

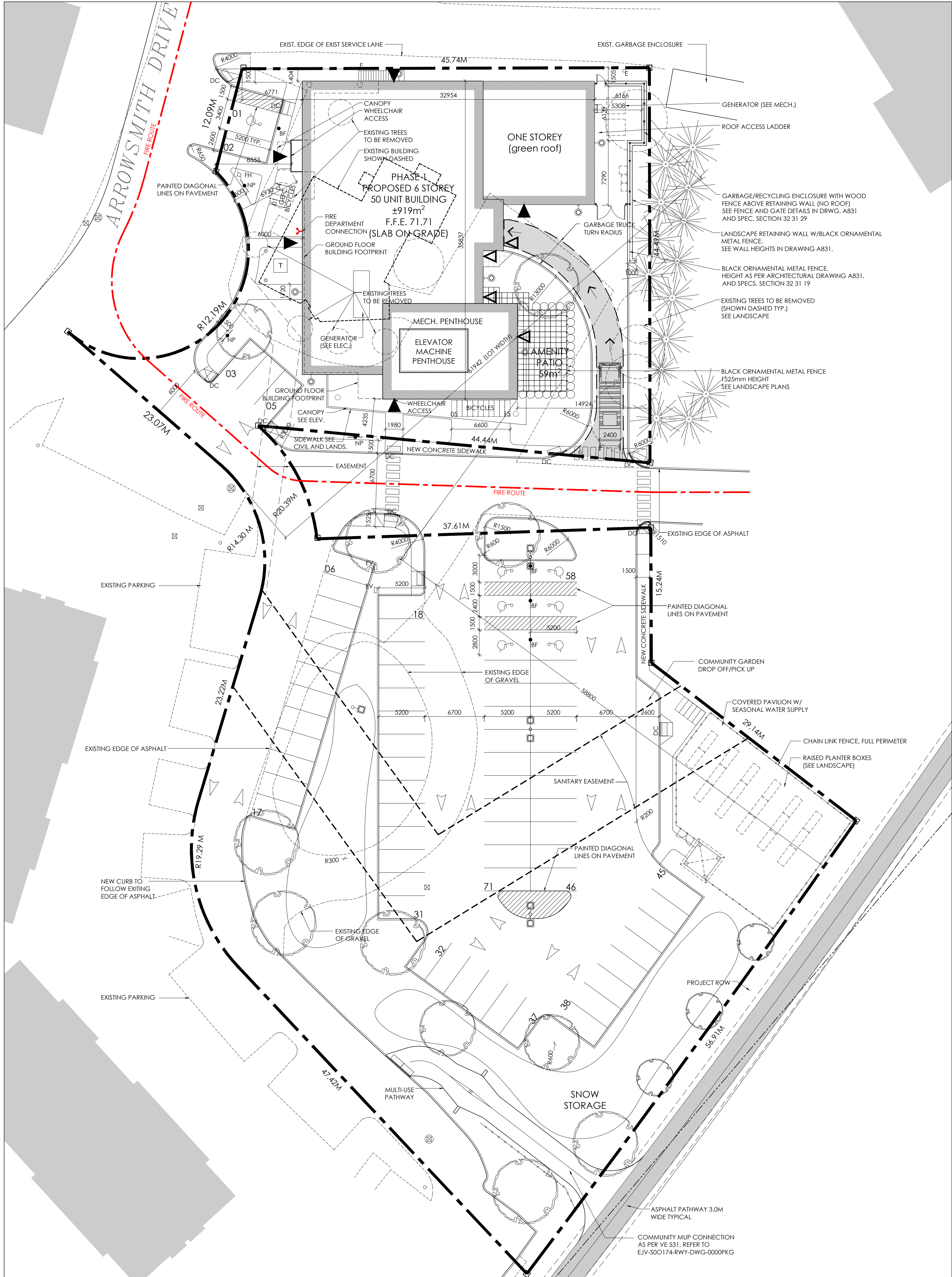
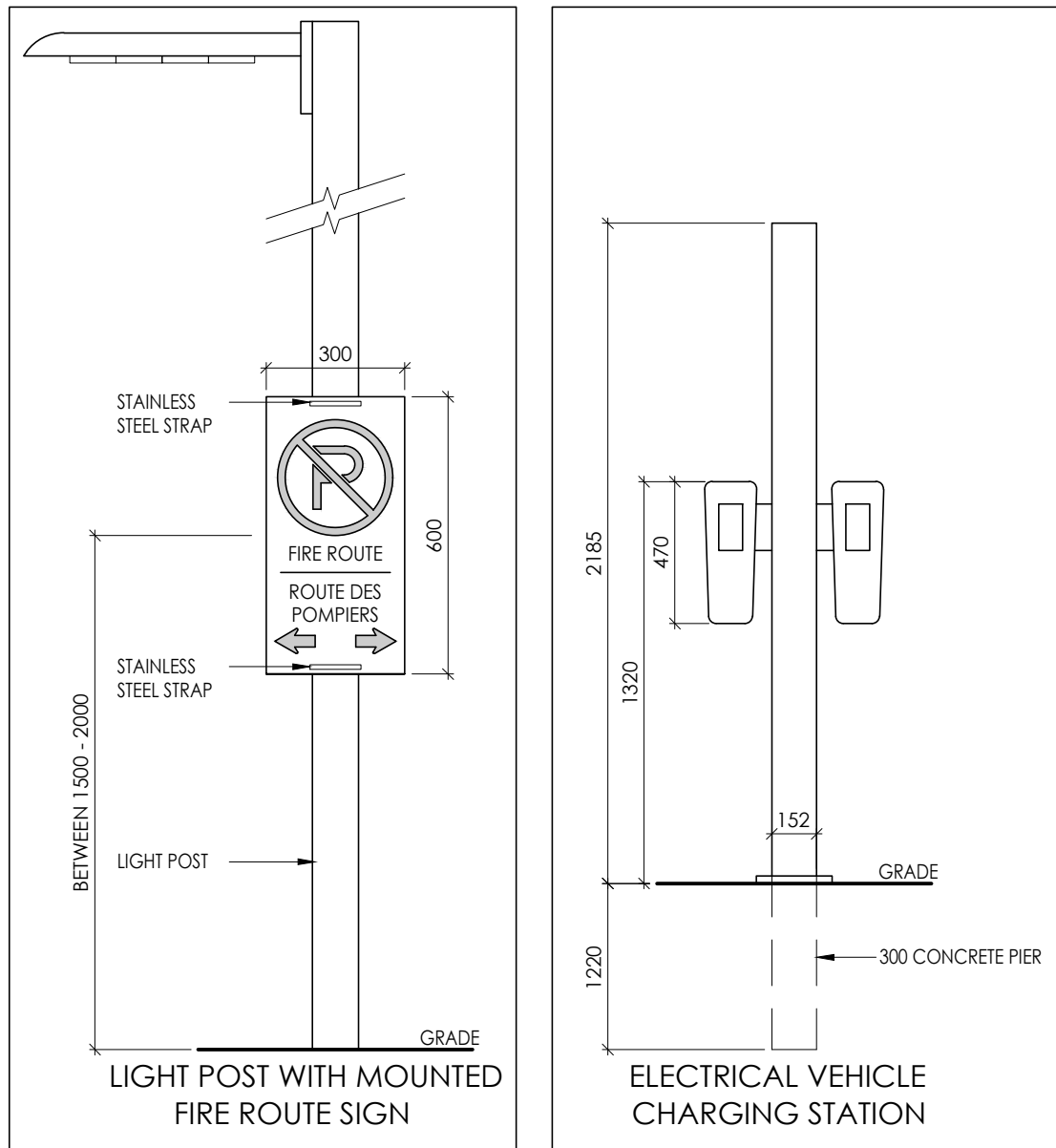
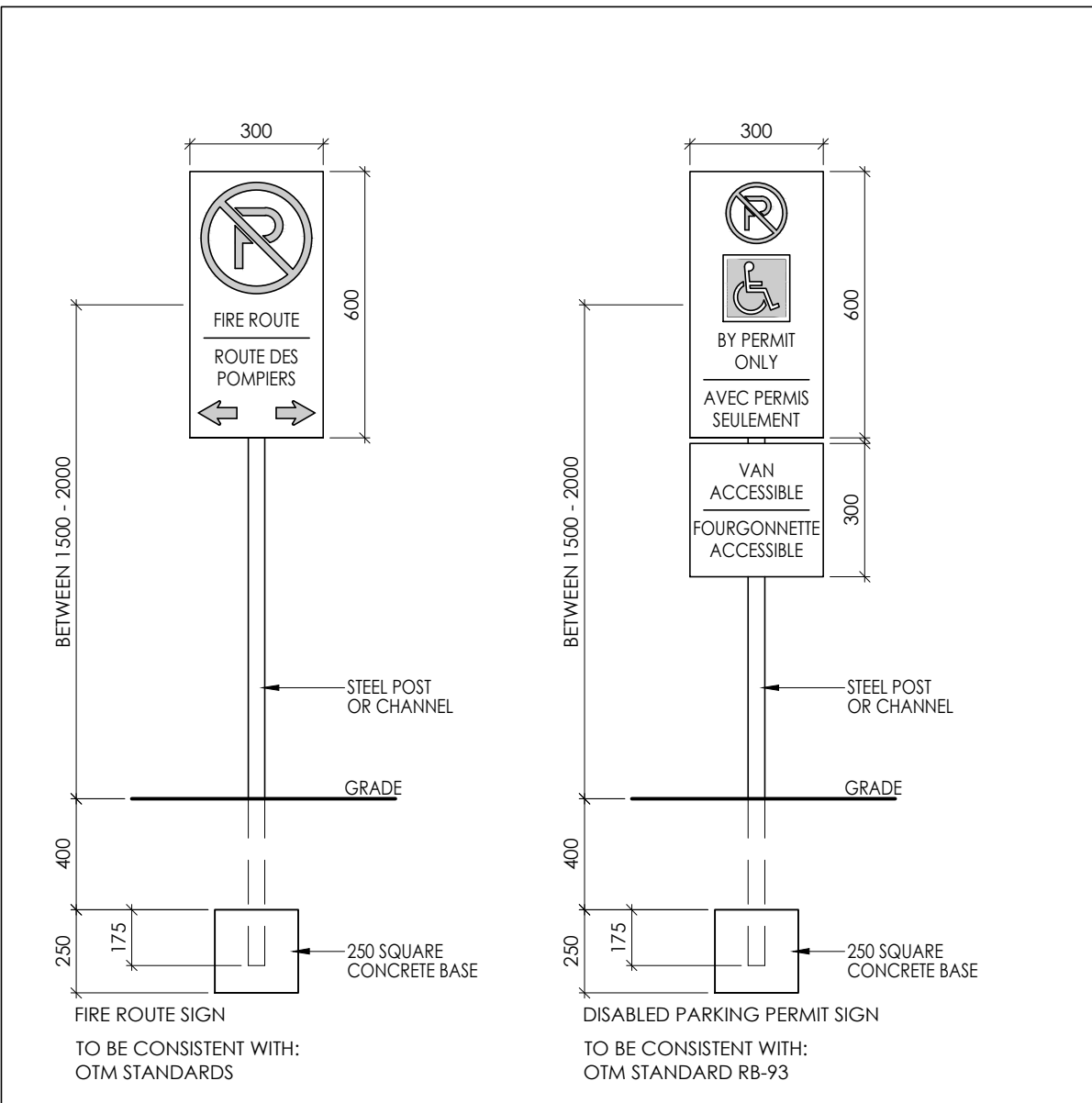
SITE STATISTICS EXISTING ZONE: I1E - MINOR INSTITUTIONAL PROPOSED ZONING: R5A-A-X		
AREAS (m ²): SITE (TOTAL): 6,018 (100%)	REQUIRED/PERMITTED IN I1E ZONE	PROVIDED
MECHANISM		
LOT COVERAGE	---	919 (15.6%)
LANDSCAPE	---	2302 (38.3%)
ASPHALT	---	2777 (46.1%)
MINIMUM FRONT YARD SETBACK	1m - 10m (HEIGHT DEPENDANT)	6m
MINIMUM SIDE YARD SETBACK	1m - 10m (HEIGHT DEPENDANT)	1.5m
MINIMUM REAR YARD SETBACK	1m - 10m (HEIGHT DEPENDANT)	58.8m
MAXIMUM BUILDING HEIGHT	18m	17.859m
NUMBER OF UNITS	0 UNITS	50 UNITS

PARKING CALCULATIONS:		
NEW BUILDING:		
FLOOR:	OCCUPANCY:	PARKING RATE:
2-6	RESIDENTIAL (50 UNITS)	DWELLING IN A MIXED USE BUILDING: 1.0/unit
		DWELLING: 1.0x50 = 50
1	COMMUNITY CENTER (402.82 M2 GFA)	4/100M2 GFA
		COMMUNITY CENTER 402.82 M2 X 4/100M2 = 16.11
PARKING PROVIDED:		71 SPACES

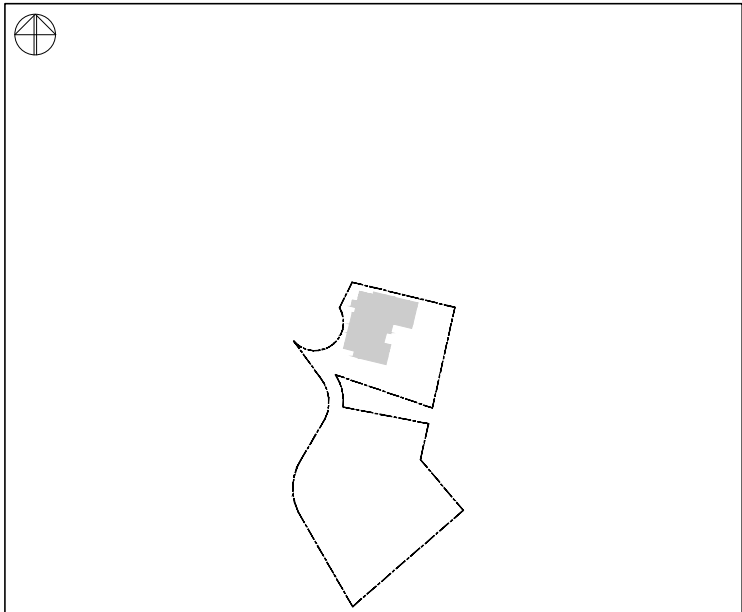
PARKING SPACE:	2.6m X 5.2m	PROVIDED: 2.6 x 5.2
ACCESSIBLE PARKING SPACE SIZE PROVISIONS	REQUIRED (BY AODA): TYPE A: 3.4 x 5.2 TYPE B: 2.4 x 5.2	TYPE A: 3.4 x 5.2 TYPE B: 2.4 x 5.2
ACCESSIBLE PARKING		PROVIDED: TYPE A: 3 TYPE B: 4
MIN AISLE WIDTH	REQUIRED: 6.7 m	PROVIDED: 6.7 m
AMENITY SPACE	REQUIRED: 6m ² /UNIT x 50 UNITS = 300m ²	PROVIDED: COMMON ROOM = 64m ²

BICYCLE PARKING CALCULATIONS:		
APT. DWELLING UNIT	REQUIRED: 0.5/UNIT 50 UNITS X 0.5 = 25 SPACES	PROVIDED: 25 SPACES
RETAIL FOOD STORE (SIMILAR)	REQUIRED: 1/250 M2 GFA 331.19 X 1/250 = 1.32	PROVIDED: 4 SPACES
BICYCLE PARKING SPACE: 0.6X1.8M WITH 1.5M AISLE		

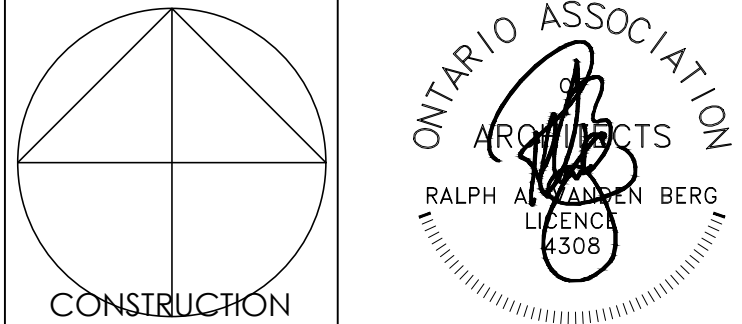
GROSS FLOOR AREA (GFA)	
GROUND FLOOR	477.64 M2
SECOND FLOOR	588.61 M2
THIRD FLOOR	588.61 M2
FOURTH FLOOR	588.61 M2
FIFTH FLOOR	588.61 M2
SIXTH FLOOR	588.61 M2
TOTAL:	3240.69 M2



NO.	REVISION	DATE
2	CITY COMMENTS INCORPORATED	DEC. 18/23
3	ISSUED FOR GARB. ENCLOSURE & COORD.	FEB. 07/24
4	REVISED FOR SITE PLAN APPLICATION	AUG. 01/24
5	ISSUED FOR BUILDING PERMIT	DEC. 6/2024
6	REISSUED FOR ZONING BY-LAW AMEND.	JAN. 17/2025



MH	MANHOLE - SANITARY AND STORM (SEE CIVIL) ('E' DENOTES EXISTING)
CB	CATCHBASIN (SEE CIVIL) ('E' DENOTES EXISTING)
FH	FIRE HYDRANT (SEE CIVIL) ('E' DENOTES EXISTING)
U/P	UTILITY POLE
▲	DESIGNATED BUILDING EXIT
△	DENOTES ALTERNATE EXIT
—	TYPICAL CURB (REFER: CITY OF OTTAWA STANDARDS)
—	DEPRESSED CURB (REFER: CITY OF OTTAWA STANDARDS)
—	PROPERTY LINE
□	DESIGNATED BARRIER FREE PARKING SPACE
[EV]	ELECTRIC VEHICLE CHARGING STATION
BF	BARRIER FREE PARKING SIGN
FR	FIRE ROUTE SIGN
NP	NO PARKING SIGN
□	LIGHT STANDARD W/ STRAP ON FIRE ROUTE SIGN (SEE ELEC.)
□	LIGHT POST (SEE ELEC.)
□	WALL SCONCE (SEE ELEC.)
□	BOLLARD LIGHT (SEE ELEC.)
□	SIAMESE CONNECTION
□	TACTILE WALKING SURFACE INDICATOR (TWSI)
□	DIAGONAL PAINTED LINES
□	TRANSFORMER W/ BOLLARD (SEE ELEC.)
□	SITE FENCING (SEE LANDSCAPE)
□	EXISTING TREES (SEE LANDSCAPE AND TREE CONSERVATION REPORT)
□	TREES TO BE REMOVED (SEE LANDSCAPE AND TREE CONSERVATION REPORT)
□	PROPOSED TREES (SEE LANDSCAPE AND TREE CONSERVATION REPORT)



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1788 OLD STONE LANE • 1ST FLOOR • OTTAWA, ONTARIO • K1P 1G8 • CANADA

PROJECT TITLE
WIGWAMEN
2040 ARROWSMITH DRIVE, OTTAWA, ON. K1J 8V9

DRAWING TITLE
SITE PLAN

DESIGNED BY: RV
DRAWN BY: JN, NG
START DATE: 2022
SCALE: 1:250
PROJECT NO.: 2200

DRAWING NO.: **A000**