Table 185 (d)(i)	No Minimum	7.5m (East) 3m (West)
Maximum Building Height Section 185 (10)(j)	≤20m from a rear lot abutting a R1, R2, R3 : 11m >20m-30m from a rear lot abutting a R1, R2, R3, R4 : 20m Otherwise: 30m	28.7m 28.7m 86.0m
Total Amenity Area Table 137(5)(ii)	2220m² 6m² / unit for 370 units	4619m²
Communal Amenity Area Table 137(5)(iii)	1110m² Min. 50% of Total Amenity Area	1124m²
Parking Requirements (Residential)		
Minimum Parking Spaces 101 (Sch. 1A - Area Y)	161 Spaces 0 spaces for first 12 units - Section 101(4)(b) 0.5 spaces / unit for 358 units - Table 101(R15)(ii) - 10% Section 101(8)(c)	152 Spaces
Minimum Visitor Parking Spaces 101 (Sch. 1A - Area Y)	36 Spaces 0 spaces for first 12 units - Section 102(2) 0.1 spaces / unit for 358 units - Table 102(ii)	36 Spaces
Parking Requirements (Retail)		
Minimum Parking Spaces 101 (Sch. 1A - Area Y)	0 Spaces Section 101(4)(d)	15 Spaces
Bicycle Parking Rates		
Minimum Bicycle Parking Spaces (Residents) Table 111A (Sch. 1 - Area B)	186 Spaces 0.5 spaces / unit for 370 units(1114)(b)(ii)	370 Spaces
Minimum Bicycle Parking Spaces (Retail) Table 111A (Sch. 1 - Area B)	2 Spaces 1 space / 250m² x 368m² (1114)(e)	4 Spaces

AMENITY SCHEDULE (COMMUNAL)			
LEVEL	NAME	AREA	AREA (SF)
LEVEL 01	AMENITY - SHARED WORKSPACE	87.41 m²	941 SF
LEVEL 01	EXT. AMENITY AREA	404.26 m²	4351 SF
LEVEL 09	LEVEL 9 AMENITY ROOM	77.92 m²	839 SF
LEVEL 09	LEVEL 9 TERRACE (AMENITY)	78.29 m²	843 SF
LEVEL 10	LEVEL 10 TERRACE (AMENITY)	380.85 m²	4099 SF
LEVEL 10	LEVEL 10 AMENITY ROOM	90.24 m²	971 SF
TOTAL		1116.96 m²	12045 SF

AMENITY SCHEDULE (PRIVATE)		
LEVEL	AREA	AREA (SF)
LEVEL 01	49.37 m²	531 SF
LEVEL 02	96.96 m²	1044 SF
LEVEL 03	101.32 m²	1091 SF
LEVEL 04	101.32 m²	1091 SF
LEVEL 05	132.18 m²	1423 SF
LEVEL 06	101.13 m²	1089 SF
LEVEL 07	228.95 m²	2464 SF
LEVEL 08	117.02 m²	1260 SF
LEVEL 09	130.38 m²	1403 SF
LEVEL 10	114.21 m²	1229 SF
LEVEL 11	130.21 m²	1402 SF
LEVEL 12	131.85 m²	1419 SF
LEVEL 13	125.95 m²	1356 SF
LEVEL 14	128.31 m²	1381 SF
LEVEL 15	131.85 m²	1419 SF
LEVEL 16	127.85 m²	1376 SF
LEVEL 17	128.31 m²	1381 SF
LEVEL 18	131.85 m²	1419 SF
LEVEL 19	128.31 m²	1381 SF
LEVEL 20	127.85 m²	1376 SF
LEVEL 21	130.21 m²	1402 SF
LEVEL 22	125.95 m²	1356 SF
LEVEL 23	131.85 m²	1419 SF
LEVEL 24	128.31 m²	1381 SF
LEVEL 25	127.85 m²	1376 SF
LEVEL 26	131.85 m²	1419 SF
LEVEL 27	125.95 m²	1356 SF
LEVEL 28	128.31 m²	1381 SF
TOTAL	3485.48 m²	37625 SF

RENTABLE AREA (RESIDENTIAL)			
LEVEL	AREA	AREA (SF)	TOTAL
LEVEL 01	591.76 m²	6370 SF	9
LEVEL 02	1439.11 m²	15490 SF	24
LEVEL 03	1439.11 m²	15490 SF	24
LEVEL 04	1439.11 m²	15490 SF	24
LEVEL 05	1405.80 m²	15132 SF	24
LEVEL 06	1405.80 m²	15132 SF	24
LEVEL 07	1053.94 m²	11346 SF	18
LEVEL 08	1053.94 m²	11346 SF	18
LEVEL 09	936.22 m²	10077 SF	16
LEVEL 10	557.69 m²	6003 SF	9
LEVEL 11	655.12 m²	7052 SF	10
LEVEL 12	655.12 m²	7052 SF	10
LEVEL 13	655.12 m²	7052 SF	10
LEVEL 14	655.12 m²	7052 SF	10
LEVEL 15	655.12 m²	7052 SF	10
LEVEL 16	655.12 m²	7052 SF	10
LEVEL 17	655.12 m²	7052 SF	10
LEVEL 18	655.12 m²	7052 SF	10
LEVEL 19	655.12 m²	7052 SF	10
LEVEL 20	655.12 m²	7052 SF	10
LEVEL 21	655.12 m²	7052 SF	10
LEVEL 22	655.12 m²	7052 SF	10
LEVEL 23	655.12 m²	7052 SF	10
LEVEL 24	655.12 m²	7052 SF	10
LEVEL 25	655.12 m²	7052 SF	10
LEVEL 26	655.12 m²	7052 SF	10
LEVEL 27	655.12 m²	7052 SF	10
LEVEL 28	655.12 m²	7052 SF	10
TOTAL	23114.67 m²	246894 SF	370

GROSS FLOOR AREA (OBC)		
LEVEL	AREA	AREA (SF)
LEVEL 01	1628.99 m²	17534 SF
LEVEL 02	1626.46 m²	17507 SF
LEVEL 03	1626.46 m²	17507 SF
LEVEL 04	1626.46 m²	17507 SF
LEVEL 05	1593.15 m²	17149 SF
LEVEL 06	1593.15 m²	17149 SF
LEVEL 07	1231.48 m²	13256 SF
LEVEL 08	1231.48 m²	13256 SF
LEVEL 09	1187.00 m²	12777 SF
LEVEL 10	736.41 m²	7927 SF
LEVEL 11	736.41 m²	7927 SF
LEVEL 12	736.41 m²	7927 SF
LEVEL 13	736.41 m²	7927 SF
LEVEL 14	736.41 m²	7927 SF
LEVEL 15	736.41 m²	7927 SF
LEVEL 16	736.41 m²	7927 SF
LEVEL 17	736.41 m²	7927 SF
LEVEL 18	736.41 m²	7927 SF
LEVEL 19	736.41 m²	7927 SF
LEVEL 20	736.41 m²	7927 SF
LEVEL 21	736.41 m²	7927 SF
LEVEL 22	736.41 m²	7927 SF
LEVEL 23	736.41 m²	7927 SF
LEVEL 24	736.41 m²	7927 SF
LEVEL 25	736.41 m²	7927 SF
LEVEL 26	736.41 m²	7927 SF
LEVEL 27	736.41 m²	7927 SF
LEVEL 28	736.41 m²	7927 SF
TOTAL	27336.48 m²	294247 SF

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- ISSUED FOR COORDINATION 2024-03-07
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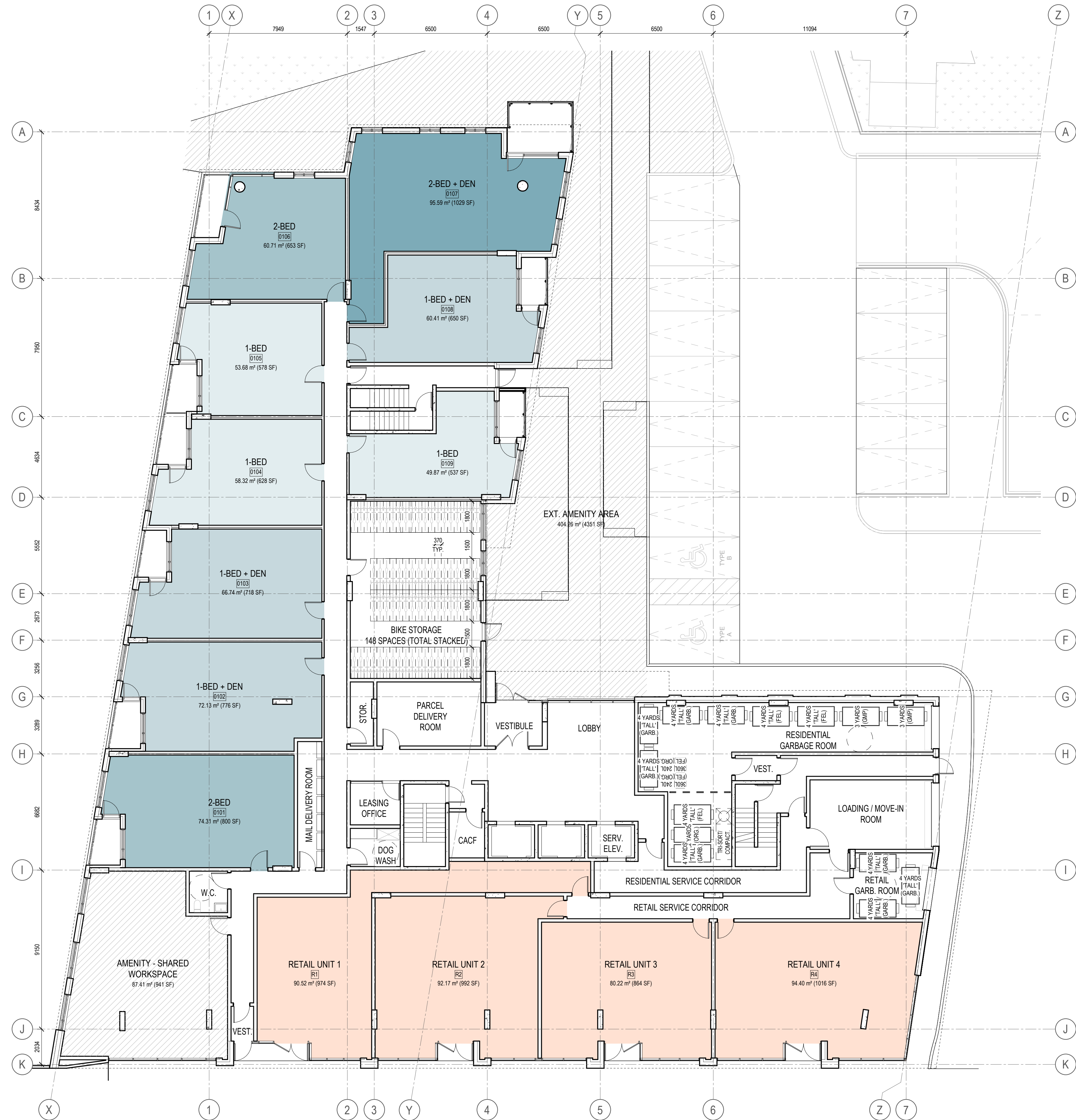
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PROJECT STATISTICS AND
ZONING INFORMATION

SP-02

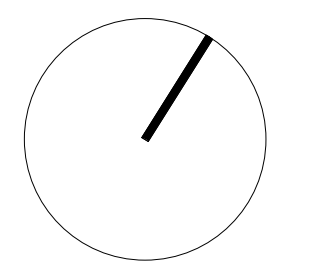



1 FLOOR PLAN - LEVEL 01
A101 SCALE: 1 : 125

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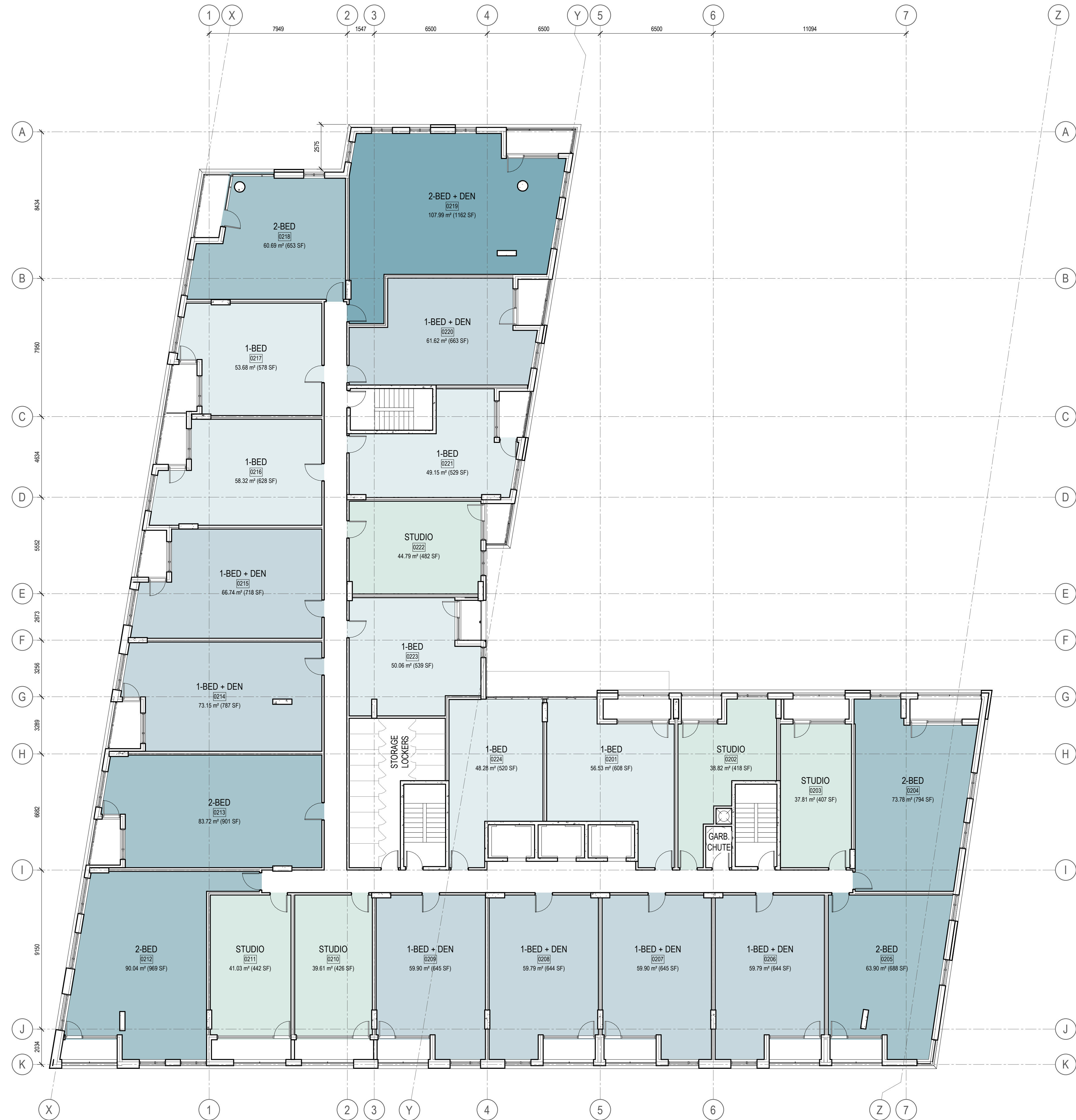


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FLOOR PLAN LEVEL 01
A101

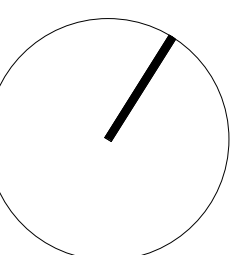



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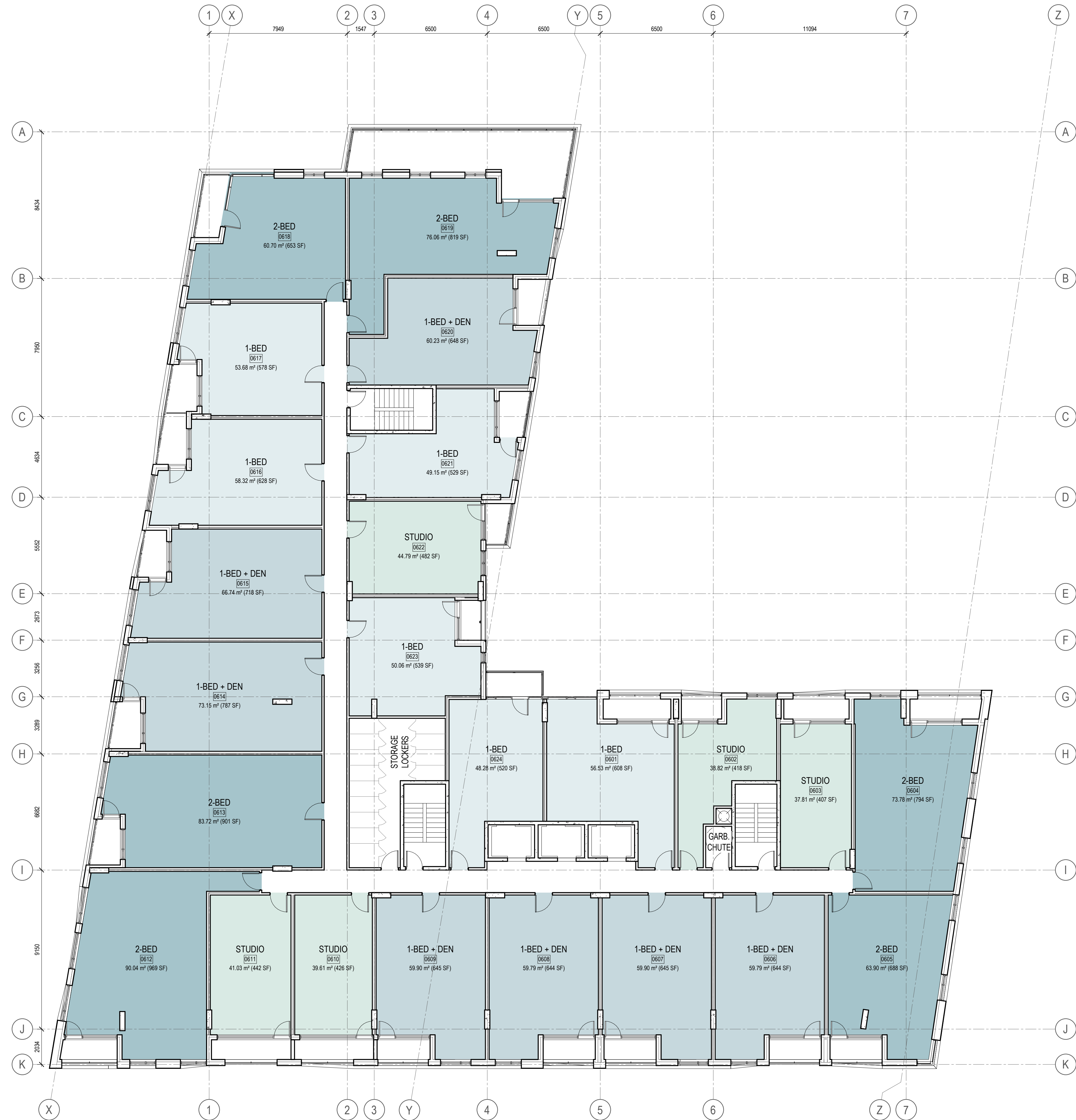
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FLOOR PLAN LEVEL 02-04

A102

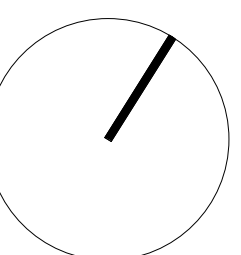



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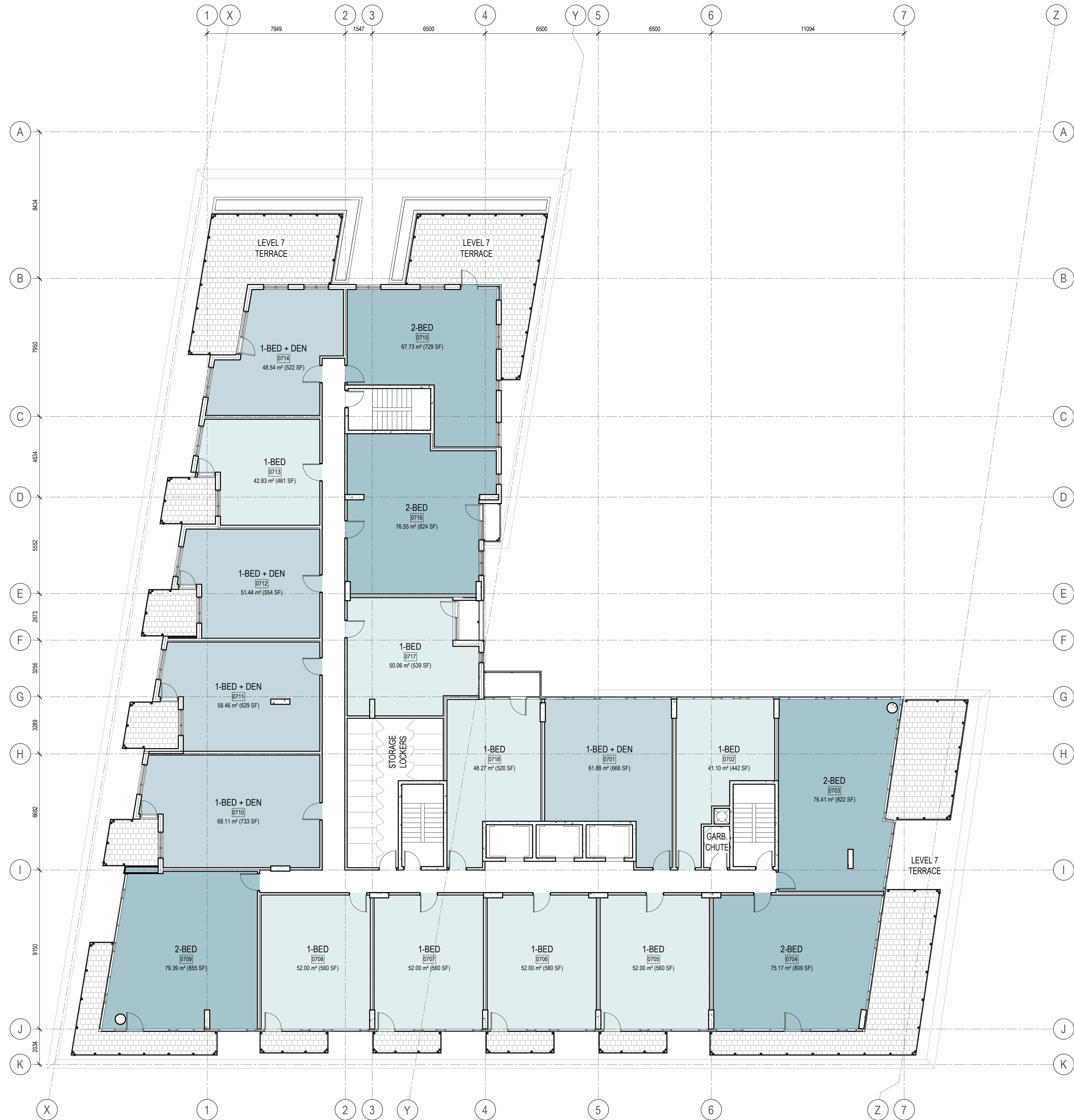
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FLOOR PLAN LEVEL 05-06

A103

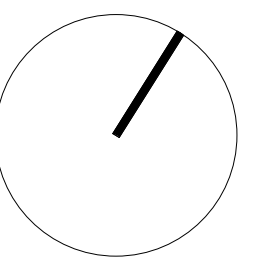


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FLOOR PLAN LEVEL 07-08

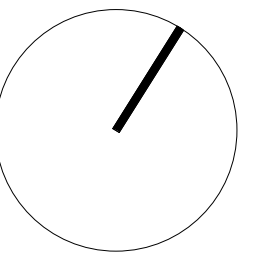


1 FLOOR PLAN - LEVEL 09
A105 SCALE: 1 : 125

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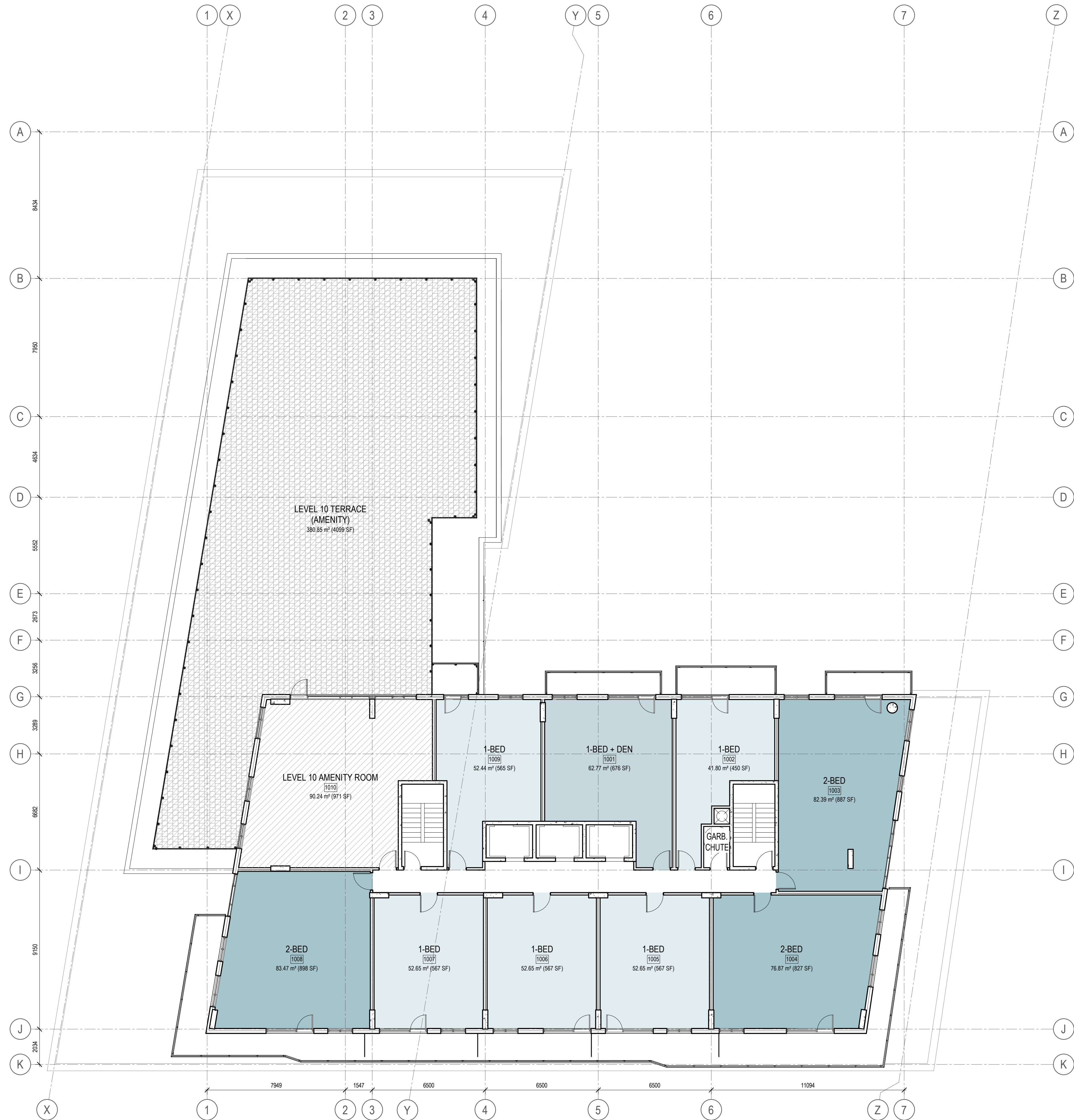
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FLOOR PLAN LEVEL 09

A105



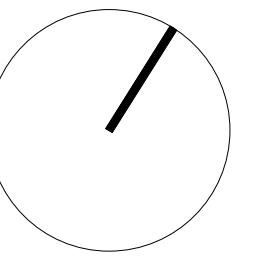
1 FLOOR PLAN - LEVEL 10
A106 SCALE: 1 : 125

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9	REISSUED FOR RE-ZONING	2025-01-14
7	ISSUED FOR COORDINATION	2024-10-01
5	REISSUED FOR RE-ZONING	2024-07-05
4	ISSUED FOR COORDINATION	2024-06-27
3	ISSUED FOR RE-ZONING	2024-05-29
2	ISSUED FOR COORDINATION	2024-03-07
1	ISSUED FOR COORDINATION	2023-10-30

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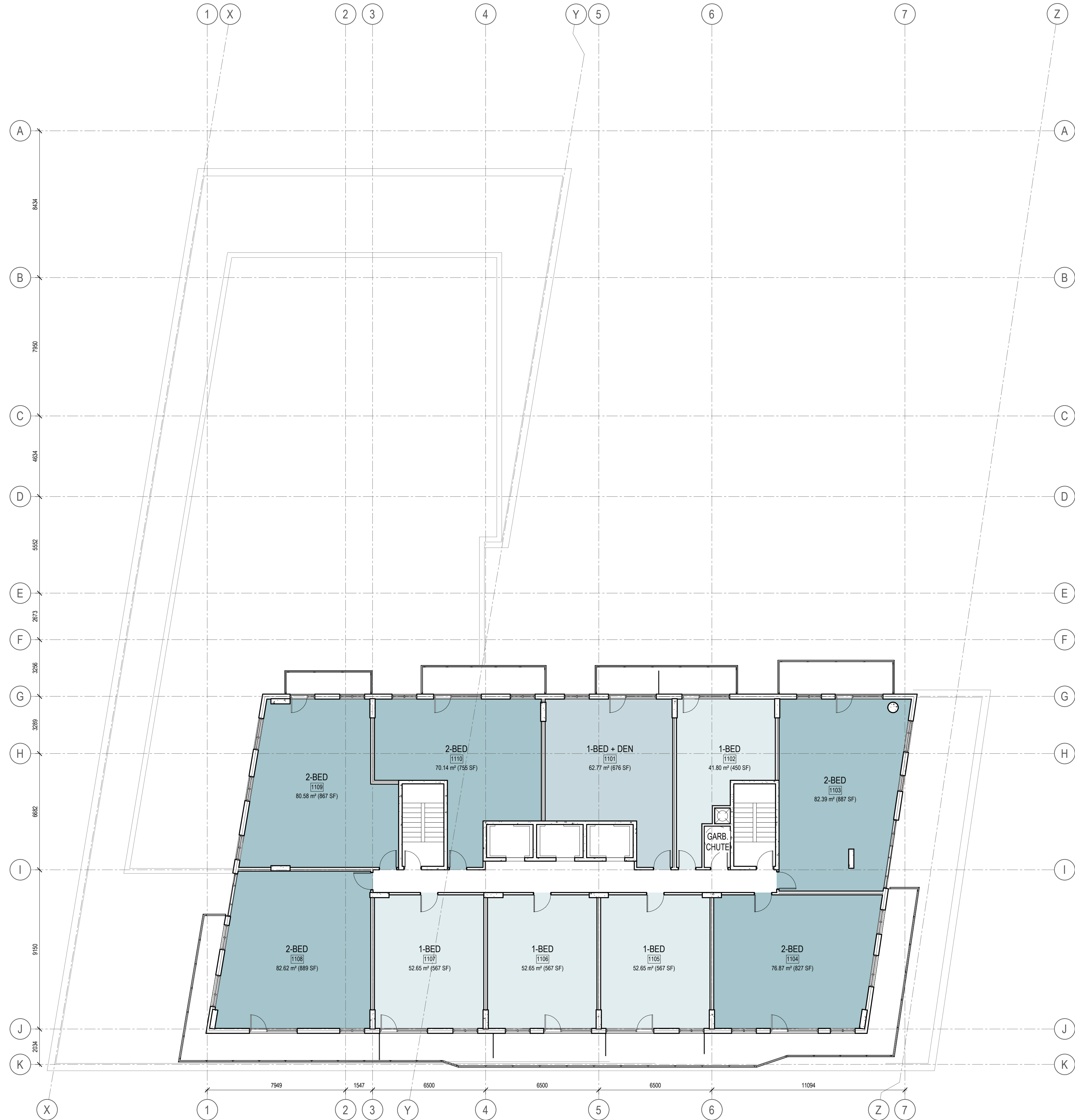
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PROJ	SCALE	DRAWN	REVIEWED
2213	NOTED	JH/BH	RMK

FLOOR PLAN LEVEL 10

A106

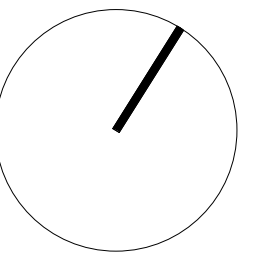


1 FLOOR PLAN - LEVEL 11-28
A107 SCALE: 1 : 125

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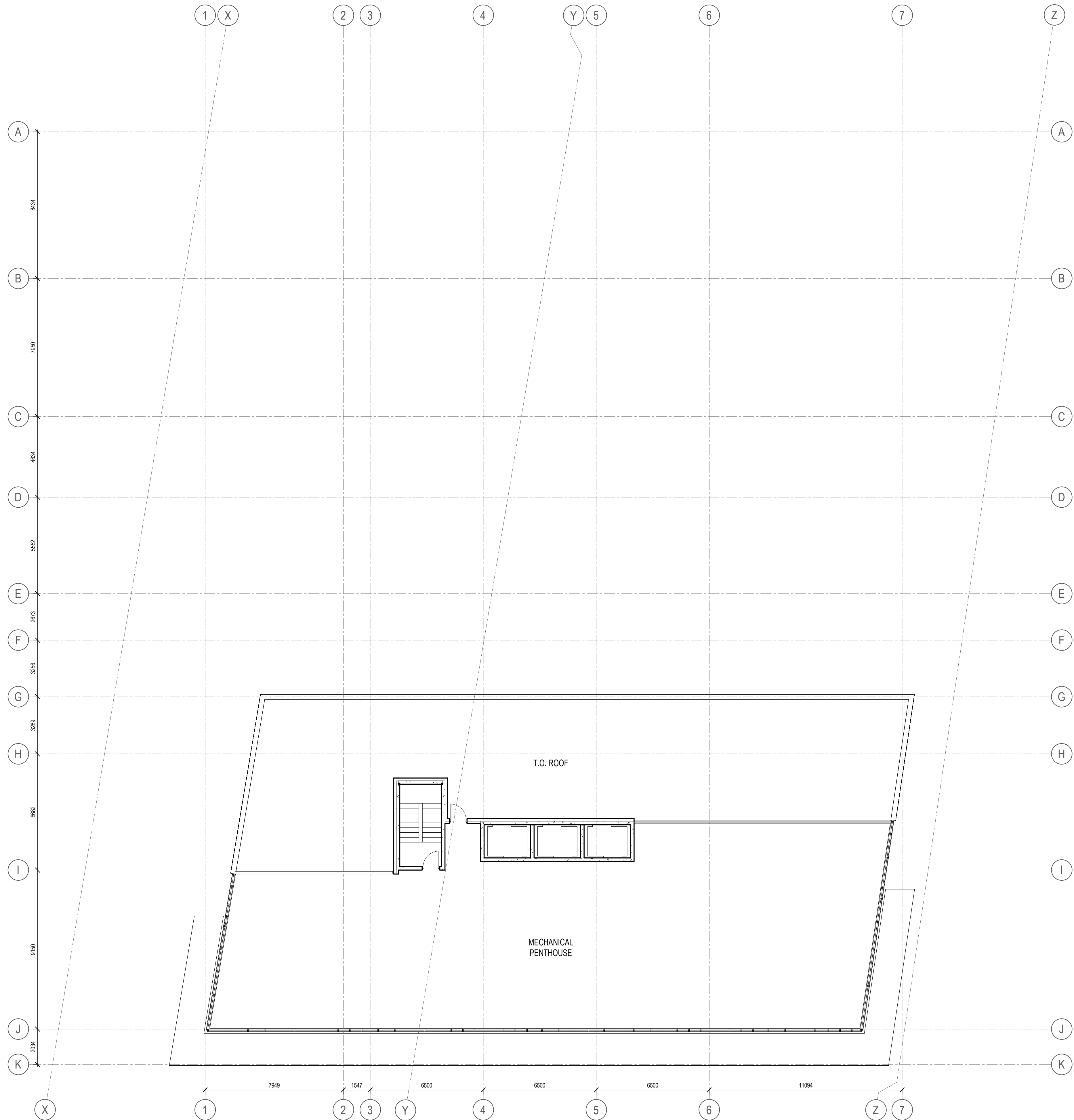
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PROJ	SCALE	DRAWN	REVIEWED
2213	NOTED	JH/BH	RMK

FLOOR PLAN LEVEL 11-28

A107

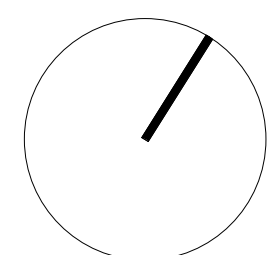



1 ROOF/MECHANICAL PENTHOUSE PLAN
A108 SCALE: 1 : 125

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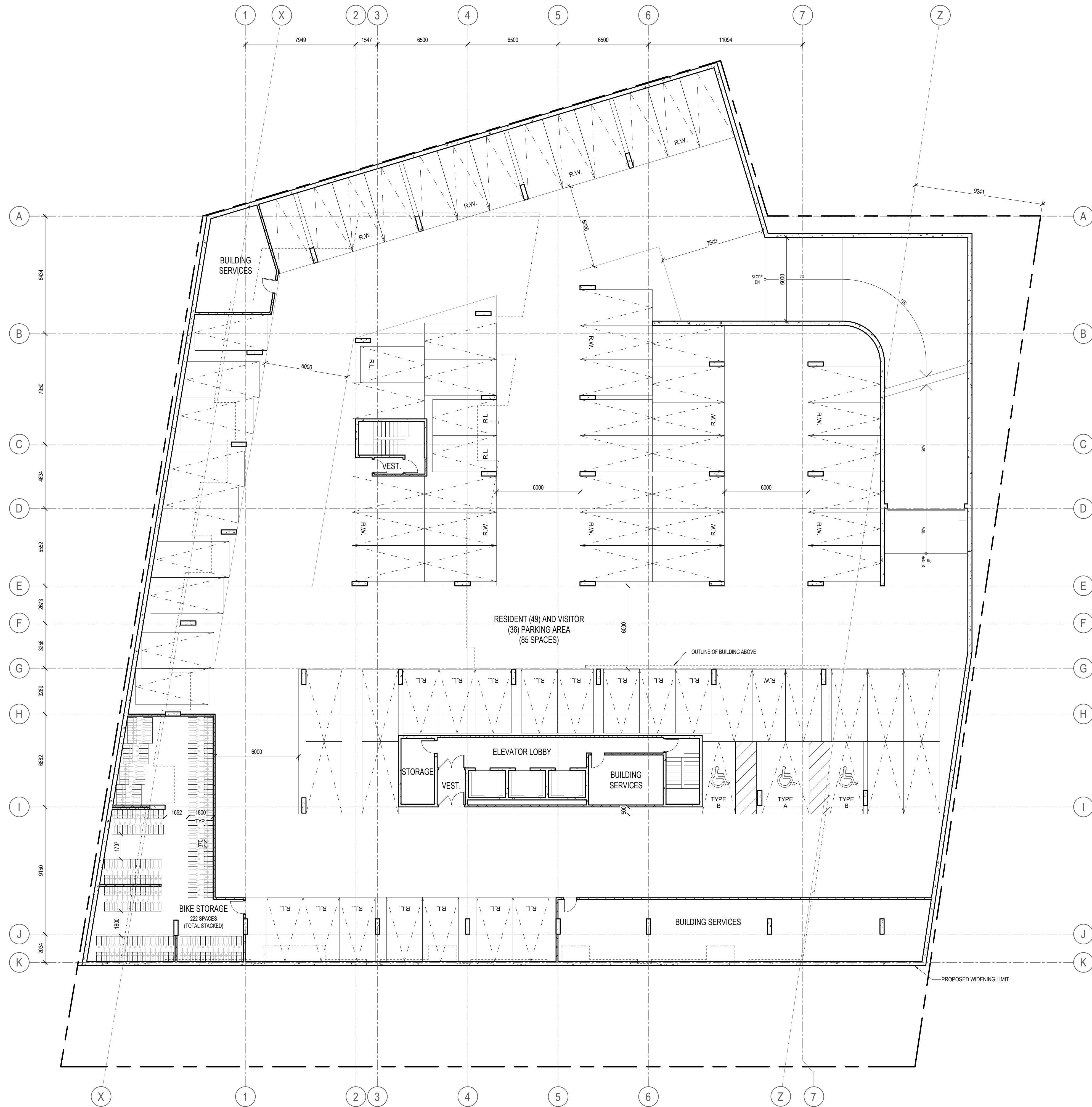
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PROJ	SCALE	DRAWN	REVIEWED
2213	NOTED	JH/BH	RMK

ROOF/MECHANICAL PENTHOUSE PLAN

A108



1 FLOOR PLAN - LEVEL P1
A109 SCALE: 1 : 150

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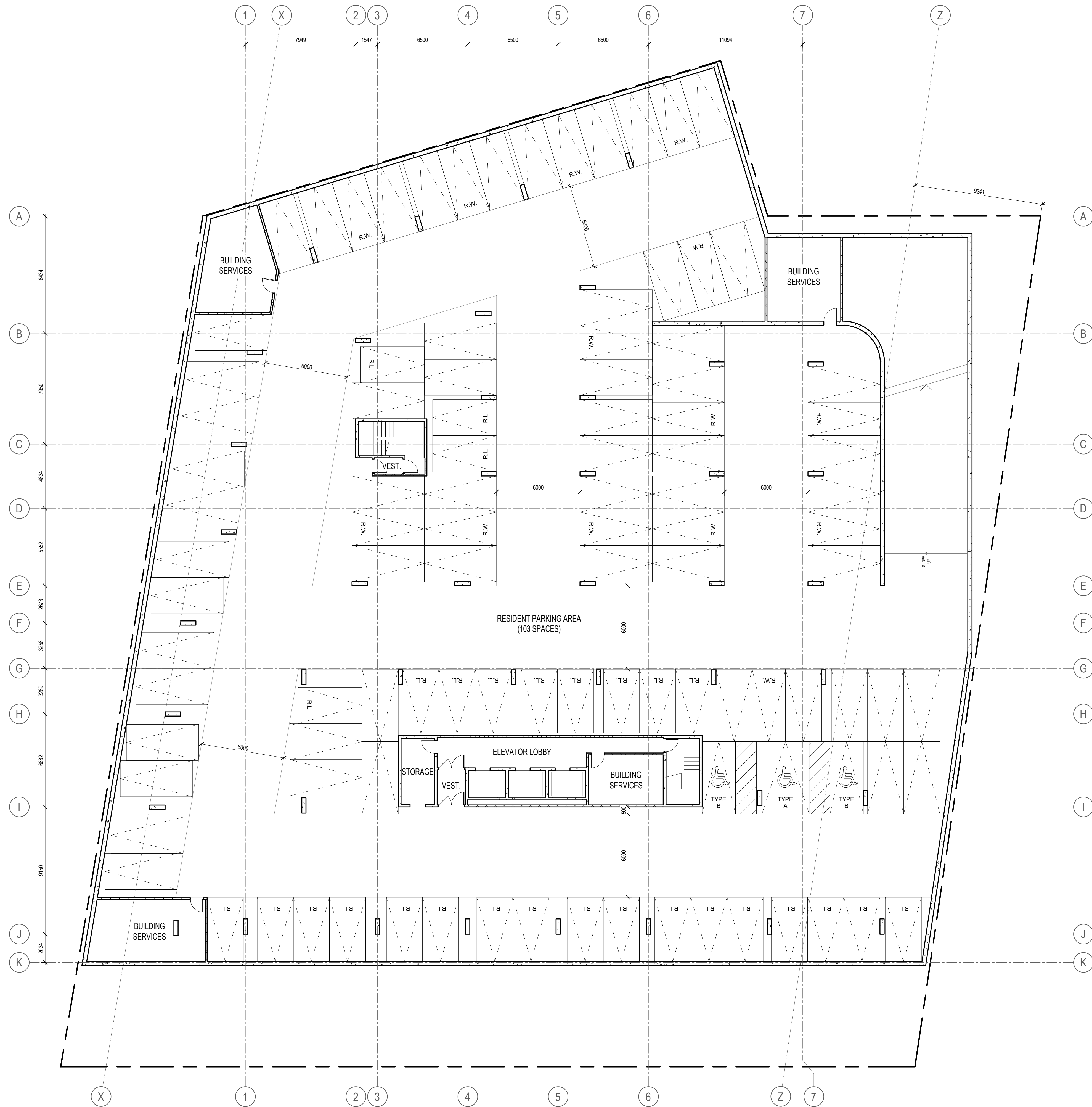
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PROJ	SCALE	DRAWN	REVIEWED
2213	NOTED	JH/BH	RMK

FLOOR PLAN - PARKING
LEVEL P1

A109

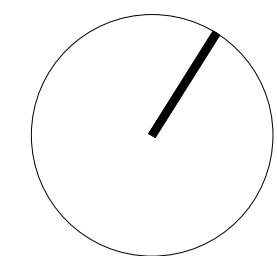


1 FLOOR PLAN - LEVEL P2
A110 SCALE: 1 : 150

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PROJ	SCALE	DRAWN	REVIEWED
2213	NOTED	JH/BH	RMK

FLOOR PLAN - PARKING
LEVEL P2

A110

CLADDING LEGEND:

AL-1

ALUMINUM COMPOSITE PANEL
BLACK

BR-1

BRICK MASONRY
GREY

GL-1

ALUMINUM AND GLASS RAILING

SP-1

CURTAIN WALL SPANDREL PANEL
BLACK

AL-2

ALUMINUM COMPOSITE PANEL
SILVER-BLUE

BR-2

BRICK MASONRY
BLACK

GL-2

ALUMINUM AND FRITTED
GLASS RAILING

WD-1

WOOD SIDING
CEDAR PLANKS

ELEVATION NOTES

1

ADDRESS PLAQUE

2

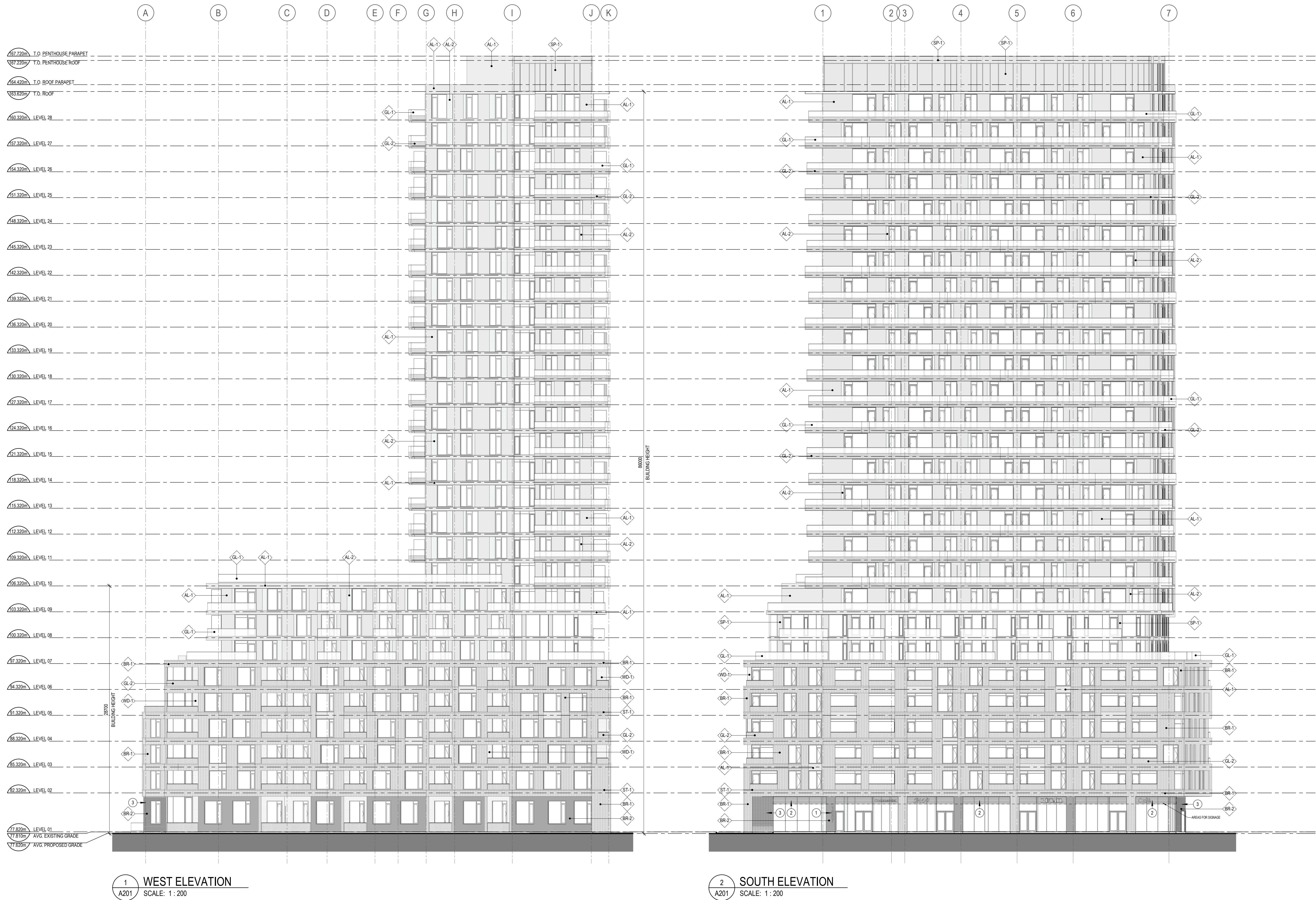
WOOD LOUVRES

3

PROTRUDING BRICKWORK

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ELEVATIONS

A201

CLADDING LEGEND:

AL-1

ALUMINUM COMPOSITE PANEL
BLACK

BR-1

BRICK MASONRY
GREY

GL-1

ALUMINUM AND GLASS RAILING

SP-1

CURTAIN WALL SPANDREL PANEL
BLACK

AL-2

ALUMINUM COMPOSITE PANEL
SILVER-BLUE

BR-2

BRICK MASONRY
BLACK

GL-2

ALUMINUM AND FRITTED
GLASS RAILING

WD-1

WOOD SIDING
CEDAR PLANKS

ELEVATION NOTES

1

ADDRESS PLAQUE

2

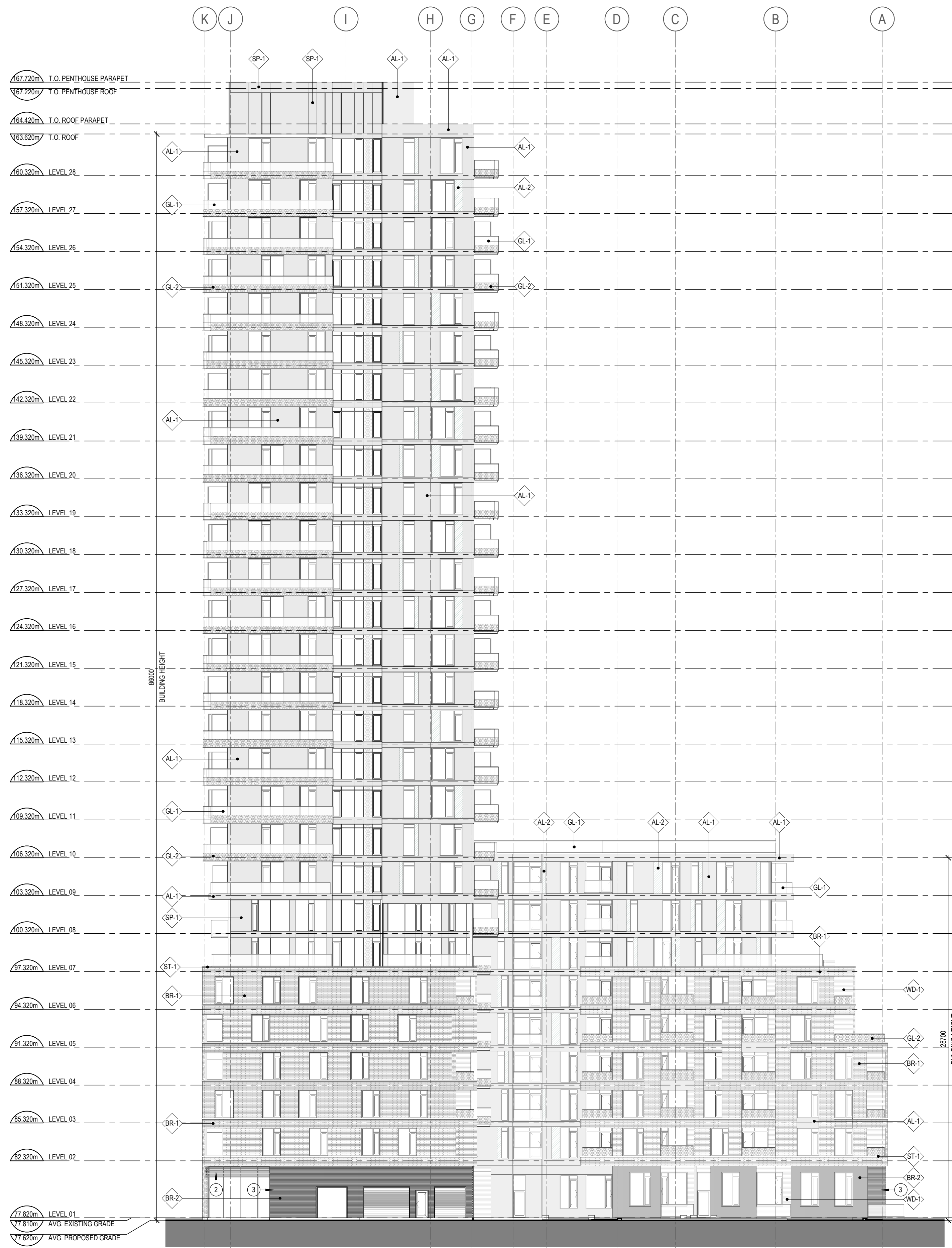
WOOD LOUVRES

3

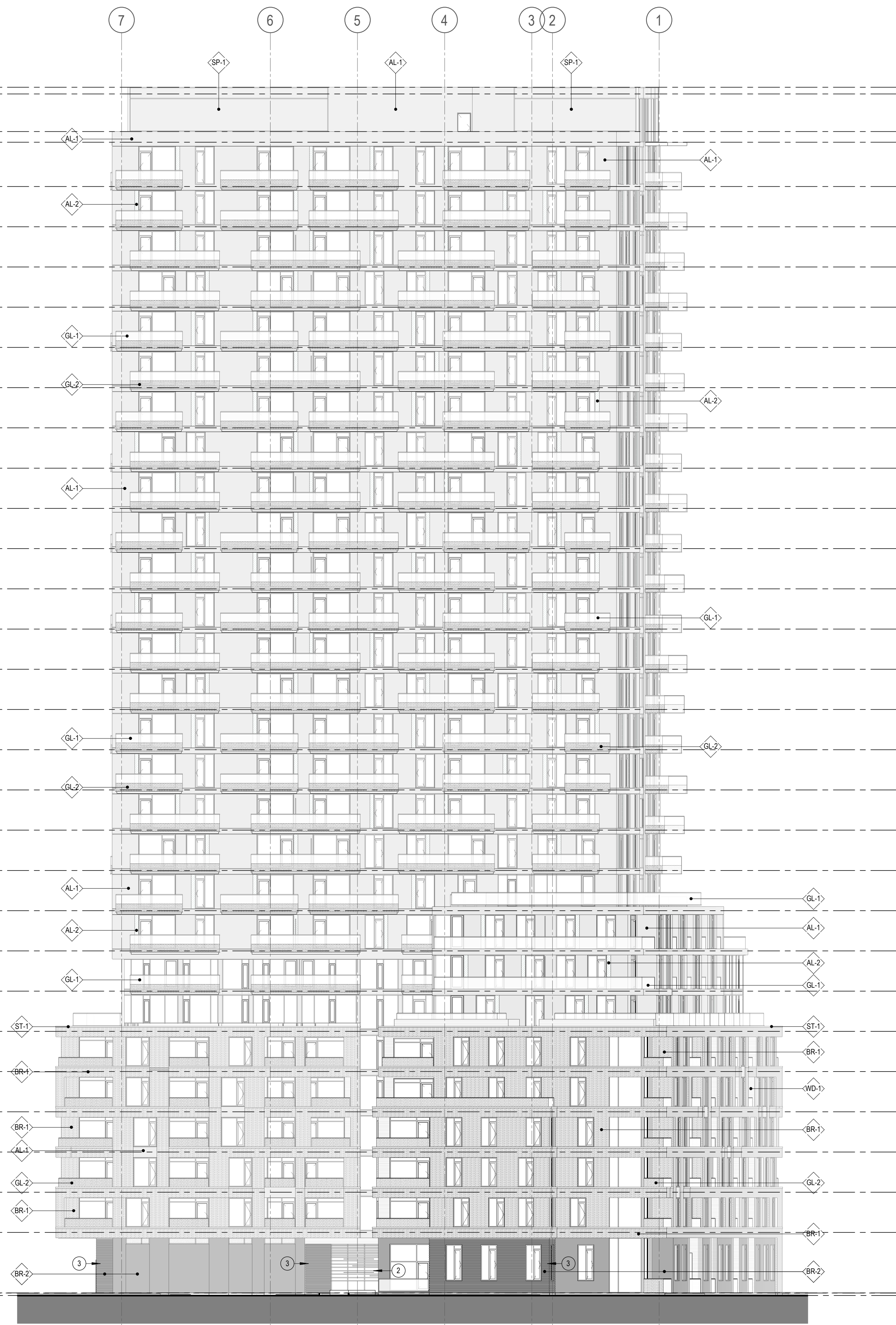
PROTRUDING BRICKWORK

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2 EAST ELEVATION
SCALE: 1 : 200



1 NORTH ELEVATION
SCALE: 1 : 200

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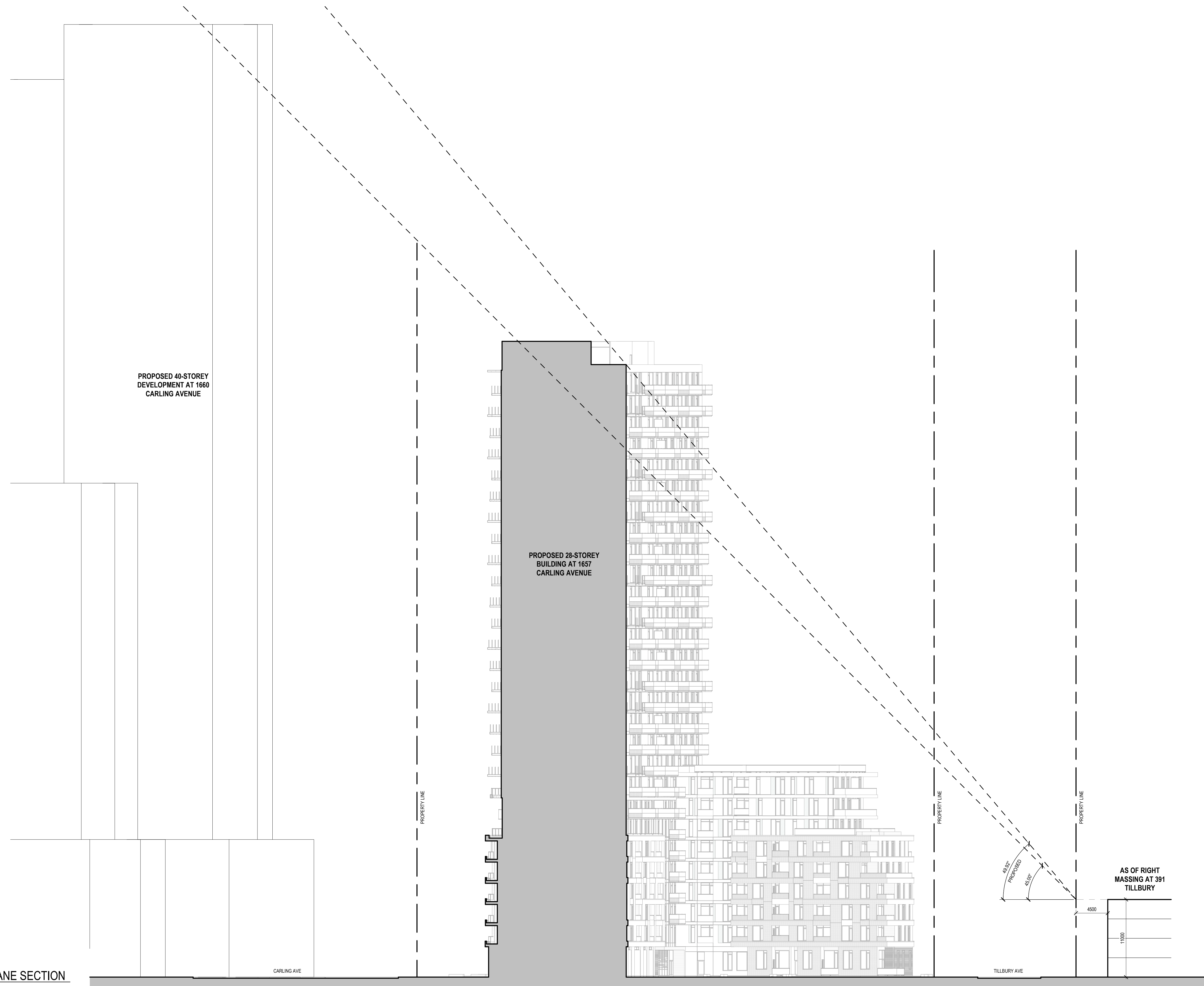
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ELEVATIONS



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ANGULAR PLANE STUDY

A203