

535

Legget Drive

ISSUED FOR SITE PLAN APPROVAL (SPA)

NEUF architect(e)s | KRP Properties | Novatech | 13338 | January 13, 2025

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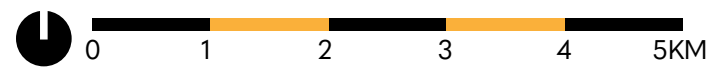
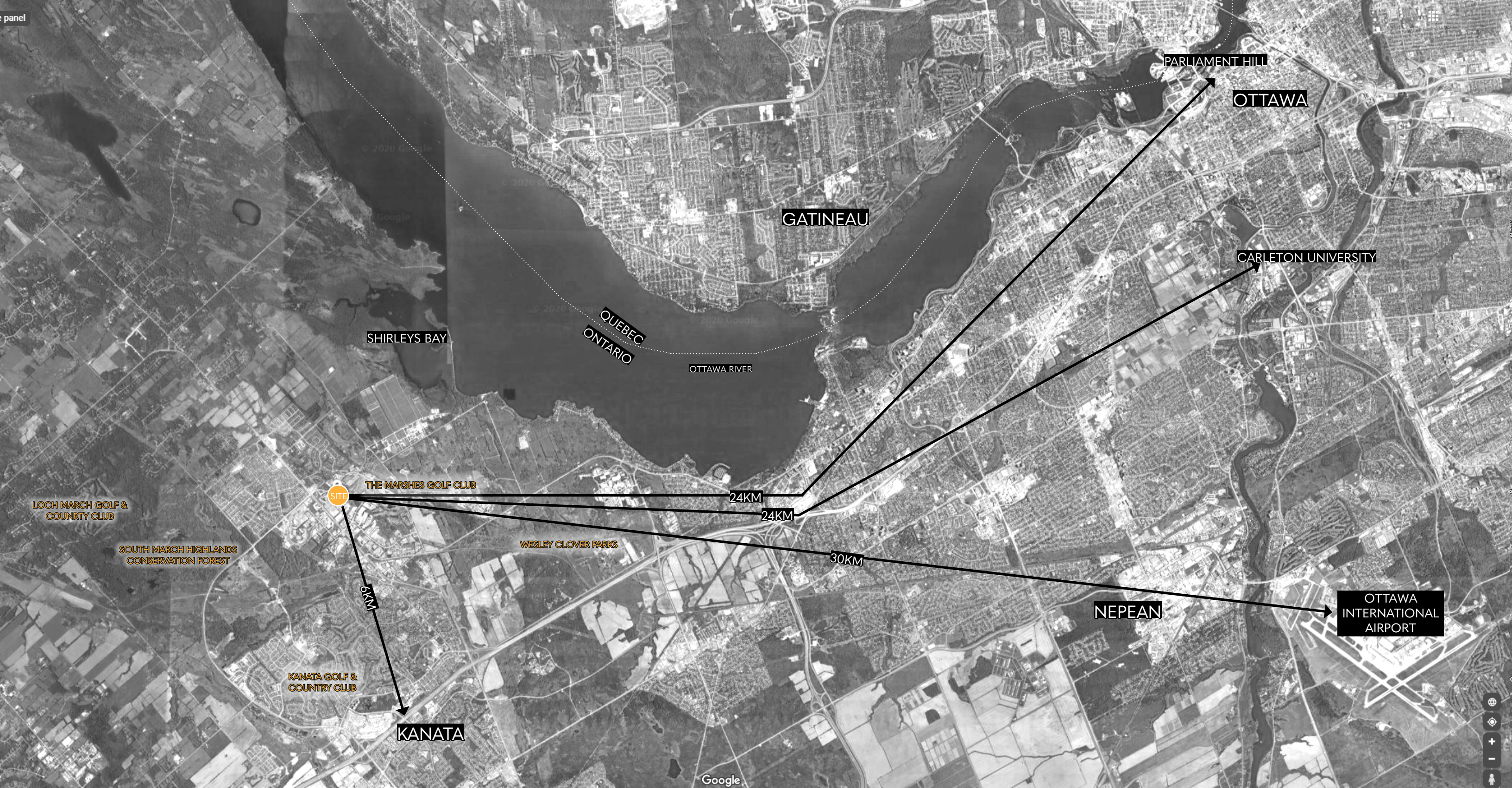
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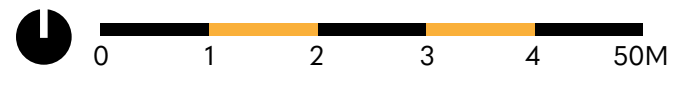
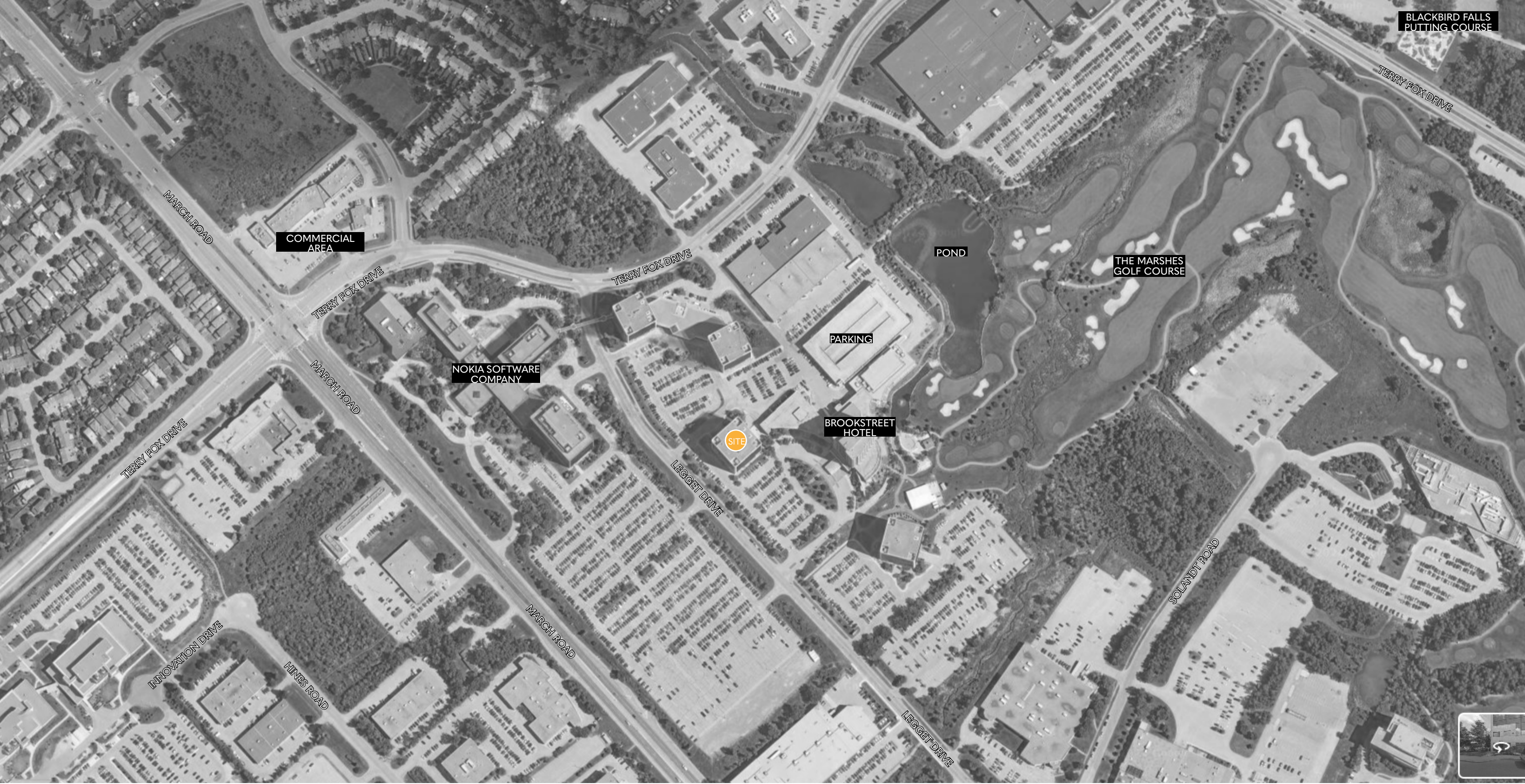
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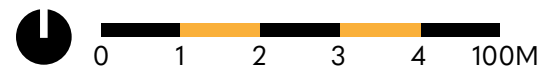
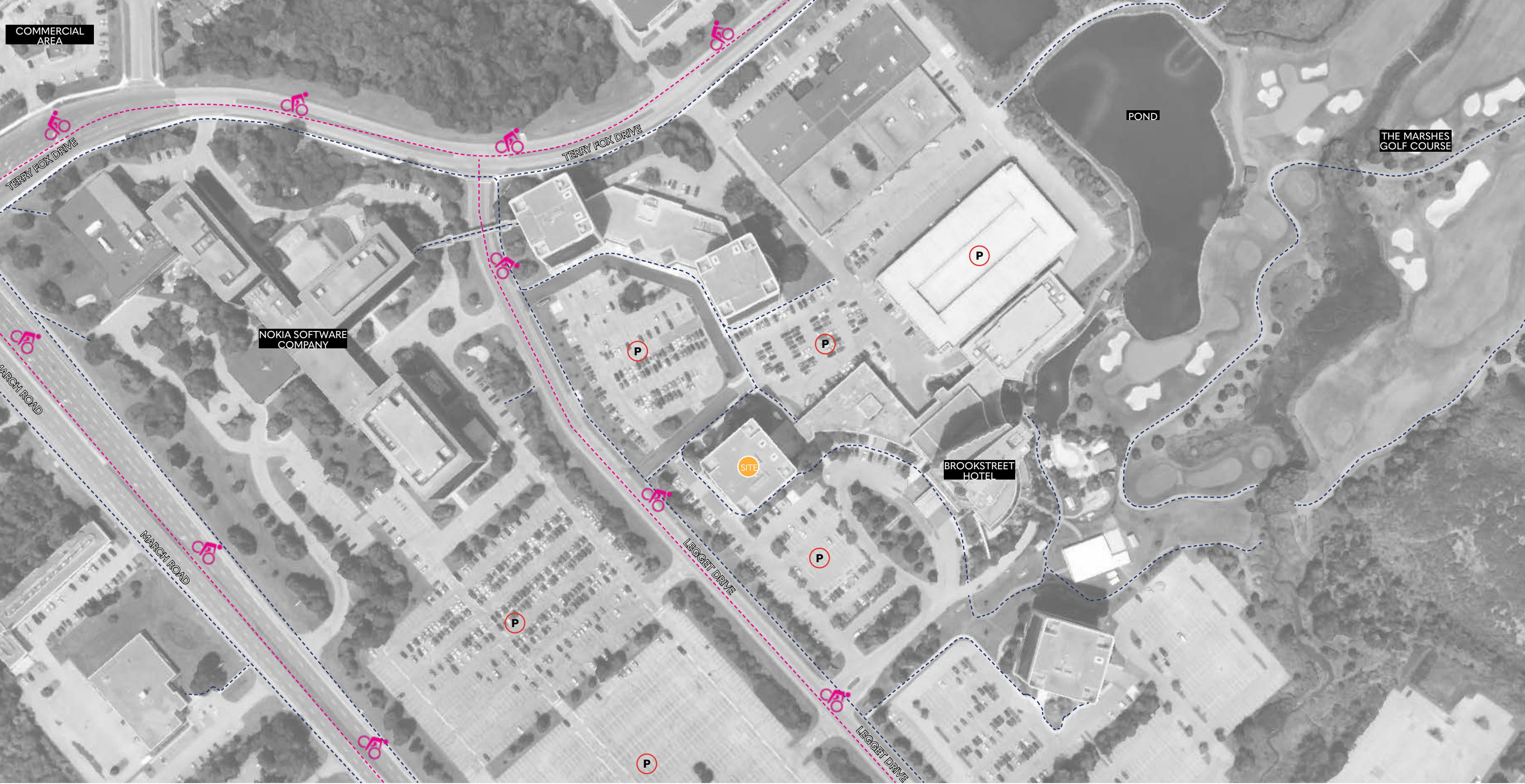
CONTEXT






SITE LOCATION MAP (5KM)



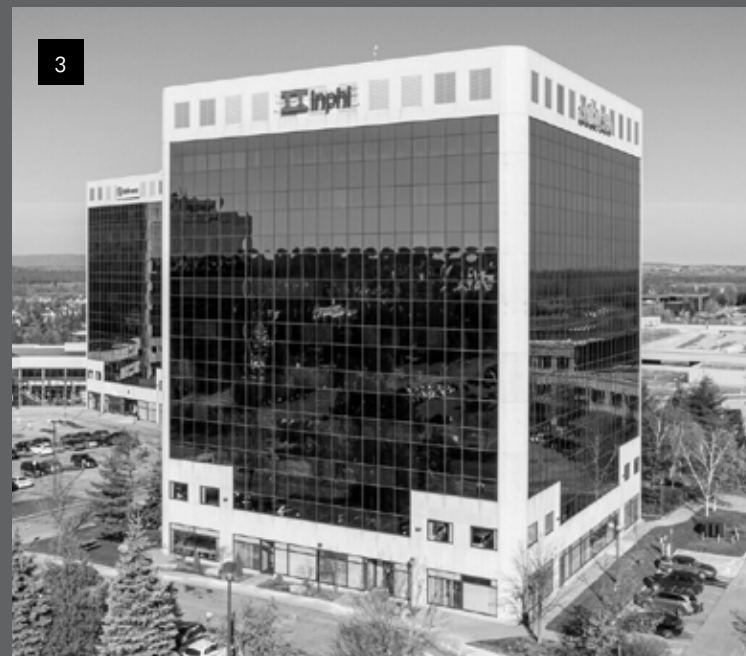
SITE LOCATION MAP (50KM)



-  : BICYCLE LANE (ON-ROAD)
-  : PEDESTRIANS PATHS
-  : PARKING

ACTIVE TRANSPORT MAP

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# EXISTING AERIAL & STREET VIEWS



# EXISTING CONDITIONS 535 LEGGET DRIVE



# INTRODUCTION

# INTRODUCTION

**THE PROJECT AT 535 LEGGET DRIVE INVOLVES THE CONVERSION OF AN EXISTING 11-STORY OFFICE BUILDING INTO A RESIDENTIAL APARTMENT COMPLEX, CONSISTING OF 115 RENTAL UNITS. THE PRIMARY OBJECTIVE IS TO REVITALIZE THE BUILDING BY INTEGRATING CONTEMPORARY ARCHITECTURAL ELEMENTS THAT BREATHE NEW LIFE INTO THE SPACE AND CONTRIBUTE TO CREATING A VIBRANT AND INVITING RESIDENTIAL COMMUNITY.**

## **MODERNIZING THE EXTERIOR WITH ELEGANCE**

The design approach focuses on modernizing the building's exterior while enhancing its functionality as a residential space. A key feature of the design is the introduction of a continuous canopy around the ground floor, which will provide a sense of elegance and create a visually striking floating effect. The canopy, along with distinctive cladding on the ground floor, will establish a strong visual identity, ensuring the building stands out within the Kanata landscape.

## **DYNAMIC FAÇADE ENHANCEMENTS**

To further enhance the building's exterior, the proposal includes replacing the existing window wall system with a new, more dynamic façade. This updated system will allow for the integration of Juliette balconies and textured spandrel panels, offering each unit a greater connection to the outdoors and increasing interior privacy.

## **COMPREHENSIVE RESIDENTIAL AMENITIES**

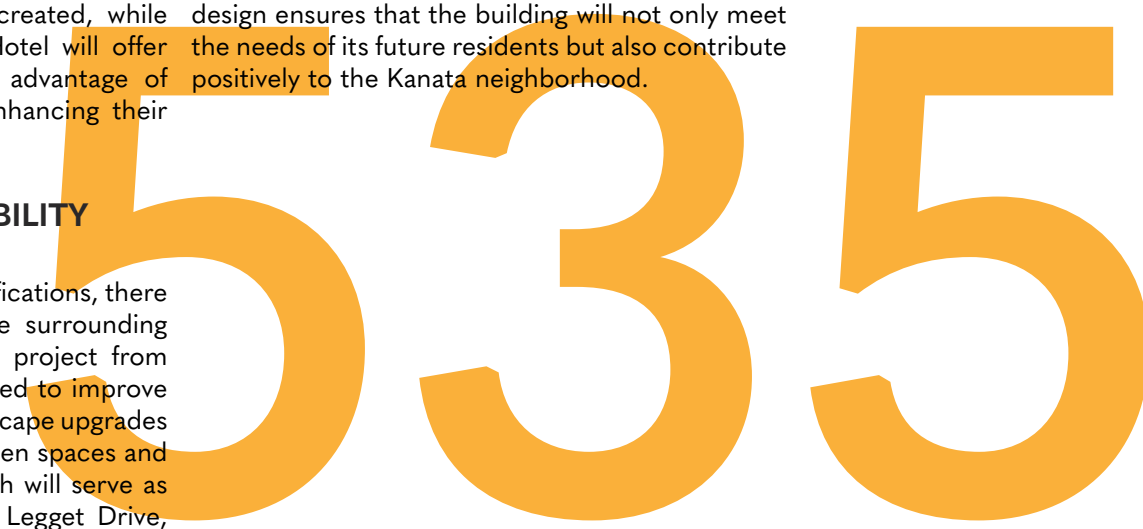
Residents of 535 Legget Drive will enjoy access to a range of amenities both within the building and in the adjacent Brookstreet Hotel. The on-site amenities will be designed to complement the modern living environment being created, while the proximity to the Brookstreet Hotel will offer residents the opportunity to take advantage of additional services and facilities, enhancing their overall living experience.

## **LANDSCAPE AND ACCESSIBILITY IMPROVEMENTS**

In addition to the architectural modifications, there is a commitment to enhancing the surrounding landscape. A new entrance to the project from Legget Drive will be created, designed to improve accessibility and presence. The landscape upgrades will include the addition of more green spaces and an increased number of trees, which will serve as a buffer between the building and Legget Drive, contributing to the aesthetic and environmental quality of the project. Similar to the architectural elements, the materials and textures used in the landscape will be updated, marking this project as a distinct and innovative direction for the Brookstreet campus.

## **TRANSFORMING THE OFFICE INTO A VIBRANT COMMUNITY**

This comprehensive redesign will transform the existing office building into a vibrant residential community, offering residents a modern living environment with a wide range of amenities. The design ensures that the building will not only meet the needs of its future residents but also contribute positively to the Kanata neighborhood.









THE PROJECT FOCUSES ON CONVERTING AN EXISTING OFFICE BUILDING INTO A RESIDENTIAL SPACE WITHIN A BUSINESS DISTRICT, WHILE SURROUNDING BUILDINGS REMAIN COMMERCIAL. KEY DESIGN CONSIDERATIONS INCLUDE:

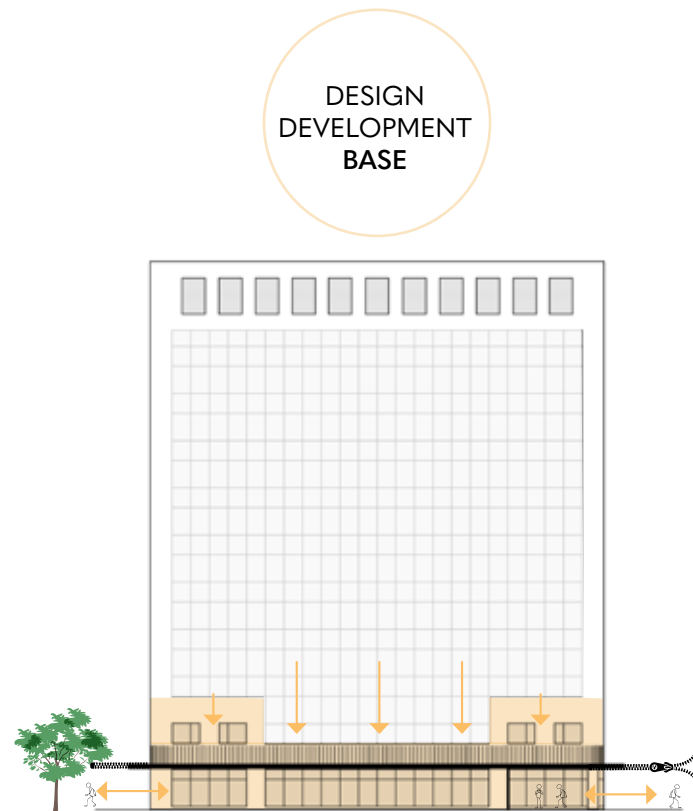
**RESIDENTIAL IDENTITY:** DESIGN STRATEGIES WILL EMPHASIZE THE BUILDING'S NEW RESIDENTIAL PURPOSE, ENSURING A CLEAR DISTINCTION FROM ITS PREVIOUS COMMERCIAL USE.

**SHIFTING PUBLIC PERCEPTION:** TO RESHAPE PUBLIC PERCEPTION OF THE BUILDING, AN INVITING ENTRANCE WILL BE CREATED, GROUND-FLOOR AMENITIES WILL BE ADDED, AND THE BUILDING WILL BE REBRANDED WITH A NEW IDENTITY.

**HARMONIOUS DISTINCTION:** WHILE THE PROJECT WILL INTRODUCE A UNIQUE RESIDENTIAL CHARACTER, IT WILL MAINTAIN VISUAL HARMONY WITH THE SURROUNDING COMMERCIAL STRUCTURES.

**ENHANCING EXISTING FEATURES:** THE DESIGN WILL REFINE AND BUILD UPON THE BUILDING'S ORIGINAL ARCHITECTURAL ELEMENTS, RESPECTING ITS EXISTING PROPORTIONS AND CHARACTER WHILE ADAPTING THEM TO SUIT THE NEW RESIDENTIAL FUNCTION.

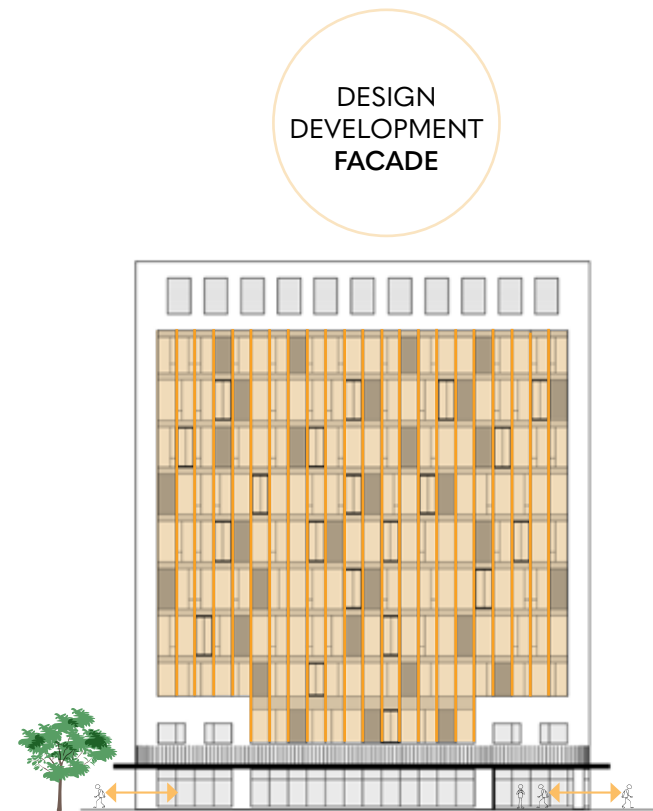
BY ADDRESSING THESE ASPECTS, THE PROJECT AIMS TO CREATE A DESIRABLE RESIDENTIAL SPACE THAT HARMONIZES WITH ITS SURROUNDINGS WHILE ESTABLISHING A DISTINCT NEW IDENTITY.



**SENSE OF ARRIVAL:** CREATE A WELCOMING ENTRANCE BY CARVING INTO THE BUILDING'S ENVELOPE, INTEGRATING LANDSCAPING, AND HIGHLIGHTING DOUBLE-HEIGHT CORNERS TO ENHANCE VISUAL INTEREST.

**EXTENDING THE HOTEL'S PROMENADE:** DESIGN AN INVITING GROUND FLOOR THAT CONNECTS TO THE EXISTING HOTEL PROMENADE.

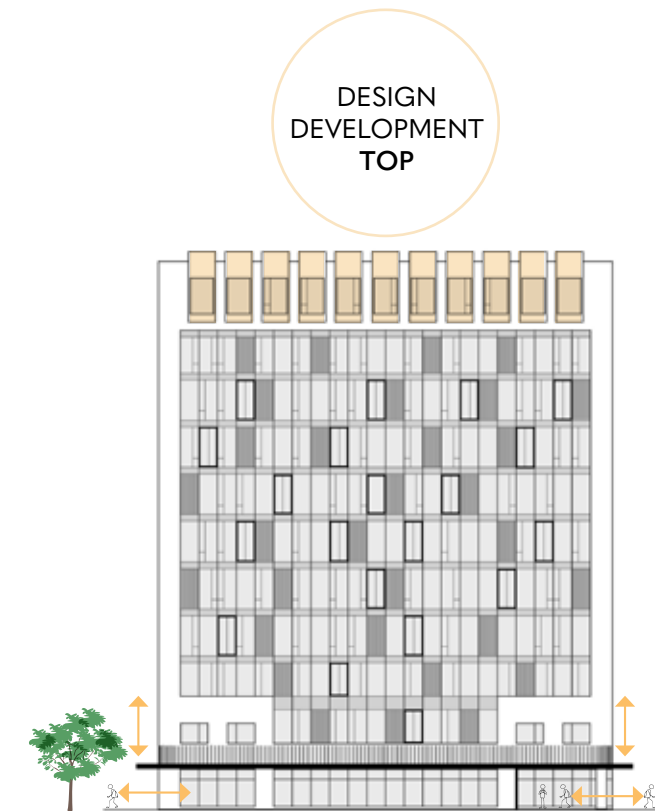
**CONTRAST AND FLOATING EFFECT:** CREATE VISUAL DISTINCTION BETWEEN THE BUILDING'S LOWER AND UPPER FLOORS BY USING CONTRASTING MATERIALS. ADDING A CONTINUOUS CANOPY ALONG THE FAÇADE ON THE GROUND FLOOR TO CREATE A CAPTIVATING FLOATING EFFECT.



**GLASS FAÇADE REDESIGN:** THE GLASS FAÇADE WILL BE REIMAGINED TO CREATE A MORE WELCOMING AND RESIDENTIAL CHARACTER FOR THE BUILDING'S EXTERIOR. THE ADDITION OF OPERABLE WINDOWS, JULIETTE BALCONIES, AND TEXTURED METALLIC SPANDRELS WILL ENHANCE THE CONNECTION OF EACH UNIT TO THE OUTDOORS WHILE ALSO INCREASING PRIVACY FOR RESIDENTS.

**BIRD-FRIENDLY GLAZING AND TEXTURE:** THE DESIGN WILL INCORPORATE BIRD-SAFE GLAZING SOLUTIONS WITH TEXTURED PATTERNS THAT NOT ONLY ENHANCE THE BUILDING'S AESTHETIC BUT ALSO CONTRIBUTE TO WILDLIFE CONSERVATION.

**PRIVACY ENHANCEMENTS:** TO PROVIDE GREATER PRIVACY FOR RESIDENTS, SPANDREL PANELS WILL BE STRATEGICALLY ADDED. THESE, ALONG WITH LINEAR PATTERNS ON THE GLASS, WILL EVOKE THE AESTHETIC OF RESIDENTIAL CURTAINS, OFFERING A SUBTLE YET EFFECTIVE PRIVACY SOLUTION FOR EACH UNIT.



**SKYLINE RECOGNITION :** DESIGN A DISTINCTIVE ARCHITECTURAL CROWN AND TRANSFORM THE FAÇADE WITH CONTRASTING MATERIALS AND LIGHTING. INCORPORATE FRAMES AROUND EXISTING OPENINGS TO COMPLEMENT AND RESONATE WITH THE DESIGN OF THE FAÇADE BELOW.

**NOTE :**

- Existing materials to be reused with companies to create a circular economy.

RENDERINGS





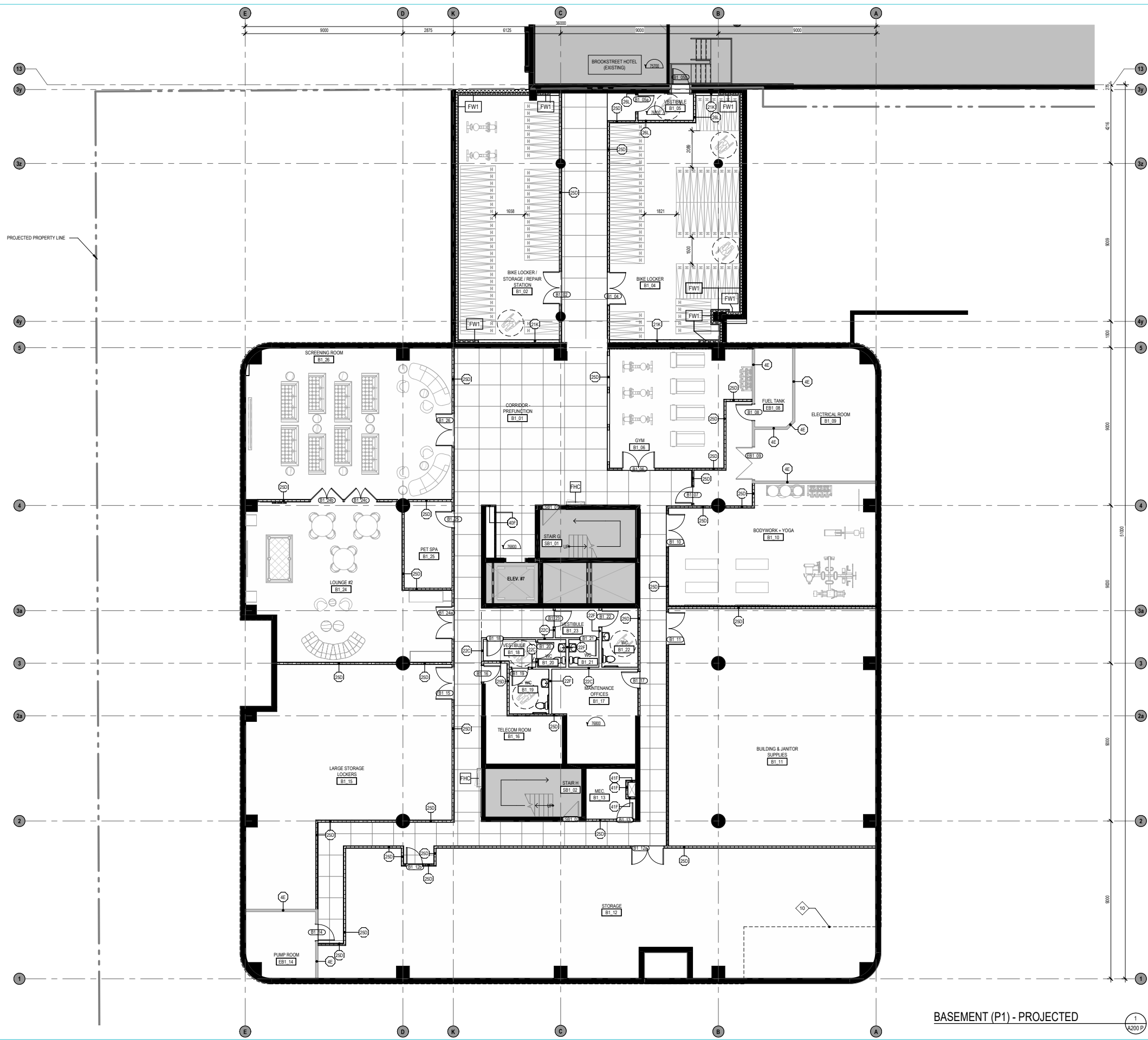




BEFORE/AFTER

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ANNEXE



GENERAL NOTES	
#	DESCRIPTION
01	OUTLINE OF CANOPY ON LEVEL 2
02	LINK TO BROOKSTREET HOTEL
03	PROPOSED NEW ENTRANCE CONCRETE PATH
04	PROPOSED NEW VEHICULAR ENTRANCE
05	GRADING TO SLOPE TOWARDS EXISTING LOADING DOCK LEVEL TO FACILITATE MOVE-IN MOVE-OUT AND GARBAGE COLLECTION (SPL MAX FOR GARBAGE COLLECTION (SEE CIVIL ENG.))
06	PROPOSED EXTERIOR DECK (REFER TO LANDSCAPE ARCHITECT)
07	NEW SIGNAGE
08	ADDITIONAL TREE (REFER TO LANDSCAPE ARCHITECT)
09	PROJECTED BUILDING OUTLINE - GROUND FLOOR
10	MARQUISE OUTLINE
11	PROJECTED BUILDING OUTLINE - SECOND FLOOR
12	CONTACT PANEL (SEE ELECTRICAL ENG.)
13	FIRE PANEL (SEE ELECTRICAL ENG.)
14	PROPOSED EXIT STAIR FROM BROOKSTREET HOTEL (TO BE ADDRESSED UNDER A SEPARATE PERMIT APPLICATION)
15	RELOCATED ROPE GUIDE
16	CONCRETE DRAINAGE SPLASH PAD (REFER TO LANDSCAPE ARCHITECT)
17	FOOT SCRAPER GRILLE (IAD31)
18	ACCESSIBLE ENTRANCE/EXIT ACCESS (AS REQUIRED FOR RHFAC)
19	SCUPPER
20	SEATING AREA
21	PROPOSED EXTERIOR BIKE PARKING
22	EXIT TOWARDS BROOKSTREET HOTEL
23	STRUCTURAL REINFORCEMENT (2"x12" TRIPLE ROW) BEHIND DRYWALL AT TOILET AND SHOWER AS REQUIRED FOR RHFAC
24	STRUCTURAL REINFORCEMENT (2"x12" TRIPLE ROW) IN BEDROOM FOR CLOSET AS REQUIRED FOR RHFAC
25	FLOORING FINISH MUST CONTINUE UNDER WASHROOM VANITY AS REQUIRED FOR RHFAC
26	FLOORING FINISH MUST CONTINUE UNDER KITCHEN CABINETRY AS REQUIRED FOR RHFAC
27	DEPRESSED SIDEWALK (SEE LANDSCAPE ARCHITECT)
28	PROPOSED PAINTED EGRESS PATH (SEE LANDSCAPE ARCHITECT)
29	EXISTING ELECTRICAL VEHICLE CHARGING STATION
30	PROPOSED BOLLARDS (SEE CIVIL ENG.)
31	BARRIER FREE TACTILE PAVERS (SEE CIVIL ENG.)

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**SCEAU / Seal**

**CLIENT** Client

**OVERAGE** Project  
**535 LEGGET DRIVE**

**EMPLACEMENT** Location  
 535 LEGGET DRIVE,  
 KANATA, ONTARIO

**NO. PROJECT** No.  
 13338

**NO. REVISION** Revision  
 Q ISSUED FOR SITE PLAN APPROVAL 2025 01 13

**DATE** (aa-mm-jj)  
 24.09.18

**DESIGNER** Drawn by  
 AT MS

**VERIFIE PAR** Checked by  
 KP

**DATE** (aa-mm-jj)  
 24.09.18

**ECHELLE** Scale  
 As indicated

**TITRE** DU DESIGN Drawing Title  
**SPA - BASEMENT - PROJECTED**

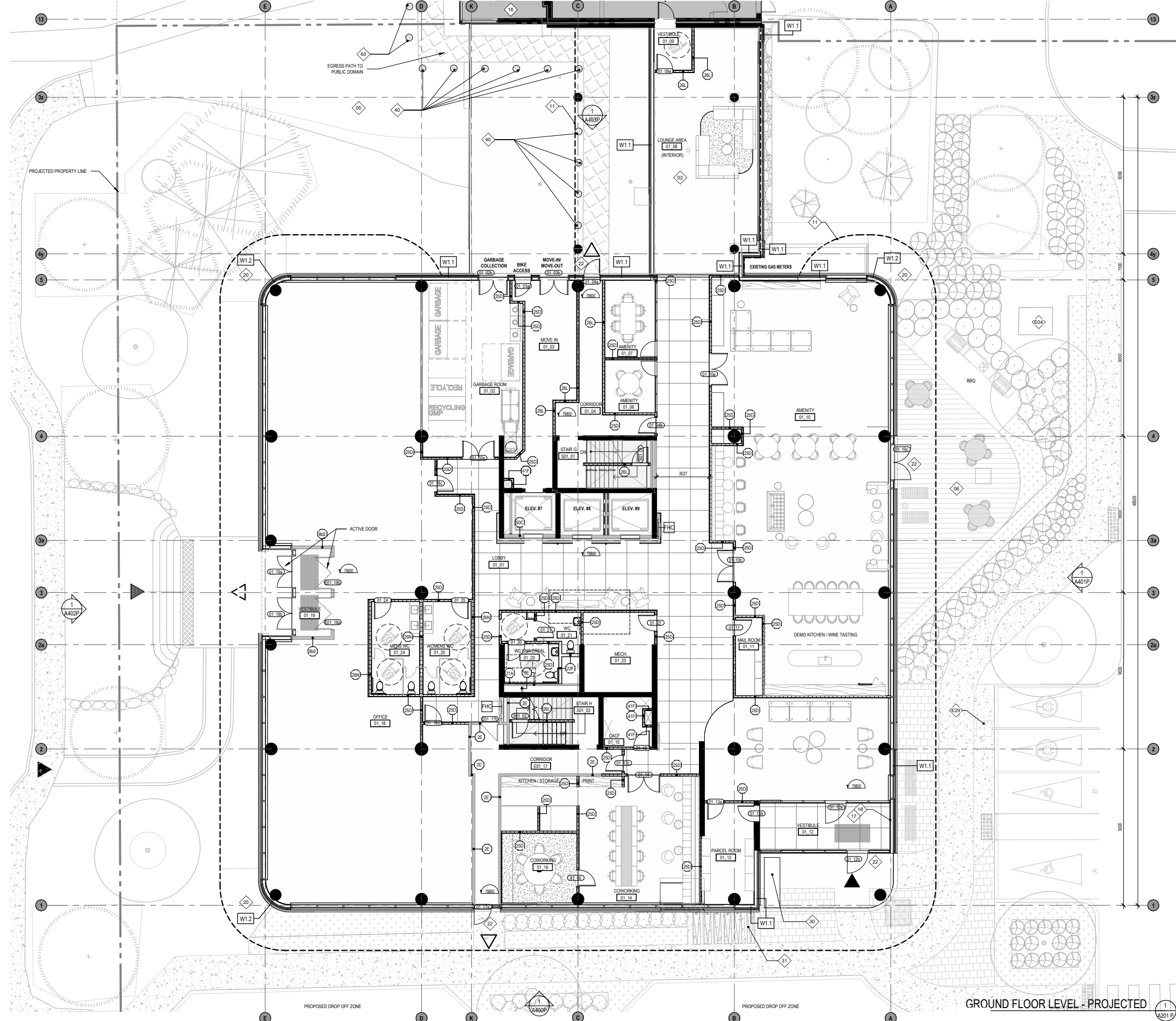
**NO. DESIGN** Design Number  
**A200P**

**REVISION** Revision  
**Q**

**#1921\***

**WALL AND DOOR LEGEND**

	EXISTING WALL
	EXISTING STRUCTURE
	DEMOLISH WALL
	NEW WALL
	DEMOLISH DOOR
	EXISTING DOOR
	NEW DOOR



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**ARCHITECTE DE PAYSAGE** Landscape Architect  
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**DESIGN INTERIOR** Interior Design  
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SCEAU / Seal

**SURFACE LEGEND**

- EXISTING SNOW STORAGE AREA (SEE LANDSCAPE ARCHITECT)
- CLEAR STONE (BY LANDSCAPE ARCHITECT)
- PEDESTRIAN PATH (BY LANDSCAPE ARCHITECT)
- LANDSCAPING (BY LANDSCAPE ARCHITECT)
- DECK (BY LANDSCAPE ARCHITECT)
- INTERVENTION AREA
- PAVING (BY LANDSCAPE ARCHITECT)
- DEPRESSED SIDEWALK (SEE LANDSCAPE ARCHITECT)

**LINE TYPE & ACCESS LEGEND**

- VEHICULAR ENTRY
- ACCESS TO BUILDING
- ACCESS TO OFFICE
- EXITS
- FIRE ROUTE (ON SITE)
- PROPERTY LINE
- CIRCULATION ARROW
- SETBACK

**WALL AND DOOR LEGEND**

- EXISTING WALL
- EXISTING STRUCTURE
- DEMOLISH WALL
- NEW WALL
- DEMOLISH DOOR
- EXISTING DOOR
- NEW DOOR



CLIENT Client

OVERAGE Project

**535 LEGGET DRIVE**

EMPLACEMENT Location  
535 LEGGET DRIVE,  
KANATA, ONTARIO

NO. PROJET No.  
13338

NO. REVISION DATE (aa-mm-jj)  
Q ISSUED FOR SITE PLAN APPROVAL 2025 01 13

DESIGN PAR Drawn by  
AT MS

DATE (aa-mm-jj)  
24.09.18

TITRE DU DESSIN Drawing Title  
**SPA - GROUND FLOOR - PROJECTED**

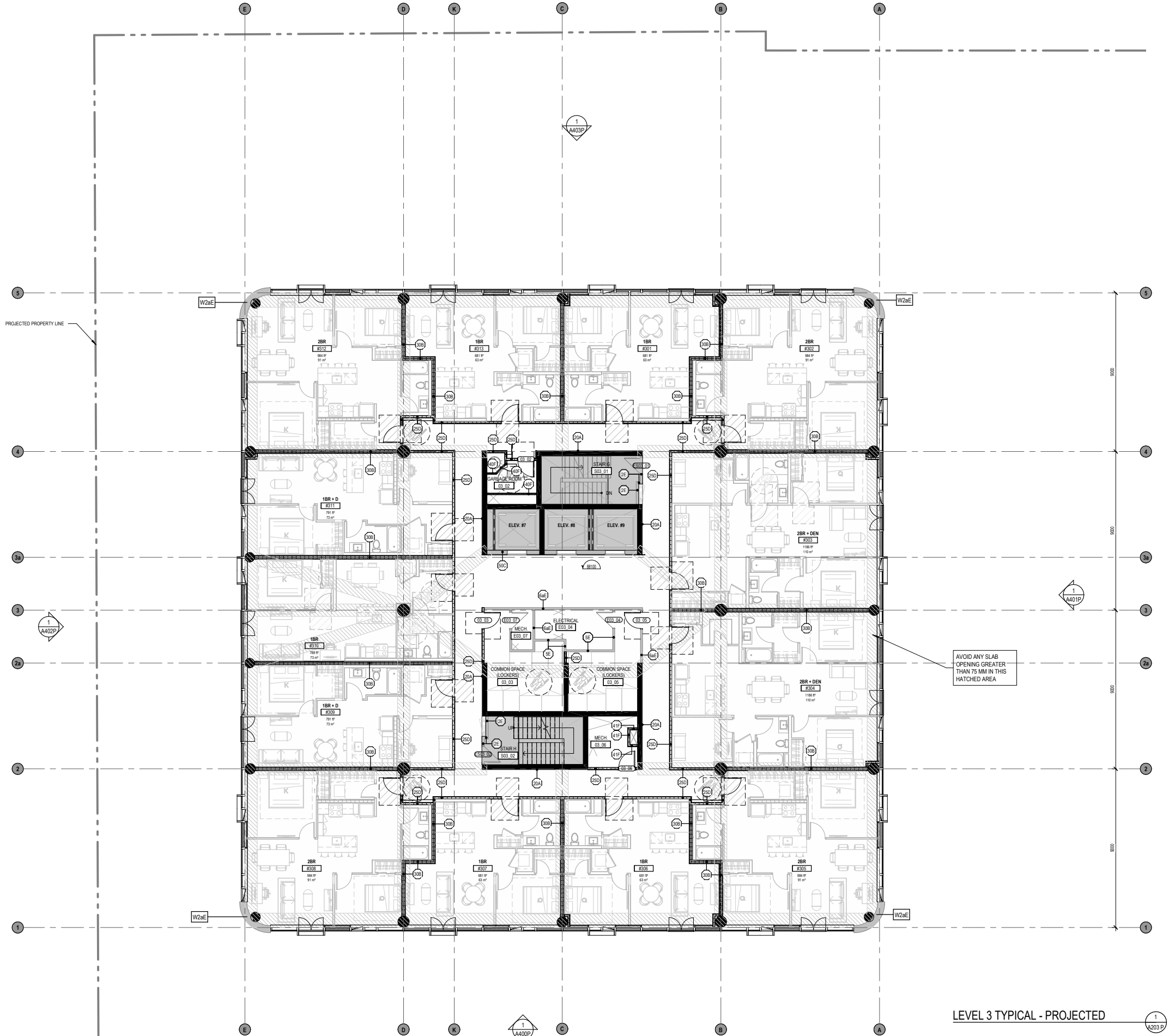
REVISION Revision  
Q

VERIFIE PAR Checked by  
KP

ECHELLE Scale  
As indicated

NO. DESSIN Dwg Number  
A201P

#1921\*



LEVEL 3 TYPICAL - PROJECTED

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**SCEAU / Seal**



**OVERAGE Project**  
**535 LEGGET DRIVE**

EMPLACEMENT Location: 535 LEGGET DRIVE, KANATA, ONTARIO  
 NO. PROJECT No: 13338

NO.	REVISION	DATE (aa-mm-jj)
Q	ISSUED FOR SITE PLAN APPROVAL	2025 01 13

DESIGN PAR Drawn by: AT MS  
 DATE (aa-mm-jj): 24.09.18  
 TITRE DU DESIGN Drawing Title: SPA - TYPICAL FLOOR PLAN - PROJECTED

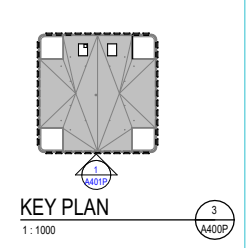
VERIFIE PAR Checked by: KP  
 ECHELLE Scale: As indicated

NO. DESIGN Dwg Number: A202P  
 #1921\*

WALL AND DOOR LEGEND	
	EXISTING WALL
	EXISTING STRUCTURE
	DEMOLISH WALL
	NEW WALL
	DEMOLISH DOOR
	EXISTING DOOR
	NEW DOOR



PARTIAL ELEVATION - TYPICAL FACADE  
1:100



**GENERAL NOTES**

# NOTE	DESCRIPTION
01	OUTLINE OF CANOPY ON LEVEL 2
02	LINK TO BROOKSTREET HOTEL
03	PROPOSED NEW ENTRANCE CONCRETE PATH
04	PROPOSED NEW VEHICULAR ENTRANCE
05	GRADING TO SLOPE TOWARDS EXISTING LOADING DOCK LEVEL TO FACILITATE MOVE-IN MOVE-OUT AND GARBAGE COLLECTION
06	BEL MAX FOR GARBAGE COLLECTION. SEE CIVIL ENG. PROPOSED EXTERIOR DECK (REFER TO LANDSCAPE ARCHITECT)
07	NEW SIGNAGE
08	ADDITIONAL TREE (REFER TO LANDSCAPE ARCHITECT)
09	PROJECTED BUILDING OUTLINE - GROUND FLOOR
10	MARQUEE OUTLINE
11	PROJECTED BUILDING OUTLINE - SECOND FLOOR
12	CONTACT PANEL (SEE ELECTRICAL ENG.)
13	FIRE PANEL (SEE ELECTRICAL ENG.)
14	PROPOSED EXIT STAIR FROM BROOKSTREET HOTEL (TO BE ADDRESSED UNDER A SEPARATE PERMIT APPLICATION)
15	RELOCATED ROPE GUIDE
16	CONCRETE DRAINAGE SPLASH PAD (REFER TO LANDSCAPE ARCHITECT)
17	FOOT SCRAPER GRILLE (7'x12')
18	ACCESSIBLE ENTRANCE/EXIT ACCESS (AS REQUIRED FOR RHFAC)
19	SCUPPER
20	SEATING AREA
21	PROPOSED EXTERIOR BIKE PARKING
22	EXIT TOWARDS BROOKSTREET HOTEL
23	STRUCTURAL REINFORCEMENT (2'x12' TRIPLE ROW) BEHIND DRYWALL AT TOILET AND SHOWER AS REQUIRED FOR RHFAC
24	STRUCTURAL REINFORCEMENT (2'x12' TRIPLE ROW) IN BEDROOM FOR CLOTHES ROD AS REQUIRED FOR RHFAC
25	FLOORING FINISH MUST CONTINUE UNDER WASHROOM VANITY AS REQUIRED FOR RHFAC
26	FLOORING FINISH MUST CONTINUE UNDER KITCHEN CABINETS AS REQUIRED FOR RHFAC
27	DEPRESSED SIDEWALK (SEE LANDSCAPE ARCHITECT)
28	PROPOSED PAINTED EGRESS PATH (SEE LANDSCAPE ARCHITECT)
29	EXISTING ELECTRIC VEHICLE CHARGING STATION
30	PROPOSED BOLLARDS (SEE CIVIL ENG.)
31	BARRIER FREE TACTILE PAVERS (SEE CIVIL ENG.)

**EXTERIOR MATERIAL LEGEND (PROJECTED)**

GP	CLEAR GLASS
SP	GLASS SPANDREL
SM	TEXTURED METALLIC SPANDREL
AP	LINED GLASS (BIRD SAFETY)
EP	LINED GLASS SPANDREL (BIRD SAFETY)
JB	JULIETTE BALCONY FRAME
VL	VENTILATION LOUVERS IN WINDOW WALL
PC1	PRECAST (TO BE PAINTED IN TYPE 2 - LIGHT GREY)
PC2	PRECAST (TO BE PAINTED IN TYPE 1 - DARK GREY)
MC	METAL CLADDING
VL1	VENTILATION LOUVERS IN PRECAST

**GUARDRAIL DETAILS AND SECTIONS LEGEND**

For guardrail details and sections refer to: A330

GD	GLASS JULIETTE GUARDRAIL
GT	GLASS GUARDRAIL ON TERRACES
GD1	GLASS JULIETTE GUARDRAIL ON LEVEL 2 AND 3 ONLY

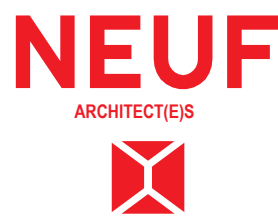
**ELEVATION LEGEND**

CON	CONSTRUCTION NOTES
DEM	DEMOLITION NOTES
EX	NOTES ON EXISTING ELEMENTS
W	WINDOW TYPE SYMBOL (REFER TO WINDOW ELEVATIONS SHEET)
WA	CURTAIN WALL ELEVATION SYMBOL (REFER TO WINDOW ELEVATIONS SHEET)
RF	RADIATION FACADE SURFACE TO BE PROTECTED, 1 H FRR

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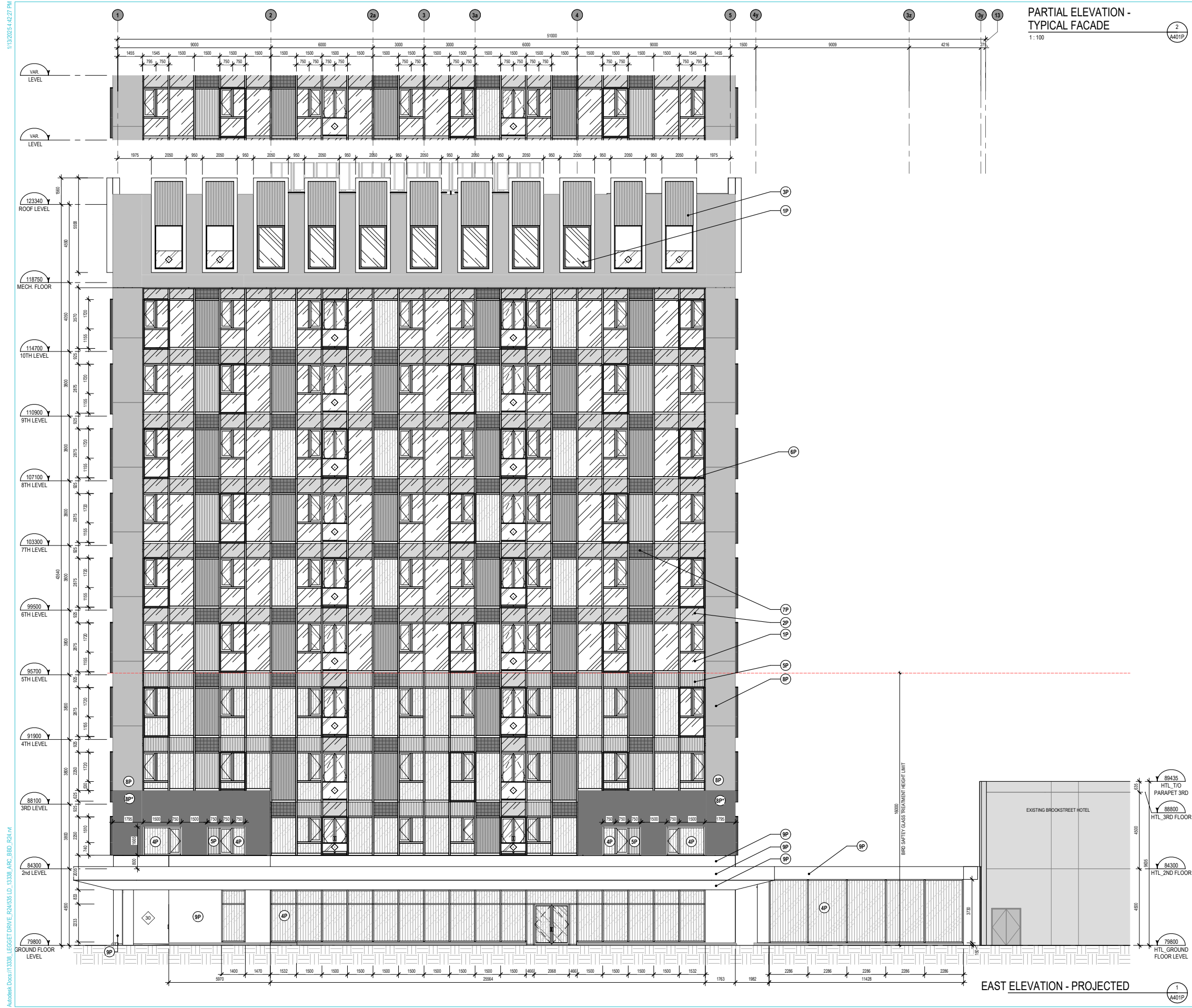
**MECHANICAL** Micromech  
**ELECTRICAL** Electrical  
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**ARCHITECTES** Architect  
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 T: 514 847 1117 neufarchitectes.com  
**RCSAU / RAIAA**



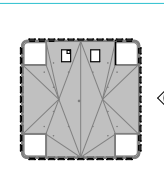
**CLIENT** Client  
**OUVRAGE** Project  
**535 LEGGET DRIVE**  
 ENPLACEMENT Location NO PROJET No.  
 535 LEGGET DRIVE, 13338  
 KANATA, ONTARIO  
 NO RÉVISION DATE (aa-mm-jj)  
 D ISSUED FOR SITE PLAN APPROVAL 2025 01 13

DESIGNÉ PAR Drawn by AT MS VÉRIFIÉ PAR Checked by KP  
 DATE (aa.mm.jj) 24.06.11 ÉCHELLE Scale As indicated  
 TITRE DU DESSIN Drawing Title SOUTH ELEVATION - PROJECTED

RÉVISION Revision NO DESSIN Draw Number  
**Q A400P**  
 #19216



**PARTIAL ELEVATION - TYPICAL FACADE**  
1:100



**KEY PLAN**  
1:1000

**GENERAL NOTES**

# NOTE	DESCRIPTION
01	OUTLINE OF CANOPY ON LEVEL 2
02	LINK TO BROOKSTREET HOTEL
03	PROPOSED NEW ENTRANCE CONCRETE PATH
04	PROPOSED NEW VEHICULAR ENTRANCE
05	GRADING TO SLOPE TOWARDS EXISTING LOADING DOCK LEVEL TO FACILITATE MOVE-IN MOVE-OUT AND GARBAGE COLLECTION
06	BEL MAX FOR GARBAGE COLLECTION. SEE CIVIL ENG. PROPOSED EXTERIOR DECK (REFER TO LANDSCAPE ARCHITECT)
07	NEW SIGNAGE
08	ADDITIONAL TREE (REFER TO LANDSCAPE ARCHITECT)
10	PROJECTED BUILDING OUTLINE - GROUND FLOOR
11	MARQUISE OUTLINE
14	PROJECTED BUILDING OUTLINE - SECOND FLOOR
15	CONTACT PANEL (SEE ELECTRICAL ENG.)
17	FIRE PANEL (SEE ELECTRICAL ENG.)
18	PROPOSED EXIT STAIR FROM BROOKSTREET HOTEL (TO BE ADDRESSED UNDER A SEPARATE PERMIT APPLICATION)
19	RELOCATED ROPE GUIDE
20	CONCRETE DRAINAGE SPLASH PAD (REFER TO LANDSCAPE ARCHITECT)
21	FOOT SCRAPER GRILLE (7x0.3)
22	ACCESSIBLE ENTRANCE/EXIT ACCESS (AS REQUIRED FOR RH/FAC)
23	SCUPPER
29	SEATING AREA
31	PROPOSED EXTERIOR BIKE PARKING
32	EXIT TOWARDS BROOKSTREET HOTEL
33	STRUCTURAL REINFORCEMENT (7x12" TRIPLE ROW) BEHIND DRYWALL AT TOILET AND SHOWER AS REQUIRED FOR RH/FAC
34	STRUCTURAL REINFORCEMENT (7x12" TRIPLE ROW) IN BEDROOM FOR CLOTHES ROD AS REQUIRED FOR RH/FAC
35	FLOORING FINISH MUST CONTINUE UNDER WASHROOM VANITY AS REQUIRED FOR RH/FAC
36	FLOORING FINISH MUST CONTINUE UNDER KITCHEN CABINETS AS REQUIRED FOR RH/FAC
37	DEPRESSED SIDEWALK (SEE LANDSCAPE ARCHITECT)
38	PROPOSED PAINTED EGRESS PATH (SEE LANDSCAPE ARCHITECT)
39	EXISTING ELECTRIC VEHICLE CHARGING STATION
40	PROPOSED BOLLARDS (SEE CIVIL ENG.)
41	BANNER FREE TACTILE PAVERS (SEE CIVIL ENG.)

**EXTERIOR MATERIAL LEGEND (PROJECTED)**

1P	CLEAR GLASS
2P	GLASS SPANDREL
3P	TEXTURED METALLIC SPANDREL
4P	LINED GLASS (BIRD SAFETY)
5P	LINED GLASS SPANDREL (BIRD SAFETY)
6P	JULIETTE BALCONY FRAME
7P	VENTILATION LOUVERS IN WINDOW WALL
8P	PRECAST (TO BE PAINTED IN TYPE 2 - LIGHT GREY)
9P	PRECAST (TO BE PAINTED IN TYPE 1 - DARK GREY)
10P	METAL CLADDING
11P	VENTILATION LOUVERS IN PRECAST

**GUARDRAIL DETAILS AND SECTIONS LEGEND**

For guardrail details and sections refer to: A338

1P	GLASS JULIETTE GUARDRAIL
2P	GLASS GUARDRAIL ON TERRACES
3P	GLASS JULIETTE GUARDRAIL ON LEVEL 2 AND 3 ONLY

**ELEVATION LEGEND**

1	CONSTRUCTION NOTES
2	DEMOLITION NOTES
3	NOTES ON EXISTING ELEMENTS
W	WINDOW TYPE SYMBOL (REFER TO WINDOW ELEVATIONS SHEET)
WA	CURTAIN WALL ELEVATION SYMBOL (REFER TO WINDOW ELEVATIONS SHEET)
RF	RADIATION FACADE SURFACE TO BE PROTECTED, 1 H FRR

**NOTES GÉNÉRALES - General Notes**

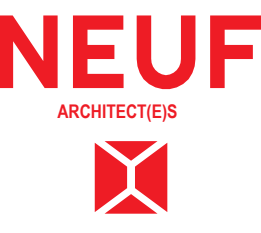
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**ELECTRICAL** Electrical  
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**ARCHITECTES DE PAYSAGE** Landscape Architect  
**NOVATECH**  
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**DESIGN INTERIOR** Interior Design  
**NEUF architect(e)s Inc.**  
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1.514.847.1117 NEUFarchitectes.com  
RCSAJ / Jura



**535 LEGGET DRIVE**

EMPLACEMENT Location NO PROJET No. 13338  
535 LEGGET DRIVE, KANATA, ONTARIO

NO RÉVISION DATE (aa-mm-jj)  
D ISSUED FOR SITE PLAN APPROVAL 2025 01 13

DESIGNÉ PAR Drawn by AT MS  
DATE (aa.mm.jj) 24.06.11  
TITRE DU DESSIN Drawing Title EAST ELEVATION - PROJECTED

VÉRIFIÉ PAR Checked by KP  
ÉCHELLE Scale As indicated

RÉVISION Revision NO DESSIN/Draw Number  
**Q A401P**  
#19216



1/13/2025 4:42:46 PM Autodesk Docs: 13338\_LEGGET DRIVE\_R0402P.DWG ID: 13338\_ARC\_BROD\_R041.rvt



**PARTIAL ELEVATION - TYPICAL FACADE**  
1: 100

**KEY PLAN**  
1: 1000

**GENERAL NOTES**

# NOTE	DESCRIPTION
01	OUTLINE OF CANOPY ON LEVEL 2
02	LINK TO BROOKSTREET HOTEL
03	PROPOSED NEW ENTRANCE CONCRETE PATH
04	PROPOSED NEW VEHICULAR ENTRANCE
05	GRADING TO SLOPE TOWARDS EXISTING LOADING DOCK LEVEL TO FACILITATE MOVE-IN MOVE-OUT AND GARBAGE COLLECTION
06	BEL MAX FOR GARBAGE COLLECTION. SEE CIVIL ENG. PROPOSED EXTERIOR DECK (REFER TO LANDSCAPE ARCHITECT)
07	NEW SIGNAGE
08	ADDITIONAL TREE (REFER TO LANDSCAPE ARCHITECT)
09	PROJECTED BUILDING OUTLINE - GROUND FLOOR
10	MARQUISE OUTLINE
11	PROJECTED BUILDING OUTLINE - SECOND FLOOR
12	CONTACT PANEL (SEE ELECTRICAL ENG.)
13	FIRE PANEL (SEE ELECTRICAL ENG.)
14	PROPOSED EXIT STAIR FROM BROOKSTREET HOTEL (TO BE ADDRESSED UNDER A SEPARATE PERMIT APPLICATION)
15	RELOCATED ROPE GUIDE
16	CONCRETE DRAINAGE SPLASH PAD (REFER TO LANDSCAPE ARCHITECT)
17	FOOT SCRAPER GRILLE (7/4031)
18	ACCESSIBLE ENTRANCE/ EXIT ACCESS (AS REQUIRED FOR RHFAC)
19	SCUPPER
20	SEATING AREA
21	PROPOSED EXTERIOR BIKE PARKING
22	EXIT TOWARDS BROOKSTREET HOTEL
23	STRUCTURAL REINFORCEMENT (2"x12" TRIPLE ROW) BEHIND DRYWALL AT TOILET AND SHOWER AS REQUIRED FOR RHFAC
24	STRUCTURAL REINFORCEMENT (2"x12" TRIPLE ROW) IN BEDROOM FOR CLOTHES ROD AS REQUIRED FOR RHFAC
25	FLOORING FINISH MUST CONTINUE UNDER WASHROOM VANITY AS REQUIRED FOR RHFAC
26	FLOORING FINISH MUST CONTINUE UNDER KITCHEN CABINETS AS REQUIRED FOR RHFAC
27	DEPRESSED SIDEWALK (SEE LANDSCAPE ARCHITECT)
28	PROPOSED PAINTED EGRESS PATH (SEE LANDSCAPE ARCHITECT)
29	EXISTING ELECTRIC VEHICLE CHARGING STATION
30	PROPOSED BOLLARDS (SEE CIVIL ENG.)
31	BARRIER FREE TACTILE PAVERS (SEE CIVIL ENG.)

**EXTERIOR MATERIAL LEGEND (PROJECTED)**

- 1P CLEAR GLASS
- 2P GLASS SPANDREL
- 3P TEXTURED METALLIC SPANDREL
- 4P LINED GLASS (BIRD SAFETY)
- 5P LINED GLASS SPANDREL (BIRD SAFETY)
- 6P JULIETTE BALCONY FRAME
- 7P VENTILATION LOUVERS IN WINDOW WALL
- 8P PRECAST (TO BE PAINTED IN TYPE 2 - LIGHT GREY)
- 9P PRECAST (TO BE PAINTED IN TYPE 1 - DARK GREY)
- 10P METAL CLADDING
- 11P VENTILATION LOUVERS IN PRECAST

**GUARDRAIL DETAILS AND SECTIONS LEGEND**

- 12P GLASS JULIETTE GUARDRAIL
- 13P GLASS GUARDRAIL ON TERRACES
- 14P GLASS JULIETTE GUARDRAIL ON LEVEL 2 AND 3 ONLY

**ELEVATION LEGEND**

- 15P CONSTRUCTION NOTES
- 16P DEMOLITION NOTES
- 17P NOTES ON EXISTING ELEMENTS
- 18P WINDOW TYPE SYMBOL (REFER TO WINDOW ELEVATIONS SHEET)
- 19P CURTAIN WALL ELEVATION SYMBOL (REFER TO WINDOW ELEVATIONS SHEET)
- 20P RADIATION FACADE SURFACE TO BE PROTECTED, 1 H FRR

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DESIGN INTERIOR Interior Design  
**NEUF architect(e)s inc.**  
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T 514 847 1117 [neufarchitectes.com](http://neufarchitectes.com)  
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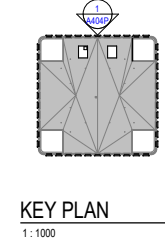
**CLIENT** Client  
**KRP PROPERTIES**  
Ouvrage Project  
**535 LEGGET DRIVE**  
EMPLACEMENT Location NO PROJET No.  
535 LEGGET DRIVE, 13338  
KANATA, ONTARIO  
NO REVISION DATE (aa-mm-jj)  
1 ISSUED FOR SITE PLAN APPROVAL 2025 01 13

DESIGNÉ PAR Drawn by VERIFIÉ PAR Checked by  
AT MS KP  
DATE (aa-mm-jj) 24.06.11 ÉCHELLE Scale  
TITRE DU DESSIN Drawing Title As indicated

**WEST ELEVATION - PROJECTED**  
REVISION Revision NO DESSIN Drawing Number  
**Q A402P**  
#19216



PARTIAL ELEVATION - TYPICAL FACADE 2  
1:100



GENERAL NOTES

# NOTE	DESCRIPTION
01	OUTLINE OF CANOPY ON LEVEL 2
02	LINK TO BROOKSTREET HOTEL
03	PROPOSED NEW ENTRANCE CONCRETE PATH
04	PROPOSED NEW VEHICULAR ENTRANCE
05	GRADING TO SLOPE TOWARDS EXISTING LOADING DOCK LEVEL TO FACILITATE MOVE-IN MOVE-OUT AND GARBAGE COLLECTION
06	BEL MAX FOR GARBAGE COLLECTION. SEE CIVIL ENG. PROPOSED EXTERIOR DECK (REFER TO LANDSCAPE ARCHITECT)
07	NEW SIGNAGE
08	ADDITIONAL TREE (REFER TO LANDSCAPE ARCHITECT)
10	PROJECTED BUILDING OUTLINE - GROUND FLOOR
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14	PROJECTED BUILDING OUTLINE - SECOND FLOOR
15	CONTACT PANEL (SEE ELECTRICAL ENG.)
17	FIRE PANEL (SEE ELECTRICAL ENG.)
18	PROPOSED EXIT STAIR FROM BROOKSTREET HOTEL (TO BE ADDRESSED UNDER A SEPARATE PERMIT APPLICATION)
19	RELOCATED ROPE GUIDE
20	CONCRETE DRAINAGE SPLASH PAD (REFER TO LANDSCAPE ARCHITECT)
21	FOOT SCRAPER GRILLE (71x231)
22	ACCESSIBLE ENTRANCE/EXIT ACCESS (AS REQUIRED FOR RHFAC)
23	SCUPPER
29	SEATING AREA
31	PROPOSED EXTERIOR BIKE PARKING
32	EXIT TOWARDS BROOKSTREET HOTEL
33	STRUCTURAL REINFORCEMENT (2"x12" TRIPLE ROW) BEHIND DRYWALL AT TOILET AND SHOWER AS REQUIRED FOR RHFAC
34	STRUCTURAL REINFORCEMENT (2"x12" TRIPLE ROW) IN BEDROOM FOR CLOTHES ROD AS REQUIRED FOR RHFAC
35	FLOORING FINISH MUST CONTINUE UNDER WASHROOM VANITY AS REQUIRED FOR RHFAC
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37	DEPRESSED SIDEWALK (SEE LANDSCAPE ARCHITECT)
38	PROPOSED PAINTED EGRESS PATH (SEE LANDSCAPE ARCHITECT)
39	EXISTING ELECTRIC VEHICLE CHARGING STATION
40	PROPOSED BOLLARDS (SEE CIVIL ENG.)
41	BARRIER FREE TACTILE PAVERS (SEE CIVIL ENG.)

EXTERIOR MATERIAL LEGEND (PROJECTED)

GP	CLEAR GLASS
ZP	GLASS SPANDREL
SP	TEXTURED METALLIC SPANDREL
BP	LINED GLASS (BIRD SAFETY)
EP	LINED GLASS SPANDREL (BIRD SAFETY)
FP	JULIETTE BALCONY FRAME
VP	VENTILATION LOUVERS IN WINDOW WALL
WP	PRECAST (TO BE PAINTED IN TYPE 2 - LIGHT GREY)
WP	PRECAST (TO BE PAINTED IN TYPE 1 - DARK GREY)
MP	METAL CLADDING
VP	VENTILATION LOUVERS IN PRECAST

GUARDRAIL DETAILS AND SECTIONS LEGEND

For guardrail details and sections refer to: A338

GD	GLASS JULIETTE GUARDRAIL
GD	GLASS GUARDRAIL ON TERRACES
GD	GLASS JULIETTE GUARDRAIL ON LEVEL 2 AND 3 ONLY

ELEVATION LEGEND

CONSTRUCTION NOTES
DEMOLITION NOTES
NOTES ON EXISTING ELEMENTS
WINDOW TYPE SYMBOL (REFER TO WINDOW ELEVATIONS SHEET)
CURTAIN WALL ELEVATION SYMBOL (REFER TO WINDOW ELEVATIONS SHEET)
RADIATION FACADE SURFACE TO BE PROTECTED, 1 H FRR

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ARCHITECTS DE PAYSAGE: Landscape Architect  
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ARCHITECTES: Architect  
DESIGN INTERIOR: Interior Design  
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T: 514 847 1117, NEUFarchitectes.com  
RCSMA / Sma



CLIENT: Client  
**535 LEGGET DRIVE**  
EMPLACEMENT Location: 535 LEGGET DRIVE, KANATA, ONTARIO  
NO PROJET No.: 13338  
NO RÉVISION: 0  
DATE (aa-mm-jj): 2025 01 13  
ISSUED FOR SITE PLAN APPROVAL

DESIGNER PAR: Drawn by: AT MS  
DATE (aa.mm.jj): 24.06.11  
TITRE DU DESSIN: Drawing Title: NORTH ELEVATION - PROJECTED  
VERIFIE PAR: Checked by: KP  
ÉCHELLE: Scale: As indicated  
RÉVISION: Revision: Q  
NO DESSIN: Draw Number: A403P  
#19216

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