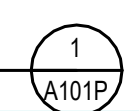


GENERAL SITE PLAN - PROJECTED

1:300



GROSS FLOOR AREA (GFA) AS PER CITY OF OTTAWA DEFINITION

GROSS FLOOR AREA (RESIDENTIAL)	15 939 m ²
GROSS FLOOR AREA (OFFICE)	400 m ²
TOTAL GROSS FLOOR AREA (RESIDENTIAL & OFFICE)	16 339 m ²

535 LEGGET - SITE STATISTICS

PROPOSED LOT AREA	7 939 m ²
FOOTPRINT	1 395 m ² (45% max)
GROSS BUILDING AREA ABOVE GRADE	14 769 m ²
CONSTRUCTION AREA UNDERGROUND	1 570 m ²
GROSS FLOOR AREA (ABOVE + BELOW GRADE)	16 339 m ²

LEGAL DESCRIPTION OF PROPERTY
 PIN 04517-1171 Part Lot & Conc. 4, Ottawa, being Parts 5 and 6 Plan 4R18548 and Parts 4, 5 and 9 Plan 4R17108

PROPERTY BOUNDARY INFORMATION DERIVED FROM SURVEYOR'S REAL PROPERTY REPORT BY FAIRHALL MOFFATT AND WOOLAND ONTARIO LAND SURVEYOR, JULY 25, 2024

535 LEGGET - NUMBER OF UNITS

LEVEL	NUMBER OF UNITS
BASEMENT	0
GROUND FLOOR	0
2nd Floor to 9th	8 x 13 UNITS 104 UNITS
10th Floor	11 UNITS
11th Floor	-
TOTAL	115 UNITS

PARKING LEGEND

	TYPICAL PARKING SPACE 5.5 m X 2.6 m (5.2 m X 2.6 m min.)
	BARRIER FREE PARKING SPACE 6 m X 3.4 m
	BARRIER FREE PARKING SPACE 6 m X 2.4 m (min.)
	EV PARKING SPACE 6 m X 2.5 m (min.)
	REDUCED PARKING SPACE 4.8 m X 2.3 m (min.)

SURFACE LEGEND

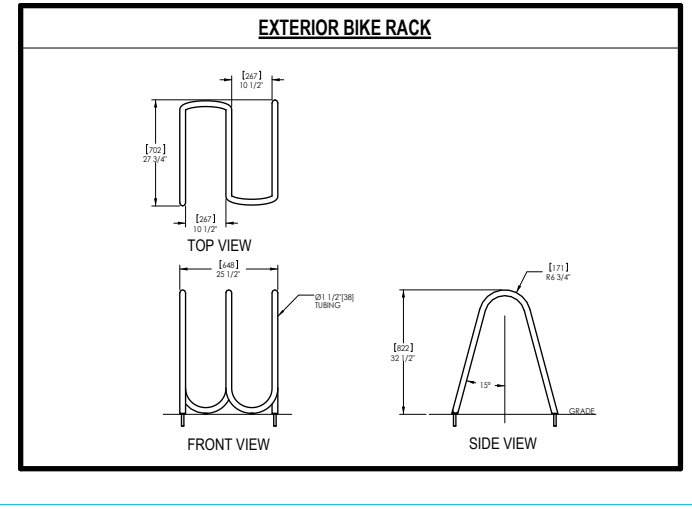
	EXISTING SNOW STORAGE AREA (SEE LANDSCAPE ARCHITECT)
	CLEAR STONE (BY LANDSCAPE ARCHITECT)
	PEDESTRIAN PATH (BY LANDSCAPE ARCHITECT)
	LANDSCAPING (BY LANDSCAPE ARCHITECT)
	DECK (BY LANDSCAPE ARCHITECT)
	INTERVENTION AREA
	PAVING (BY LANDSCAPE ARCHITECT)
	DEPRESSED SIDEWALK (SEE LANDSCAPE ARCHITECT)

LINE TYPE & ACCESS LEGEND

	VEHICULAR ENTRY
	ACCESS TO BUILDING
	ACCESS TO OFFICE
	EXITS
	FIRE ROUTE (ON SITE)
	PROPERTY LINE
	CIRCULATION ARROW
	SETBACK

WALL AND DOOR LEGEND

	EXISTING WALL
	EXISTING STRUCTURE
	DEMOLISH WALL
	NEW WALL
	DEMOLISH DOOR
	EXISTING DOOR
	NEW DOOR



GENERAL NOTES

# NOTE	DESCRIPTION
01	OUTLINE OF CANOPY ON LEVEL 2
02	LINK TO BROOKSTREET HOTEL
03	PROPOSED NEW ENTRANCE CONCRETE PATH
04	PROPOSED NEW VEHICULAR ENTRANCE
05	GRADING TO SLOPE TOWARDS EXISTING LOADING DOCK LEVEL TO FACILITATE MOVE-IN MOVE-OUT AND GARBAGE COLLECTION
06	MAX FOR GARBAGE COLLECTION (SEE CIVIL ENG. PROPOSED EXTERIOR DECK) (REFER TO LANDSCAPE ARCHITECT)
07	NEW SIGNAGE
08	ADDITIONAL TREE (REFER TO LANDSCAPE ARCHITECT)
09	PROJECTED BUILDING OUTLINE - GROUND FLOOR
10	MARQUEE OUTLINE
11	PROJECTED BUILDING OUTLINE - SECOND FLOOR
12	CONTACT PANEL (SEE ELECTRICAL ENG.)
13	FIRE PANEL (SEE ELECTRICAL ENG.)
14	PROPOSED EXIT STAIR FROM BROOKSTREET HOTEL (TO BE ADDRESSED UNDER A SEPARATE PERMIT APPLICATION)
15	RELOCATED ROPE GUIDE
16	CONCRETE DRAINAGE SPLASH PAD (REFER TO LANDSCAPE ARCHITECT)
17	FOOT SCRAPER GRILLE (7/10/21)
18	ACCESSIBLE ENTRANCE/ EXIT ACCESS (AS REQUIRED FOR RH/FAC)
19	SCUPLER
20	SEATING AREA
21	PROPOSED EXTERIOR BIKE PARKING
22	EXIT TOWARDS BROOKSTREET HOTEL
23	STRUCTURAL REINFORCEMENT (2"X12" TRIPLE ROW) BEHIND DRYWALL AT TOILET AND SHOWER AS REQUIRED FOR RH/FAC
24	STRUCTURAL REINFORCEMENT (2"X12" TRIPLE ROW) IN BEDROOM FOR CLOTHES ROD AS REQUIRED FOR RH/FAC
25	FLOORING FINISH MUST CONTINUE UNDER WASHROOM VANITY AS REQUIRED FOR RH/FAC
26	FLOORING FINISH MUST CONTINUE UNDER KITCHEN CABINETS AS REQUIRED FOR RH/FAC
27	DEPRESSED SIDEWALK (SEE LANDSCAPE ARCHITECT)
28	PROPOSED PAINTED EGRESS PATH (SEE LANDSCAPE ARCHITECT)
29	EXISTING ELECTRIC VEHICLE CHARGING STATION
30	PROPOSED BOLLARDS (SEE CIVIL ENG.)
31	BARRIER FREE TACTILE PAVERS (SEE CIVIL ENG.)

GENERAL NOTES - EXISTING

# NOTE	DESCRIPTION
E01	PROPERTY LINE
E02	LOADING DOCK
E03	DEMOLITION OF EXISTING STREET SIGNAGE, FOLLOWED BY SURFACE RESTORATION AND STREETSCAPE ENHANCEMENT (SEE LANDSCAPE ARCHITECT)
E04	EXISTING MECHANICAL EQUIPMENT
E05	REINFORCING BOWLS EXTENDING ABOVE THE SLAB WITH PROTECTIVE HOARDING
E06	EXISTING PEDESTRIAN ENTRANCE
E07	EXISTING CURB TO SEPARATE PARKING AREAS
E08	EXISTING BROOKSTREET HOTEL
E09	EXISTING BIKE RACK
E10	EXISTING FIRE HYDRANT
E11	GARBAGE CHUTE
E12	EXISTING ROOF ANCHOR
E13	PIPE / CONDUIT ENCLOSURE
E14	FILUE PIPES
E15	KITCHEN EXHAUST FAN
E16	EXISTING ROPE GUIDE TO BE RELOCATED
E17	EXISTING HOUSEKEEPING PAD TO BE DEMOLISHED
E18	DEMOLITION OF EXISTING CURBS AND SIDEWALK TO FACILITATE THE CREATION OF A NEW VEHICULAR ENTRANCE FROM LEGGET DRIVE, INCLUDING NECESSARY LANDSCAPE ADJUSTMENTS (SEE LANDSCAPE ARCHITECT AND CIVIL ENGINEER)
E19	EXISTING ACCESS TO BE DECOMMISSIONED AND PERMANENTLY CLOSED
E20	ALL EXISTING ROOF ASSEMBLIES MUST BE INSPECTED DURING THE DEMOLITION PHASE TO ASSESS AND DETERMINE THE NECESSARY INTERVENTIONS
E21	ALL EXISTING PRECAST CONCRETE PANELS AND ASSOCIATED ELEMENTS MUST BE INSPECTED DURING THE DEMOLITION PHASE TO ASSESS AND DETERMINE THE NECESSARY INTERVENTIONS
E22	EXISTING DRAINS TO BE REPURPOSED (SEE CIVIL ENGINEER)
E23	EXISTING FOOT SCRAPER GRILL
E24	EXISTING PAVED PATHWAY
E25	EXISTING PAINTED PATHWAY
E26	EXISTING GAS METERS
E27	EXISTING COMMUNICATION BOX
E28	EXISTING SHRUBS
E29	EXISTING COMMUNICATION TRANSFORMER

ZONE PROVISIONS 535 LEGGET

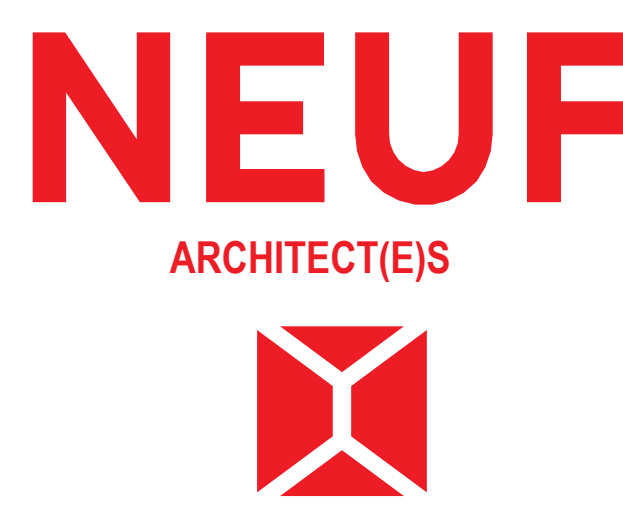
ZONING BY-LAW 2008-250
 CURRENT ZONING: IP6 [301]

	REQUIRED	PROVIDED
FRONT & CORNER YARD SETBACK	FRONT MIN. 12 m	25.14 m
INTERIOR RIGHT SIDE YARD SETBACK	MIN. 7.5 m	61.11 m
INTERIOR LEFT SIDE YARD SETBACK	MIN. 7.5 m	8.04 m
REAR YARD SETBACK	MIN. 7.5 m	13.49 m
BUILDING HEIGHT	44 m (MAX)	11 STOREYS 44 m (MAX)
AMENITY SPACE	6 m ² X 115 UNITS = 690 m ²	847 m ²
PRIVATE AMENITY SPACE	-	145 m ²
COMMUNAL AMENITY AREA	MINIMUM OF 50% OF REQUIRED TOTAL AMENITY AREA (423 m ² min.)	702 m ²
BICYCLE PARKING (RESIDENTIAL)	1 X 115 UNITS = 115 SPOTS (25% INDOORS)	115
BICYCLE PARKING (OFFICE)	2 SPOTS (1 LONG-TERM, 1 SHORT-TERM)	2

NUMBER OF PARKING SPACES

	REQUIRED	PROVIDED
PARKING (RESIDENTIAL)	1,2 SPACES X 115 UNITS	138 81 SPACES
PARKING (VISITOR)	0,2 SPACES X 115 UNITS	23 20 SPACES
OFFICE	400 m ²	4 4 SPACES
BARRIER FREE PARKING	TYPE A = 1 TYPE B = 1	2 TYPE A = 1 TYPE B = 1
TOTAL PARKING REQUIRED		167 107 SPACES

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ELECTRICAL Électrique
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 SCEAU / Seal



CLIENT Client
535 LEGGET DRIVE
 KANATA, ONTARIO

EMPLACEMENT Location
 535 LEGGET DRIVE, KANATA, ONTARIO

NO PROJET No. 13338

NO	REVISION	DATE (aa-mm-jj)
Q	ISSUED FOR SITE PLAN APPROVAL	2025 01 13

DESSIN PAR Drawn by AT MS
 DATE (aa mm jj) 24.09.18
 TITRE DU DESSIN Drawing Title
GENERAL SITE PLAN - PROJECTED

VERIFIE PAR Checked by KP
 ECHELLE Scale As indicated

REVISION Revision
Q

NO. DESSIN Drawing Number
A101P
 #19216