



NEUF

ARCHITECT(E)S

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A402P	WEST ELEVATION - PROJECTED	Q	2025 01 13
A403P	NORTH ELEVATION - PROJECTED	Q	2025 01 13
TOTAL: 10			

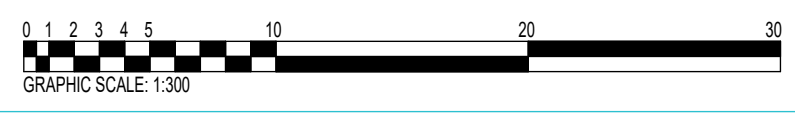
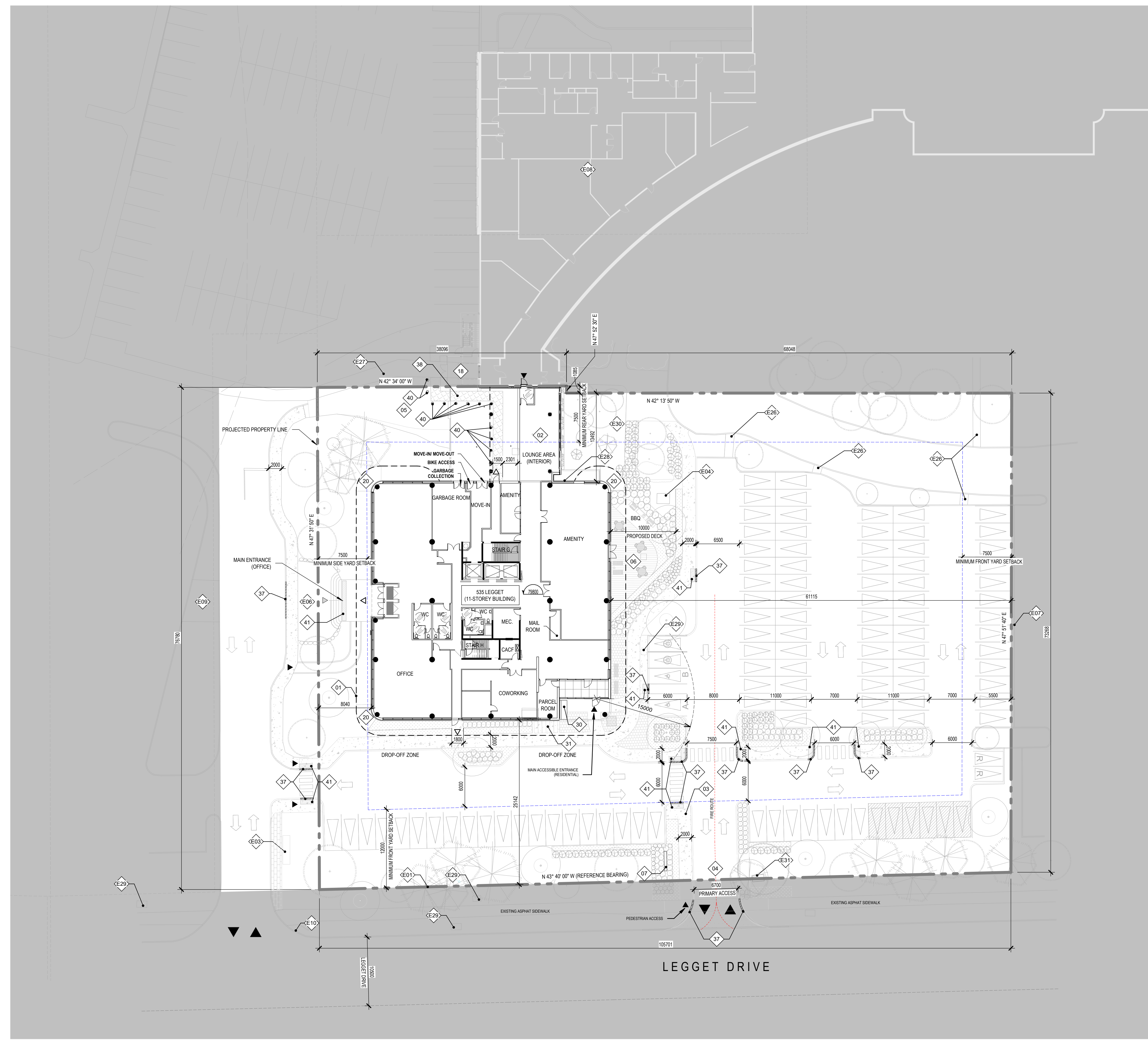


535 LEGGET DRIVE
535 LEGGET DRIVE, KANATA, ONTARIO
CLIENT : KRP PROPERTIES



NEUF
ARCHITECT(E)S

ISSUED FOR SITE PLAN APPROVAL 2025-01-13
COORDINATION Coordination
PERMIS Permit
SOUSSION Tender
REVISION GÉNÉRALE General revision
CONSTRUCTION Construction
FIN DES TRAVAUX Record Drawings



GENERAL SITE PLAN - PROJECTED
1:300

GROSS FLOOR AREA (GFA) AS PER CITY OF OTTAWA DEFINITION

GROSS FLOOR AREA (RESIDENTIAL)	15 939 m ²
GROSS FLOOR AREA (OFFICE)	400 m ²
TOTAL GROSS FLOOR AREA (RESIDENTIAL & OFFICE)	16 339 m ²

535 LEGGET - SITE STATISTICS

PROPOSED LOT AREA	7 939 m ²
FOOTPRINT	1 395 m ² (45% max)
GROSS BUILDING AREA ABOVE GRADE	14 769 m ²
CONSTRUCTION AREA UNDERGROUND	1 570 m ²
GROSS FLOOR AREA (ABOVE + BELOW GRADE)	16 339 m ²

LEGAL DESCRIPTION OF PROPERTY
PIN 04517-1171 Part Lot & Conc. 4, Ottawa, being Parts 5 and 6 Plan 4R18548 and Parts 4, 5 and 9 Plan 4R17108

PROPERTY BOUNDARY INFORMATION DERIVED FROM SURVEYOR'S REAL PROPERTY REPORT BY FAIRHALL MOFFATT AND WOOLAND ONTARIO LAND SURVEYOR, JULY 25, 2024

535 LEGGET - NUMBER OF UNITS

LEVEL	NUMBER OF UNITS
BASEMENT	0
GROUND FLOOR	0
2nd Floor to 9th	8 x 13 UNITS 104 UNITS
10th Floor	11 UNITS
11th Floor	-
TOTAL	115 UNITS

PARKING LEGEND

TYPICAL PARKING SPACE	5.5 m X 2.6 m (5.2 m X 2.6 m min.)
BARRIER FREE PARKING SPACE	6 m X 3.4 m
EV PARKING SPACE	6 m X 2.4 m (min.)
EV PARKING SPACE	6 m X 2.5 m (min.)
REDUCED PARKING SPACE	4.8 m X 2.3 m (min.)

SURFACE LEGEND

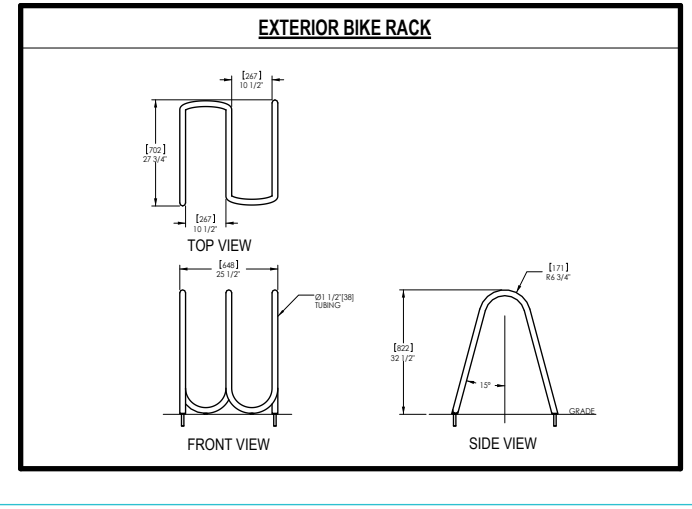
EXISTING SNOW STORAGE AREA (SEE LANDSCAPE ARCHITECT)
CLEAR STONE (BY LANDSCAPE ARCHITECT)
PEDESTRIAN PATH (BY LANDSCAPE ARCHITECT)
LANDSCAPING (BY LANDSCAPE ARCHITECT)
DECK (BY LANDSCAPE ARCHITECT)
INTERVENTION AREA
PAVING (BY LANDSCAPE ARCHITECT)
DEPRESSED SIDEWALK (SEE LANDSCAPE ARCHITECT)

LINE TYPE & ACCESS LEGEND

VEHICULAR ENTRY	CIRCULATION ARROW
ACCESS TO BUILDING	ACCESS TO OFFICE
EXITS	FIRE ROUTE (ON SITE)
PROPERTY LINE	SETBACK

WALL AND DOOR LEGEND

EXISTING WALL	EXISTING STRUCTURE
DEMOLISH WALL	NEW WALL
DEMOLISH DOOR	EXISTING DOOR
NEW DOOR	



GENERAL NOTES

# NOTE	DESCRIPTION
01	OUTLINE OF CANOPY ON LEVEL 2
02	LINK TO BROOKSTREET HOTEL
03	PROPOSED NEW ENTRANCE CONCRETE PATH
04	PROPOSED NEW VEHICULAR ENTRANCE
05	GRADING TO SLOPE TOWARDS EXISTING LOADING DOCK LEVEL TO FACILITATE MOVE-IN MOVE-OUT AND GARBAGE COLLECTION
06	MAX FOR GARBAGE COLLECTION (SEE CIVIL ENG. PROPOSED EXTERIOR DECK) (REFER TO LANDSCAPE ARCHITECT)
07	NEW SIGNAGE
08	ADDITIONAL TREE (REFER TO LANDSCAPE ARCHITECT)
09	PROJECTED BUILDING OUTLINE - GROUND FLOOR
10	MARQUEE OUTLINE
11	PROJECTED BUILDING OUTLINE - SECOND FLOOR
12	CONTACT PANEL (SEE ELECTRICAL ENG.)
13	FIRE PANEL (SEE ELECTRICAL ENG.)
14	PROPOSED EXIT STAIR FROM BROOKSTREET HOTEL (TO BE ADDRESSED UNDER A SEPARATE PERMIT APPLICATION)
15	RELOCATED ROPE GUIDE
16	CONCRETE DRAINAGE SPLASH PAD (REFER TO LANDSCAPE ARCHITECT)
17	FOOT SCRAPER GRILLE (7/10/21)
18	ACCESSIBLE ENTRANCE/ EXIT ACCESS (AS REQUIRED FOR RH/FAC)
19	SCUPLER
20	SEATING AREA
21	PROPOSED EXTERIOR BIKE PARKING
22	EXIT TOWARDS BROOKSTREET HOTEL
23	STRUCTURAL REINFORCEMENT (2"X12" TRIPLE ROW) BEHIND DRYWALL AT TOILET AND SHOWER AS REQUIRED FOR RH/FAC
24	STRUCTURAL REINFORCEMENT (2"X12" TRIPLE ROW) IN BEDROOM FOR CLOTHES ROD AS REQUIRED FOR RH/FAC
25	FLOORING FINISH MUST CONTINUE UNDER WASHROOM VANITY AS REQUIRED FOR RH/FAC
26	FLOORING FINISH MUST CONTINUE UNDER KITCHEN CABINETS AS REQUIRED FOR RH/FAC
27	DEPRESSED SIDEWALK (SEE LANDSCAPE ARCHITECT)
28	PROPOSED PAINTED EGRESS PATH (SEE LANDSCAPE ARCHITECT)
29	EXISTING ELECTRIC VEHICLE CHARGING STATION
30	PROPOSED BOLLARDS (SEE CIVIL ENG.)
31	BARRIER FREE TACTILE PAVERS (SEE CIVIL ENG.)

GENERAL NOTES - EXISTING

# NOTE	DESCRIPTION
E01	PROPERTY LINE
E02	LOADING DOCK
E03	DEMOLITION OF EXISTING STREET SIGNAGE, FOLLOWED BY SURFACE RESTORATION AND STREETSCAPE ENHANCEMENT (SEE LANDSCAPE ARCHITECT)
E04	EXISTING MECHANICAL EQUIPMENT
E05	REINFORCING BOWLS EXTENDING ABOVE THE SLAB WITH PROTECTIVE HOARDING
E06	EXISTING PEDESTRIAN ENTRANCE
E07	EXISTING CURB TO SEPARATE PARKING AREAS
E08	EXISTING BROOKSTREET HOTEL
E09	EXISTING BIKE RACK
E10	EXISTING FIRE HYDRANT
E11	GARBAGE CHUTE
E12	EXISTING ROOF ANCHOR
E13	PIPE / CONDUIT ENCLOSURE
E14	FILUE PIPES
E15	KITCHEN EXHAUST FAN
E16	EXISTING ROPE GUIDE TO BE RELOCATED
E17	EXISTING HOUSEKEEPING PAD TO BE DEMOLISHED
E18	DEMOLITION OF EXISTING CURBS AND SIDEWALK TO FACILITATE THE CREATION OF A NEW VEHICULAR ENTRANCE FROM LEGGET DRIVE, INCLUDING NECESSARY LANDSCAPE ADJUSTMENTS (SEE LANDSCAPE ARCHITECT AND CIVIL ENGINEER)
E19	EXISTING ACCESS TO BE DECOMMISSIONED AND PERMANENTLY CLOSED
E20	ALL EXISTING ROOF ASSEMBLIES MUST BE INSPECTED DURING THE DEMOLITION PHASE TO ASSESS AND DETERMINE THE NECESSARY INTERVENTIONS
E21	ALL EXISTING PRECAST CONCRETE PANELS AND ASSOCIATED ELEMENTS MUST BE INSPECTED DURING THE DEMOLITION PHASE TO ASSESS AND DETERMINE THE NECESSARY INTERVENTIONS
E22	EXISTING DRAINS TO BE REPURPOSED (SEE CIVIL ENGINEER)
E23	EXISTING FOOT SCRAPER GRILL
E24	EXISTING PAVED PATHWAY
E25	EXISTING PAINTED PATHWAY
E26	EXISTING GAS METERS
E27	EXISTING COMMUNICATION BOX
E28	EXISTING SHRUBS
E29	EXISTING COMMUNICATION TRANSFORMER

ZONE PROVISIONS 535 LEGGET

ZONING BY-LAW 2008-250
CURRENT ZONING: IP6 [301]

	REQUIRED	PROVIDED
FRONT & CORNER YARD SETBACK	FRONT MIN. 12 m	25.14 m
INTERIOR RIGHT SIDE YARD SETBACK	MIN. 7.5 m	61.11 m
INTERIOR LEFT SIDE YARD SETBACK	MIN. 7.5 m	8.04 m
REAR YARD SETBACK	MIN. 7.5 m	13.49 m
BUILDING HEIGHT	44 m (MAX)	11 STOREYS 44 m (MAX)
AMENITY SPACE	6 m ² X 115 UNITS = 690 m ²	847 m ²
PRIVATE AMENITY SPACE	-	145 m ²
COMMUNAL AMENITY AREA	MINIMUM OF 50% OF REQUIRED TOTAL AMENITY AREA (423 m ² min.)	702 m ²
BICYCLE PARKING (RESIDENTIAL)	1 X 115 UNITS = 115 SPOTS (25% INDOORS)	115
BICYCLE PARKING (OFFICE)	2 SPOTS (1 LONG-TERM, 1 SHORT-TERM)	2

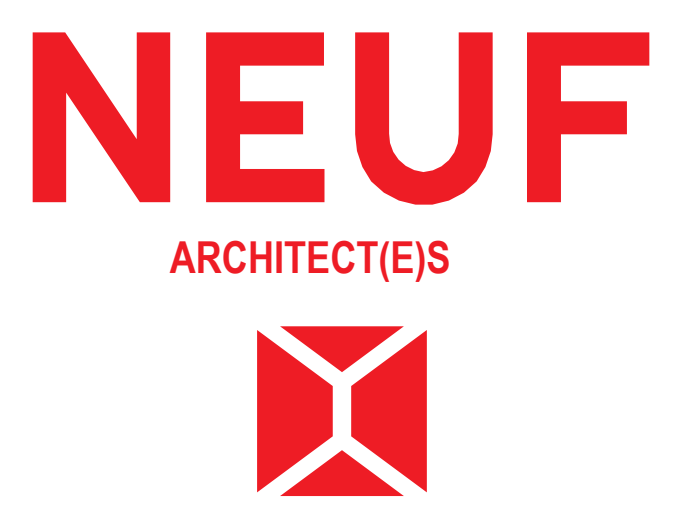
NUMBER OF PARKING SPACES

	REQUIRED	PROVIDED
PARKING (RESIDENTIAL)	1,2 SPACES X 115 UNITS	138 81 SPACES
PARKING (VISITOR)	0,2 SPACES X 115 UNITS	23 20 SPACES
OFFICE	400 m ²	4 4 SPACES
BARRIER FREE PARKING	TYPE A = 1 TYPE B = 1	2 TYPE A = 1 TYPE B = 1
TOTAL PARKING REQUIRED		167 107 SPACES

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T 514 847 1117 NEUFarchitectes.com
SCEAU / Seal



CLIENT Client
535 LEGGET DRIVE

EMPLACEMENT Location
535 LEGGET DRIVE, KANATA, ONTARIO

NO. REVISION DATE (aa-mm-ii)
Q ISSUED FOR SITE PLAN APPROVAL 2025 01 13

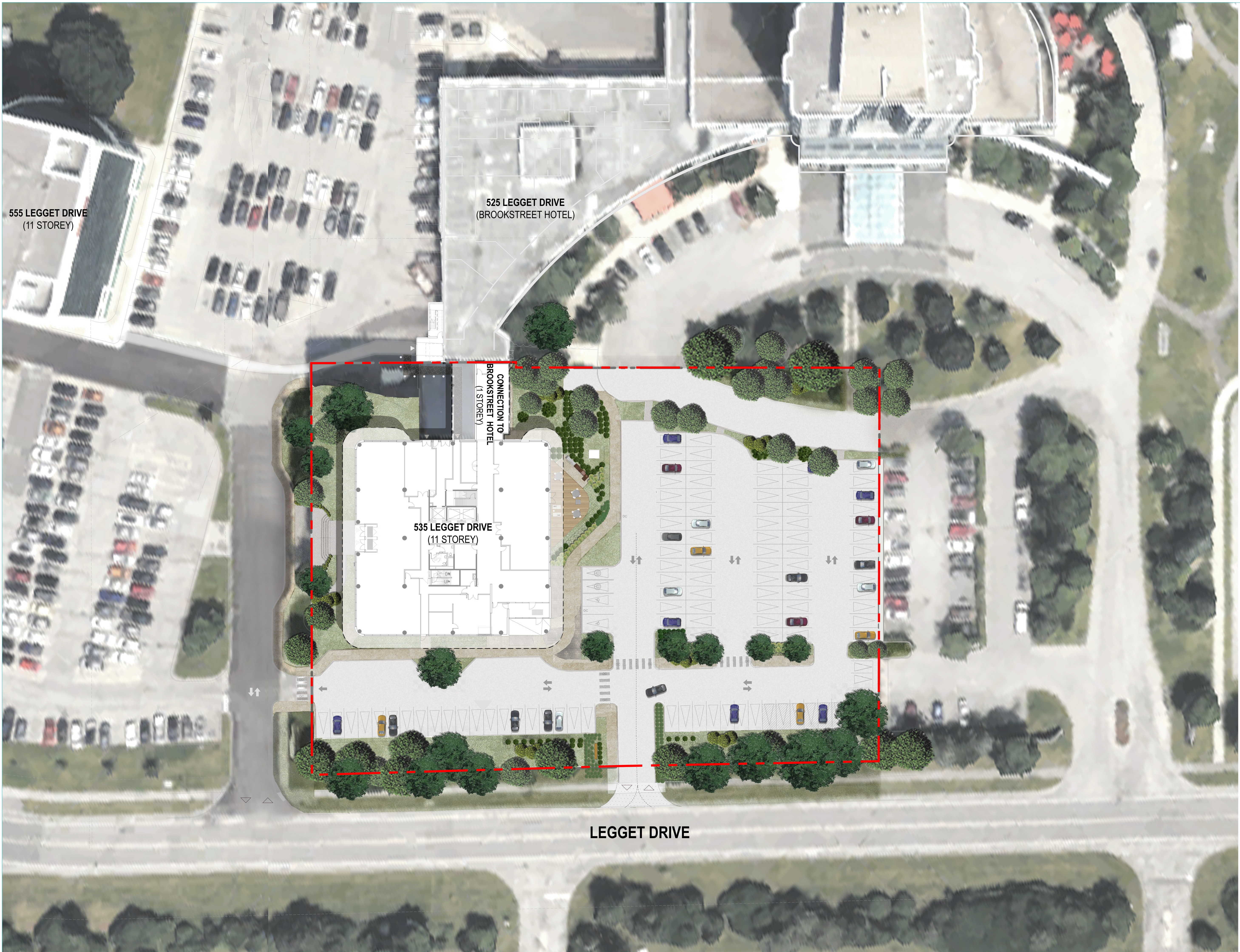
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AT MS

VERIFIÉ PAR Checked by
KP

DATE (aa mm ii) ECHELLE Scale
24.09.18 As

TITRE DU DESSIN Drawing Title indicated
GENERAL SITE PLAN - PROJECTED

REVISION Revision NO. DESSIN Draw Number
Q A101P



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ARCHITECT(E)S



CLIENT / Client



OUVRAGE / Project

535 LEGGET DRIVE

EMPLACEMENT / Location
535 LEGGET DRIVE,
KANATA, ONTARIO

NO PROJET / No.
13338

NO	RÉVISION	DATE (aa-mm-ii)
Q	ISSUED FOR SITE PLAN APPROVAL	2025 01 13

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DATE (aa mm ii)
24.11.29

TITRE DU DESSIN / Drawing Title
RENDERED CONTEXT PLAN

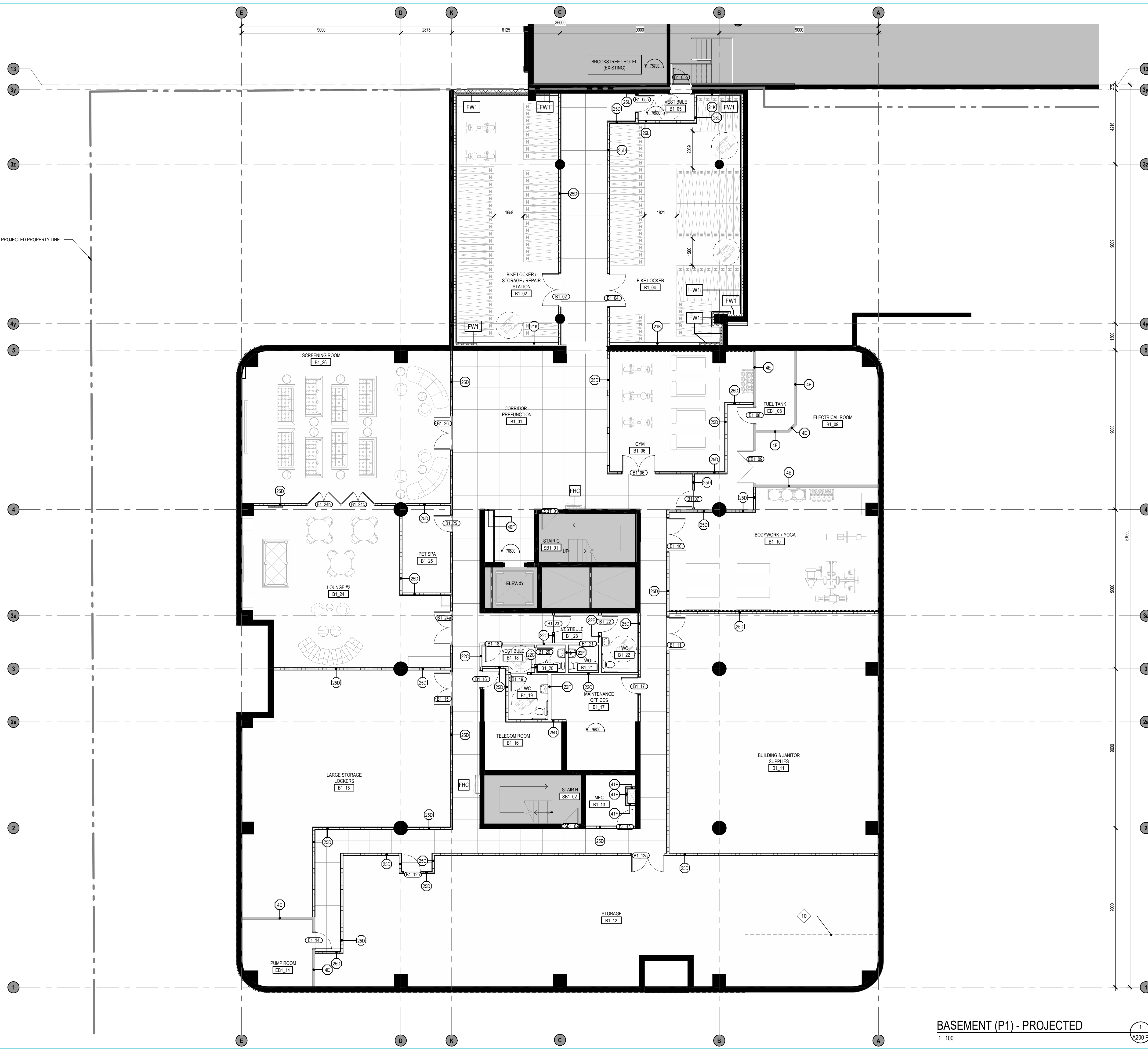
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ÉCHELLE / Scale

NO. DESSIN / Dwg Number
A102P

REVISION / Revision
Q

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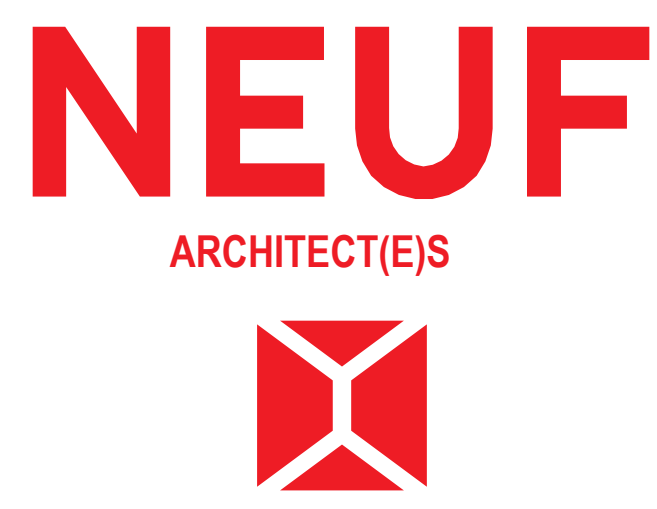
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CLIENT Client
535 LEGGET DRIVE

EMPLACEMENT Location NO PROJET No.
535 LEGGET DRIVE, 13338
KANATA, ONTARIO

NO	REVISION	DATE (aa-mm-ii)
Q	ISSUED FOR SITE PLAN APPROVAL	2025 01 13

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TITRE DU DESSIN Drawing Title
SPA - BASEMENT - PROJECTED

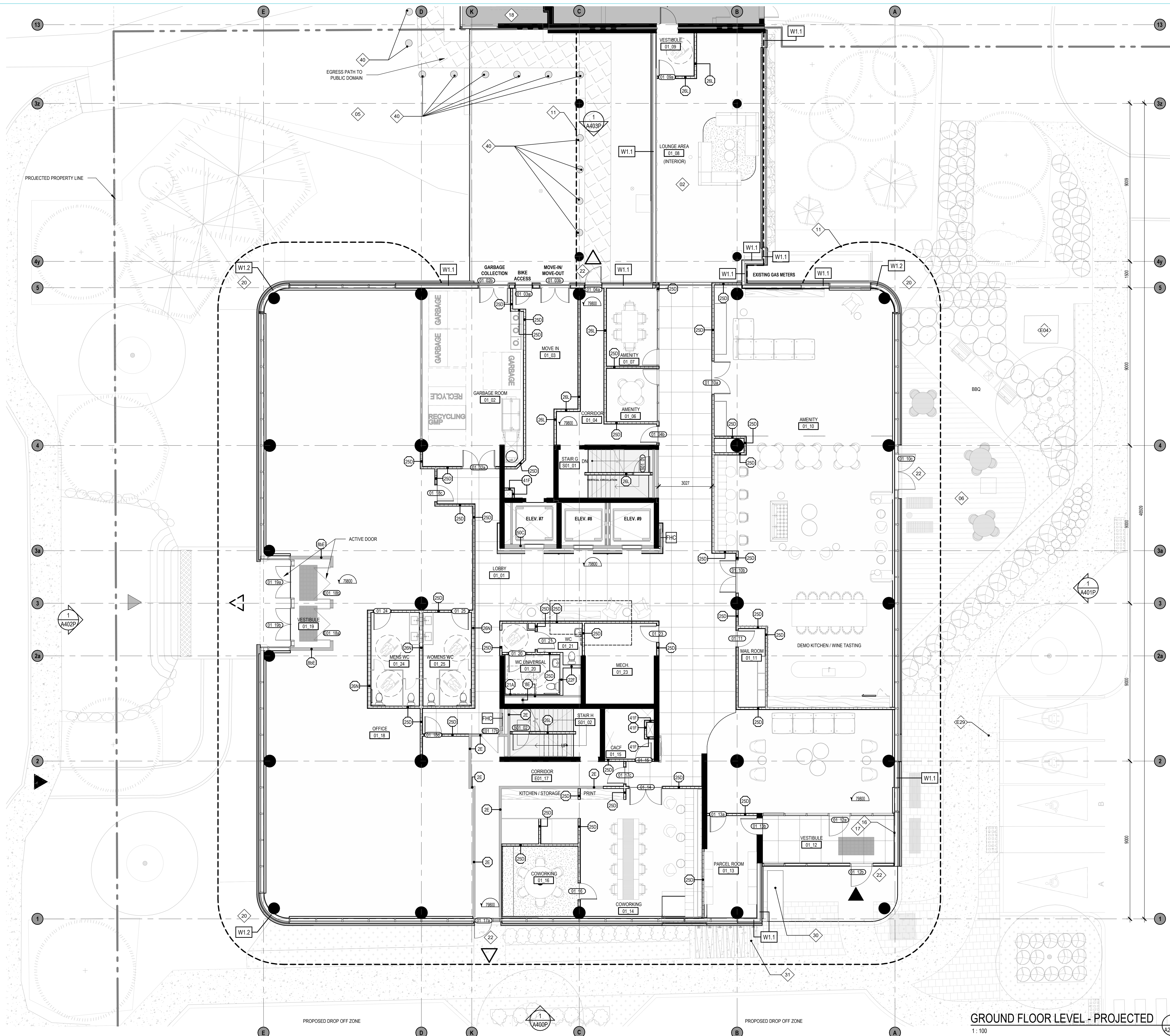
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A200P
#1921+

WALL AND DOOR LEGEND	
	EXISTING WALL
	EXISTING STRUCTURE
	DEMOLISH WALL
	NEW WALL
	DEMOLISH DOOR
	EXISTING DOOR
	NEW DOOR

BASEMENT (P1) - PROJECTED
1:100

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LINE TYPE & ACCESS LEGEND	
	VEHICULAR ENTRY
	ACCESS TO BUILDING
	ACCESS TO OFFICE
	EXITS
	FIRE ROUTE (ON SITE)
	PROPERTY LINE
	CIRCULATION ARROW
	SETBACK

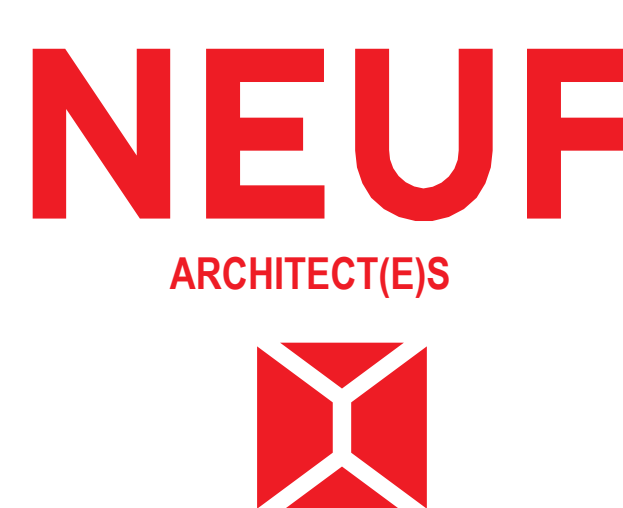
WALL AND DOOR LEGEND	
	EXISTING WALL
	EXISTING STRUCTURE
	DEMOLISH WALL
	NEW WALL
	DEMOLISH DOOR
	EXISTING DOOR
	NEW DOOR

GROUND FLOOR LEVEL - PROJECTED
 1:100

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NOVATECH
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 DESIGN INTERIEUR Interior Design
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 630, boul. René-Lévesque O. 32e étage, Montréal QC H3B 1S6
 T 514 847 1117, NEUFarchitectes.com
 SCEAU / Seal



CLIENT Client
535 LEGGET DRIVE

EMPLACEMENT Location NO. PROJET No.
 535 LEGGET DRIVE, KANATA, ONTARIO 13338

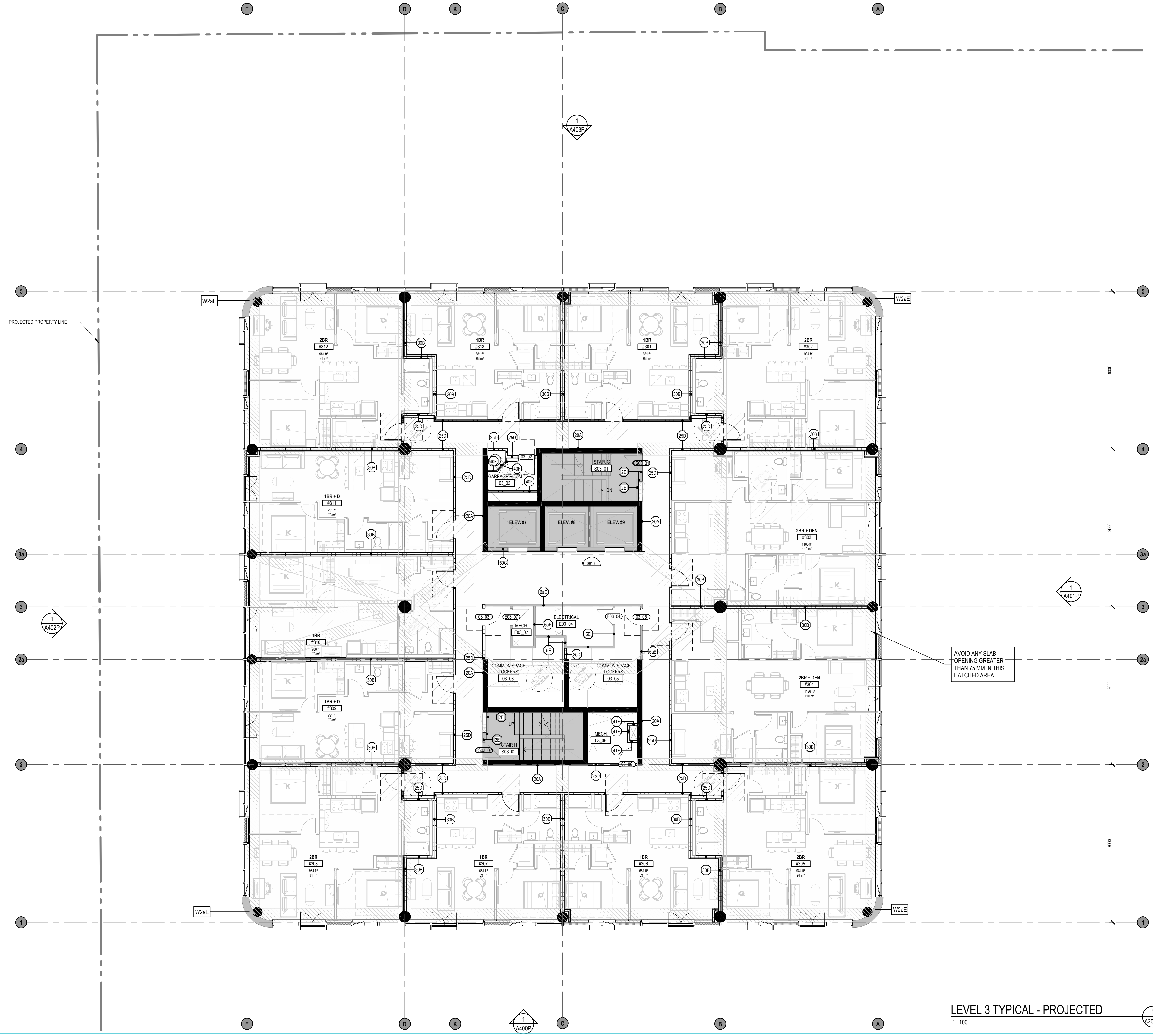
NO. REVISION DATE (aa-mm-jj)
 Q ISSUED FOR SITE PLAN APPROVAL 2025 01 13

DESIGNÉ PAR Drawn by
 AT MS
 DATE (aa-mm-jj)
 24.09.18
 TITRE DU DESSIN Drawing Title
SPA - GROUND FLOOR - PROJECTED

VERIFIÉ PAR Checked by
 KP
 ÉCHELLE Scale
 As indicated

REVISION Revision NO. DESSIN Drawing Number
Q A201P
 #1921*

D02-02-24-0058/D07-12-24-0123



LEVEL 3 TYPICAL - PROJECTED

1:100

GENERAL NOTES	
# NOTE	DESCRIPTION
01	OUTLINE OF CANOPY ON LEVEL 2
02	LINK TO BROOKSTREET HOTEL
03	PROPOSED NEW ENTRANCE CONCRETE PATH
04	PROPOSED NEW VEHICULAR ENTRANCE
05	GRADING TO SLOPE TOWARDS EXISTING LOADING DOCK LEVEL TO FACILITATE MOVE-IN MOVE-OUT AND GARBAGE COLLECTION (B.S. MAX FOR GARBAGE COLLECTION) SEE CIVIL ENG.
06	PROPOSED EXTERIOR DECK (REFER TO LANDSCAPE ARCHITECT)
07	NEW SIGNAGE
08	ADDITIONAL TREE (REFER TO LANDSCAPE ARCHITECT)
10	PROJECTED BUILDING OUTLINE - GROUND FLOOR
11	MARQUISE OUTLINE
14	PROJECTED BUILDING OUTLINE - SECOND FLOOR
16	CONTACT PANEL (SEE ELECTRICAL ENG.)
17	FIRE PANEL (SEE ELECTRICAL ENG.)
18	PROPOSED EXIT STAIR FROM BROOKSTREET HOTEL (TO BE ADDRESSED UNDER A SEPARATE PERMIT APPLICATION)
19	RELOCATED ROPE GUIDE
20	CONCRETE DRAINAGE SPLASH PAD (REFER TO LANDSCAPE ARCHITECT)
21	FOOT SCRAPER GRILLE (7/A031)
22	ACCESSIBLE ENTRANCE/EXIT ACCESS (AS REQUIRED FOR RHFAC)
23	SCUPPER
30	SEATING AREA
31	PROPOSED EXTERIOR BIKE PARKING
32	EXIT TOWARDS BROOKSTREET HOTEL
33	STRUCTURAL REINFORCEMENT (2"X12" TRIPLE ROW) BEHIND DRYWALL AT TOILET AND SHOWER AS REQUIRED FOR BREAC.
34	STRUCTURAL REINFORCEMENT (2"X12" TRIPLE ROW) IN BEDROOM FOR CLOTHES ROD AS REQUIRED FOR RHFAC
35	FLOORING FINISH MUST CONTINUE UNDER WASHROOM VANITY AS REQUIRED FOR RHFAC.
36	FLOORING FINISH MUST CONTINUE UNDER KITCHEN CABINETS AS REQUIRED FOR RHFAC.
37	DEPRESSED SIDEWALK (SEE LANDSCAPE ARCHITECT)
38	PROPOSED PAINTED EGRESS PATH (SEE LANDSCAPE ARCHITECT)
39	EXISTING ELECTRIC VEHICLE CHARGING STATION
40	PROPOSED BOLLARDS (SEE CIVIL ENG.)
41	BARRIER FREE TACTILE PAVERS (SEE CIVIL ENG.)

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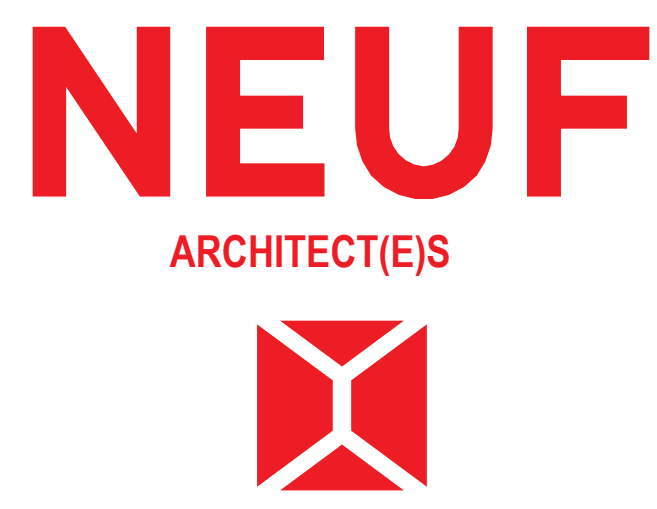
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CLIENT Client
535 LEGGET DRIVE

EMPLACEMENT Location NO PROJECT No.
535 LEGGET DRIVE 13338
KANATA, ONTARIO

NO	REVISION	DATE (aa-mm-ii)
Q	ISSUED FOR SITE PLAN APPROVAL	2025 01 13

WALL AND DOOR LEGEND	
	EXISTING WALL
	EXISTING STRUCTURE
	DEMOLISH WALL
	NEW WALL
	DEMOLISH DOOR
	EXISTING DOOR
	NEW DOOR

DESIGNÉ PAR Drawn by
AT MS
DATE (aa-mm-ii)
24.09.18
TITRE DU DESSIN Drawing Title

VERIFIÉ PAR Checked by
KP
ECHELLE Scale
As
indicated

SPA - TYPICAL FLOOR PLAN - PROJECTED

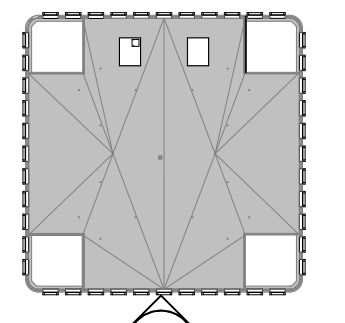
REVISION Revision NO. DESSIN Dwg Number
Q A202P

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PARTIAL ELEVATION - TYPICAL FACADE 2
1:100

SOUTH ELEVATION - PROJECTED 1
1:100



KEY PLAN 3
1:1000

GENERAL NOTES

# NOTE	DESCRIPTION
01	OUTLINE OF CANOPY ON LEVEL 2
02	LINK TO BROOKSTREET HOTEL
03	PROPOSED NEW ENTRANCE CONCRETE PATH
04	PROPOSED NEW VEHICULAR ENTRANCE
05	GRADING TO SLOPE TOWARDS EXISTING LOADING DOCK LEVEL TO FACILITATE MOVE-IN/ MOVE-OUT AND GARBAGE COLLECTION (85% MAX FOR GARBAGE COLLECTION) SEE CIVIL ENG.
06	PROPOSED EXTERIOR DECK (REFER TO LANDSCAPE ARCHITECT)
07	NEW SIGNAGE
08	ADDITIONAL TREE (REFER TO LANDSCAPE ARCHITECT)
10	PROJECTED BUILDING OUTLINE - GROUND FLOOR
11	MARQUEE OUTLINE
14	PROJECTED BUILDING OUTLINE - SECOND FLOOR
16	CONTACT PANEL (SEE ELECTRICAL ENG.)
17	FIRE PANEL (SEE ELECTRICAL ENG.)
18	PROPOSED EXIT STAIR FROM BROOKSTREET HOTEL (TO BE ADDRESSED UNDER A SEPARATE PERMIT APPLICATION)
19	RELOCATED ROPE GUIDE
20	CONCRETE DRAINAGE SPLASH PAD (REFER TO LANDSCAPE ARCHITECT)
21	FOOT SCRAPER GRILLE (71A031)
22	ACCESSIBLE ENTRANCE/ EXIT ACCESS (AS REQUIRED FOR RHFC)
23	SCUPPER
29	SEATING AREA
31	PROPOSED EXTERIOR BIKE PARKING
32	EXIT TOWARDS BROOKSTREET HOTEL
33	STRUCTURAL REINFORCEMENT (2"X12" TRIPLE ROW) BEHIND DRYWALL AT TOILET AND SHOWER AS REQUIRED FOR RHFC
34	STRUCTURAL REINFORCEMENT (2"X12" TRIPLE ROW) IN BEDROOM FOR CLOTHES ROD AS REQUIRED FOR RHFC
35	FLOORING FINISH MUST CONTINUE UNDER WASHROOM VANITY AS REQUIRED FOR RHFC
36	FLOORING FINISH MUST CONTINUE UNDER KITCHEN CABINETRY AS REQUIRED FOR RHFC
37	DEPRESSED SIDEWALK (SEE LANDSCAPE ARCHITECT)
38	PROPOSED PAINTED EGRESS PATH (SEE LANDSCAPE ARCHITECT)
39	EXISTING ELECTRIC VEHICLE CHARGING STATION
40	PROPOSED BOLLARDS (SEE CIVIL ENG.)
41	BARRIER FREE TACTILE PAVERS (SEE CIVIL ENG.)

EXTERIOR MATERIAL LEGEND (PROJECTED)

1P	CLEAR GLASS
2P	GLASS SPANDREL
3P	TEXTURED METALLIC SPANDREL
4P	LINED GLASS (BIRD SAFETY)
5P	LINED GLASS SPANDREL (BIRD SAFETY)
6P	JULIETTE BALCONY FRAME
7P	VENTILATION LOUVERS IN WINDOW WALL
8P	PRECAST (TO BE PAINTED IN TYPE 2 - LIGHT GREY)
9P	PRECAST (TO BE PAINTED IN TYPE 1 - DARK GREY)
10P	METAL CLADDING
11P	VENTILATION LOUVERS IN PRECAST

GUARDRAIL DETAILS AND SECTIONS LEGEND

For guardrail details and sections refer to A530:

A	GLASS JULIETTE GUARDRAIL
B	GLASS GUARDRAIL ON TERRACES
C	GLASS JULIETTE GUARDRAIL ON LEVEL 2 AND 3 ONLY

ELEVATION LEGEND

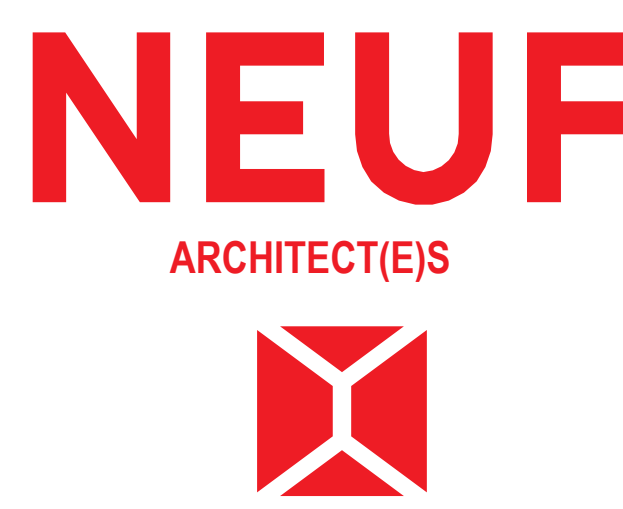
(-)	CONSTRUCTION NOTES
(D)	DEMOLITION NOTES
(E)	NOTES ON EXISTING ELEMENTS
(W)	WINDOW TYPE SYMBOL (REFER TO WINDOW ELEVATIONS SHEET)
(WA)	CURTAIN WALL ELEVATION SYMBOL (REFER TO WINDOW ELEVATIONS SHEET)
(R)	RADIATION FACADE SURFACE TO BE PROTECTED, 1 H FRR

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CLIENT Client
535 LEGGET DRIVE
EMPLACEMENT Location NO PROJET No. 13338
535 LEGGET DRIVE, KANATA, ONTARIO

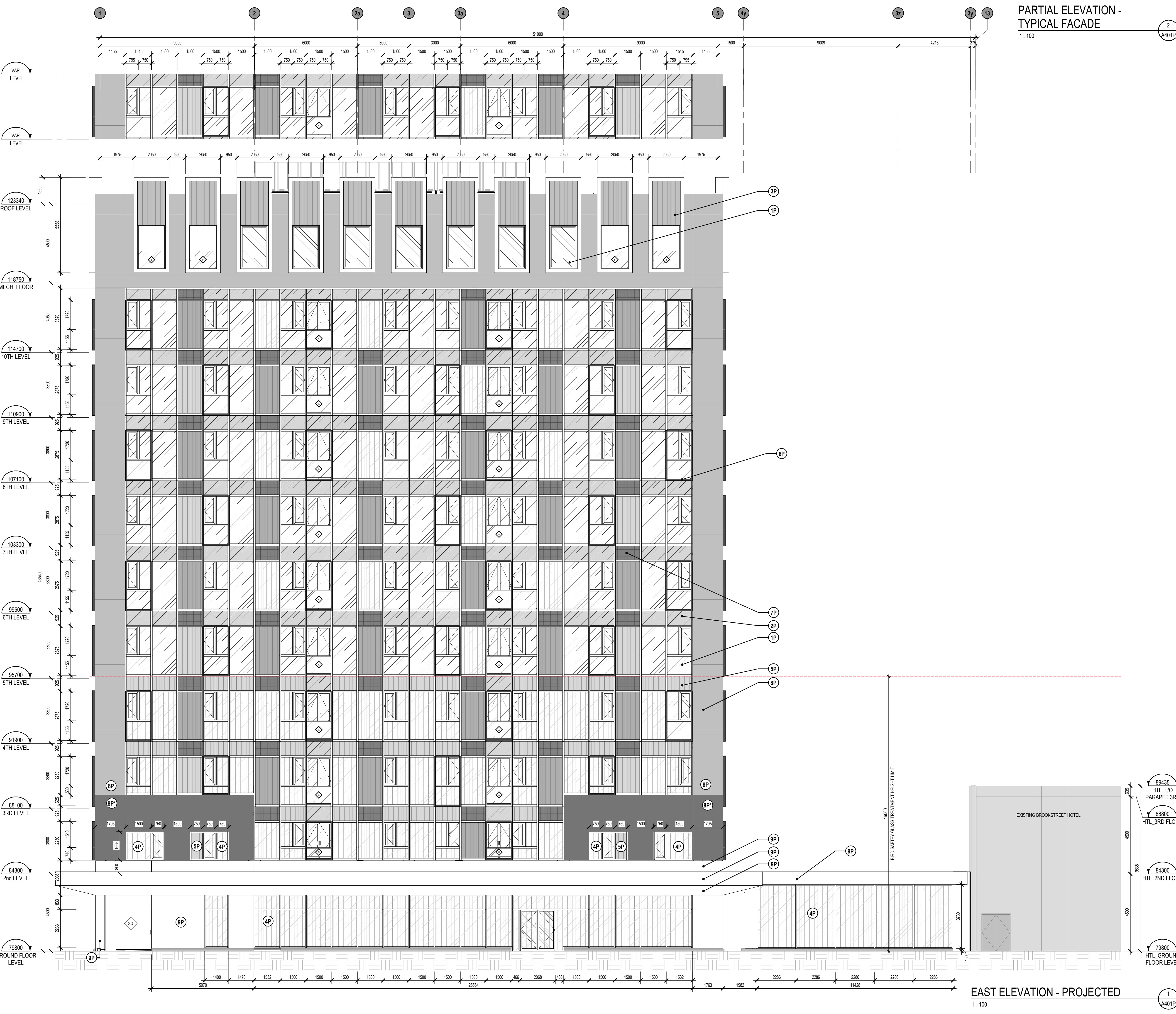
NO REVISION DATE (aa-mm-ii)
Q ISSUED FOR SITE PLAN APPROVAL 2025 01 13

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DATE (aa mm ii) 24.06.11 ÉCHELLE Scale As
TITRE DU DESSIN Drawing Title indicated

SOUTH ELEVATION - PROJECTED

REVISION Revision NO. DESSIN Dwg Number
Q A400P
#19216

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PARTIAL ELEVATION - TYPICAL FACADE

1:100

2
A401P

KEY PLAN

1:1000

3
A401P

GENERAL NOTES

# NOTE	DESCRIPTION
01	OUTLINE OF CANOPY ON LEVEL 2
02	LINK TO BROOKSTREET HOTEL
03	PROPOSED NEW ENTRANCE CONCRETE PATH
04	PROPOSED NEW VEHICULAR ENTRANCE
05	GRADING TO SLOPE TOWARDS EXISTING LOADING DOCK LEVEL TO FACILITATE MOVE-IN MOVE-OUT AND GARBAGE COLLECTION (SEE MAX FOR GARBAGE COLLECTION) (SEE CIVIL ENG.)
06	PROPOSED EXTERIOR DECK (REFER TO LANDSCAPE ARCHITECT)
07	NEW SIGNAGE
08	ADDITIONAL TREE (REFER TO LANDSCAPE ARCHITECT)
10	PROJECTED BUILDING OUTLINE - GROUND FLOOR
11	MARQUISE OUTLINE
14	PROJECTED BUILDING OUTLINE - SECOND FLOOR
16	CONTACT PANEL (SEE ELECTRICAL ENG.)
17	FIRE PANEL (SEE ELECTRICAL ENG.)
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19	RELOCATED ROPE GUIDE
20	CONCRETE DRAINAGE SPLASH PAD (REFER TO LANDSCAPE ARCHITECT)
21	FOOT SCRAPER GRILLE (71A031)
22	ACCESSIBLE ENTRANCE/ EXIT ACCESS (AS REQUIRED FOR RH/FAC)
23	SCUPPER
30	SEATING AREA
31	PROPOSED EXTERIOR BIKE PARKING
32	EXIT TOWARDS BROOKSTREET HOTEL
33	STRUCTURAL REINFORCEMENT (2"x12" TRIPLE ROW) BEHIND DRYWALL AT TOILET AND SHOWER AS REQUIRED FOR RH/FAC
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35	FLOORING FINISH MUST CONTINUE UNDER WASHROOM VANITY AS REQUIRED FOR RH/FAC
36	FLOORING FINISH MUST CONTINUE UNDER KITCHEN CABINETS AS REQUIRED FOR RH/FAC
37	DEPRESSED SIDEWALK (SEE LANDSCAPE ARCHITECT)
38	PROPOSED PAINTED EGRESS PATH (SEE LANDSCAPE ARCHITECT)
39	EXISTING ELECTRIC VEHICLE CHARGING STATION
40	PROPOSED BOLLARDS (SEE CIVIL ENG.)
41	BARRIER FREE TACTILE PAVERS (SEE CIVIL ENG.)

EXTERIOR MATERIAL LEGEND (PROJECTED)

1P	CLEAR GLASS
2P	GLASS SPANDREL
3P	TEXTURED METALLIC SPANDREL
4P	LINED GLASS (BIRD SAFETY)
5P	LINED GLASS SPANDREL (BIRD SAFETY)
6P	JULIETTE BALCONY FRAME
7P	VENTILATION LOUVERS IN WINDOW WALL
8P	PRECAST (TO BE PAINTED IN TYPE 2 - LIGHT GREY)
8P*	PRECAST (TO BE PAINTED IN TYPE 1 - DARK GREY)
9P	METAL CLADDING
10P	VENTILATION LOUVERS IN PRECAST

GUARDRAIL DETAILS AND SECTIONS LEGEND

For guardrail details and sections refer to A530:

A	GLASS JULIETTE GUARDRAIL
B	GLASS GUARDRAIL ON TERRACES
C	GLASS JULIETTE GUARDRAIL ON LEVEL 2 AND 3 ONLY

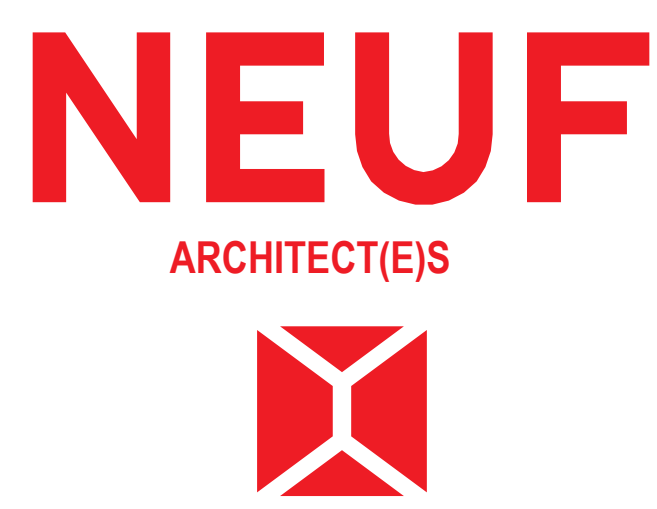
ELEVATION LEGEND

(-)	CONSTRUCTION NOTES
(D)	DEMOLITION NOTES
(E)	NOTES ON EXISTING ELEMENTS
(W)	WINDOW TYPE SYMBOL (REFER TO WINDOW ELEVATIONS SHEET)
(WA)	CURTAIN WALL ELEVATION SYMBOL (REFER TO WINDOW ELEVATIONS SHEET)
(R)	RADIATION FACADE SURFACE TO BE PROTECTED, 1 H FRR

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CLIENT / Client
535 LEGGET DRIVE
EMPLACEMENT / Location
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KANATA, ONTARIO
NO PROJET No.
13338
NO REVISION
DATE (aa-mm-jj)
ISSUED FOR SITE PLAN APPROVAL
2025 01 13

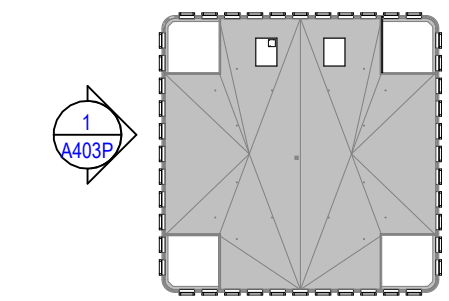
DESSINÉ PAR / Drawn by
AT MS
DATE (aa mm jj)
24.06.11
TITRE DU DESSIN / Drawing Title
EAST ELEVATION - PROJECTED
VERIFIÉ PAR / Checked by
KP
ECHELLE / Scale
As indicated

REVISION / Revision
Q
NO. DESSIN / Dwg Number
A401P
#19216

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PARTIAL ELEVATION - TYPICAL FACADE

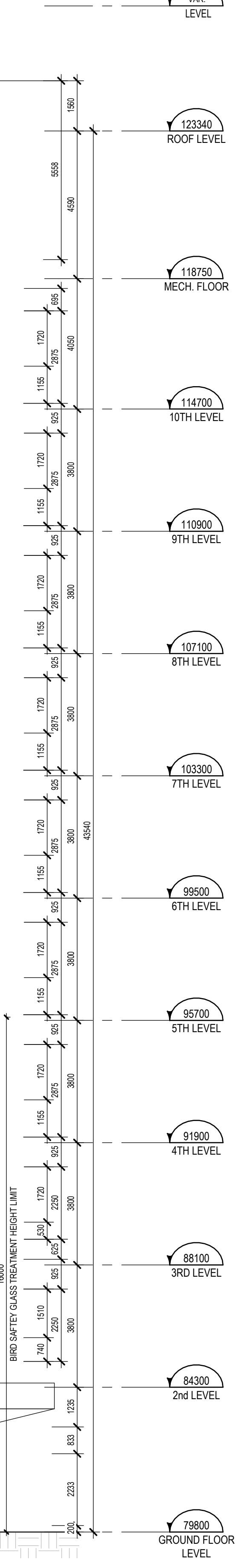
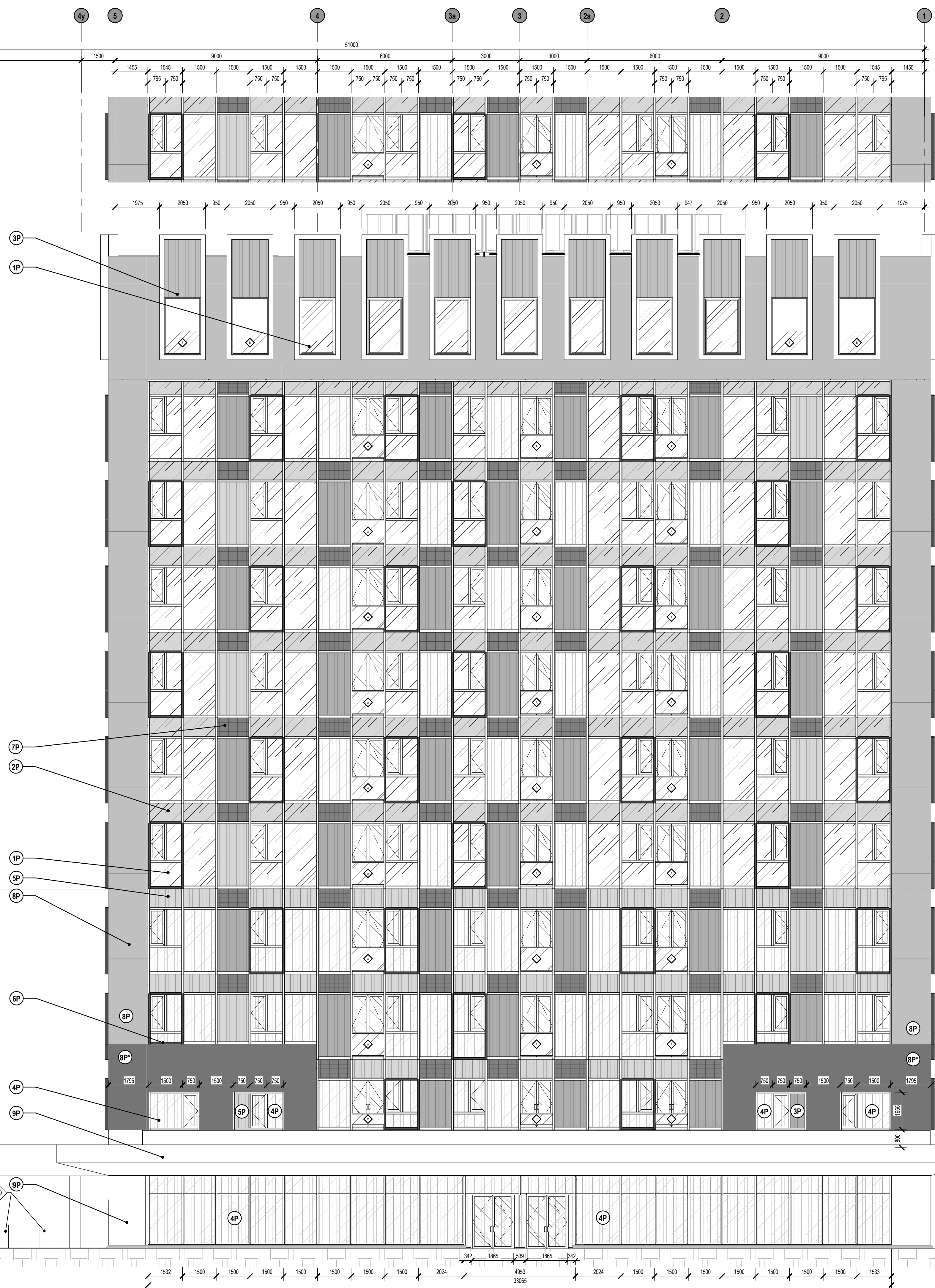
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KEY PLAN

1: 1000

A402P



GENERAL NOTES

#	NOTE	DESCRIPTION
01	OUTLINE OF CANOPY ON LEVEL 2	
02	LINK TO BROOKSTREET HOTEL	
03	PROPOSED NEW ENTRANCE CONCRETE PATH	
04	PROPOSED NEW VEHICULAR ENTRANCE	
05	GRADING TO SLOPE TOWARDS EXISTING LOADING DOCK LEVEL TO FACILITATE MOVE-IN MOVE-OUT AND GARBAGE COLLECTION (SEE MAX FOR GARBAGE COLLECTION) SEE CIVIL ENG.	
06	PROPOSED EXTERIOR DECK (REFER TO LANDSCAPE ARCHITECT)	
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22	ACCESSIBLE ENTRANCE/EXIT ACCESS (AS REQUIRED FOR RHFAC)	
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34	STRUCTURAL REINFORCEMENT (2"X12" TRIPLE ROW) IN BEDROOM FOR CLOTHES ROD AS REQUIRED FOR RHFAC	
35	FLOORING FINISH MUST CONTINUE UNDER WASHROOM VANITY AS REQUIRED FOR RHFAC	
36	FLOORING FINISH MUST CONTINUE UNDER KITCHEN CABINETS AS REQUIRED FOR RHFAC	
37	DEPRESSED SIDEWALK (SEE LANDSCAPE ARCHITECT)	
38	PROPOSED PAINTED EGRESS PATH (SEE LANDSCAPE ARCHITECT)	
39	EXISTING ELECTRIC VEHICLE CHARGING STATION	
40	PROPOSED BOLLARDS (SEE CIVIL ENG.)	
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EXTERIOR MATERIAL LEGEND (PROJECTED)

1P	CLEAR GLASS
2P	GLASS SPANDREL
3P	TEXTURED METALLIC SPANDREL
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11P	VENTILATION LOUVERS IN PRECAST

GUARDRAIL DETAILS AND SECTIONS LEGEND

For guardrail details and sections refer to A530:

A	GLASS JULIETTE GUARDRAIL
B	GLASS GUARDRAIL ON TERRACES
C	GLASS JULIETTE GUARDRAIL ON LEVEL 2 AND 3 ONLY

ELEVATION LEGEND

(-)	CONSTRUCTION NOTES
(D)	DEMOLITION NOTES
(E)	NOTES ON EXISTING ELEMENTS
(W)	WINDOW TYPE SYMBOL (REFER TO WINDOW ELEVATIONS SHEET)
(WA)	CURTAIN WALL ELEVATION SYMBOL (REFER TO WINDOW ELEVATIONS SHEET)
(R)	RADIATION FACADE SURFACE TO BE PROTECTED, 1 H FRR

WEST ELEVATION - PROJECTED

1: 100

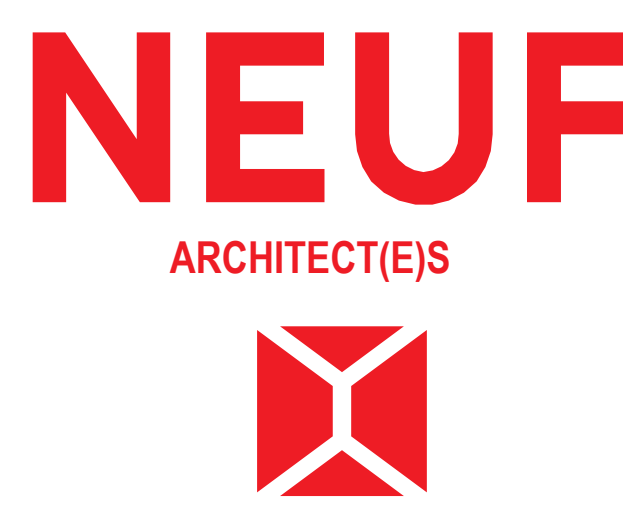
A402P

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SCEAU / Seal



CLIENT Client
535 LEGGET DRIVE

EMPLACEMENT Location NO. PROJET No.
535 LEGGET DRIVE, KANATA, ONTARIO 13338

NO. REVISION DATE (aa-mm-jj)
Q ISSUED FOR SITE PLAN APPROVAL 2025 01 13

DESSINÉ PAR Drawn by AT MS VÉRIFIÉ PAR Checked by KP
DATE (aa mm jj) 24.06.11 ÉCHELLE Scale As indicated
TITRE DU DESSIN Drawing Title

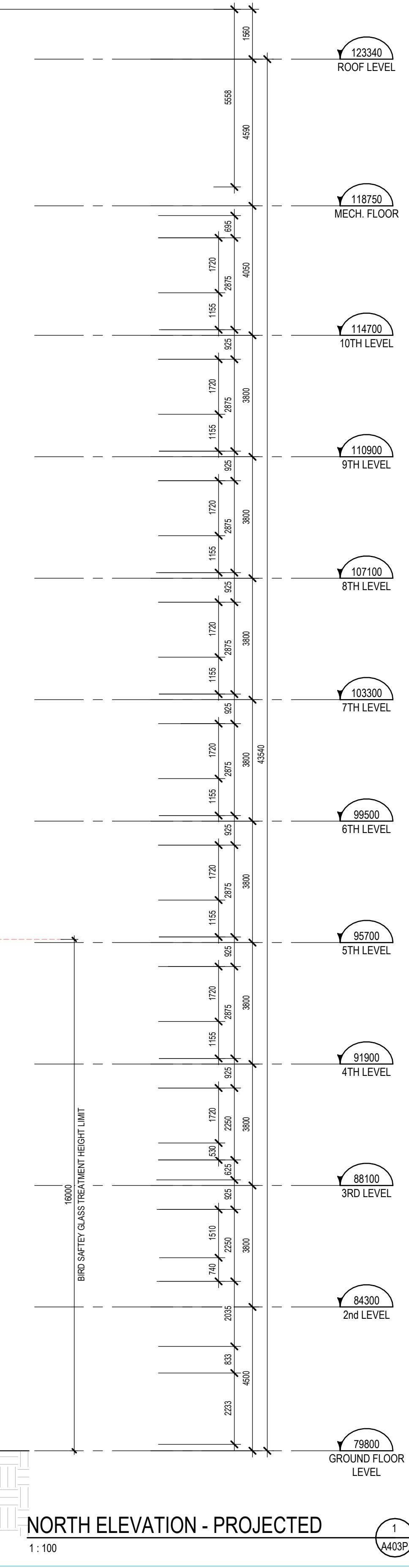
WEST ELEVATION - PROJECTED

NO. DESSIN Dwg Number
A402P
#19216

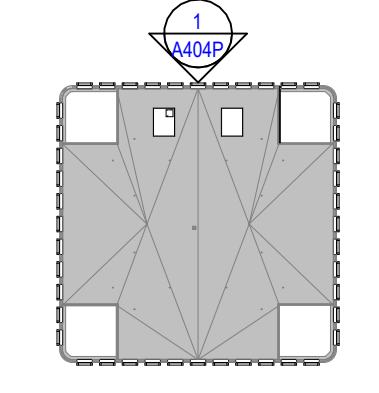
D02-02-24-0058\007-12-24-2123



PARTIAL ELEVATION - TYPICAL FACADE 2
1 : 100
A403P



NORTH ELEVATION - PROJECTED 1
1 : 100
A403P



KEY PLAN
1 : 1000
A403P

GENERAL NOTES

# NOTE	DESCRIPTION
01	OUTLINE OF CANOPY ON LEVEL 2
02	LINK TO BROOKSTREET HOTEL
03	PROPOSED NEW ENTRANCE CONCRETE PATH
04	PROPOSED NEW VEHICULAR ENTRANCE
05	GRADING TO SLOPE TOWARDS EXISTING LOADING DOCK LEVEL TO FACILITATE MOVE-IN MOVE-OUT AND GARBAGE COLLECTION (85% MAX FOR GARBAGE COLLECTION) (SEE CIVIL ENG. PROPOSED EXTERIOR DECK) (REFER TO LANDSCAPE ARCHITECT)
06	NEW SIGNAGE
08	ADDITIONAL TREE (REFER TO LANDSCAPE ARCHITECT)
10	PROJECTED BUILDING OUTLINE - GROUND FLOOR
11	MARQUEE OUTLINE
14	PROJECTED BUILDING OUTLINE - SECOND FLOOR
16	CONTACT PANEL (SEE ELECTRICAL ENG.)
17	FIRE PANEL (SEE ELECTRICAL ENG.)
18	PROPOSED EXIT STAIR FROM BROOKSTREET HOTEL (TO BE ADDRESSED UNDER A SEPARATE PERMIT APPLICATION)
19	RELOCATED ROPE GUIDE
20	CONCRETE DRAINAGE SPLASH PAD (REFER TO LANDSCAPE ARCHITECT)
21	FOOT SCRAPER GRILLE (7/10/31)
22	ACCESSIBLE ENTRANCE/EXIT ACCESS (AS REQUIRED FOR RH/FAC)
23	SCUPPER
29	SEATING AREA
31	PROPOSED EXTERIOR BIKE PARKING
32	EXIT TOWARDS BROOKSTREET HOTEL
33	STRUCTURAL REINFORCEMENT (2"X12" TRIPLE ROW) BEHIND DRYWALL AT TOILET AND SHOWER AS REQUIRED FOR RH/FAC
34	STRUCTURAL REINFORCEMENT (2"X12" TRIPLE ROW) IN BEDROOM FOR CLOTHES ROD AS REQUIRED FOR RH/FAC
35	FLOORING FINISH MUST CONTINUE UNDER WASHROOM VANITY AS REQUIRED FOR RH/FAC
36	FLOORING FINISH MUST CONTINUE UNDER KITCHEN CABINETS AS REQUIRED FOR RH/FAC
37	DEPRESSED SIDEWALK (SEE LANDSCAPE ARCHITECT)
38	PROPOSED PAINTED EGRESS PATH (SEE LANDSCAPE ARCHITECT)
39	EXISTING ELECTRIC VEHICLE CHARGING STATION
40	PROPOSED BOLLARDS (SEE CIVIL ENG.)
41	BARRIER FREE TACTILE PAVERS (SEE CIVIL ENG.)

EXTERIOR MATERIAL LEGEND (PROJECTED)

1P	CLEAR GLASS
2P	GLASS SPANDREL
3P	TEXTURED METALLIC SPANDREL
4P	LINED GLASS (BIRD SAFETY)
5P	LINED GLASS SPANDREL (BIRD SAFETY)
6P	JULIETTE BALCONY FRAME
7P	VENTILATION LOUVERS IN WINDOW WALL
8P	PRECAST (TO BE PAINTED IN TYPE 2 - LIGHT GREY)
8P*	PRECAST (TO BE PAINTED IN TYPE 1 - DARK GREY)
9P	METAL CLADDING
10P	VENTILATION LOUVERS IN PRECAST

GUARDRAIL DETAILS AND SECTIONS LEGEND

For guardrail details and sections refer to A530:

A	GLASS JULIETTE GUARDRAIL
B	GLASS GUARDRAIL ON TERRACES
C	GLASS JULIETTE GUARDRAIL ON LEVEL 2 AND 3 ONLY

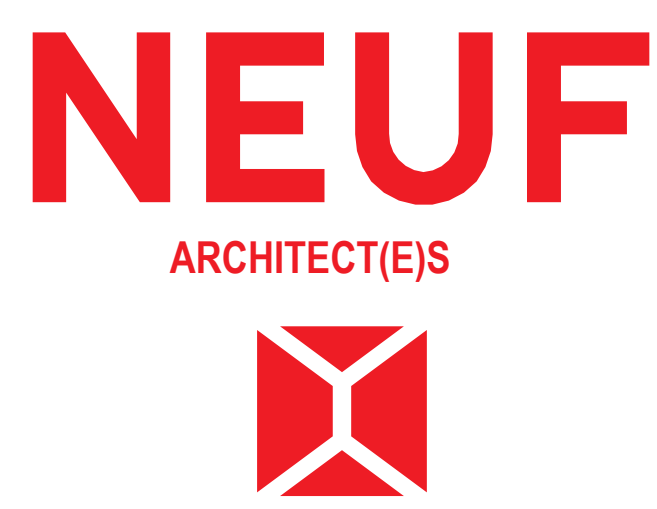
ELEVATION LEGEND

(-)	CONSTRUCTION NOTES
(D)	DEMOLITION NOTES
(E)	NOTES ON EXISTING ELEMENTS
(W)	WINDOW TYPE SYMBOL (REFER TO WINDOW ELEVATIONS SHEET)
(WA)	CURTAIN WALL ELEVATION SYMBOL (REFER TO WINDOW ELEVATIONS SHEET)
(R)	RADIATION FACADE SURFACE TO BE PROTECTED, 1 H FRR

NOTES GÉNÉRALES - General Notes

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NO REVISION DATE (aa-mm-ii)
Q ISSUED FOR SITE PLAN APPROVAL 2025 01 13

DESIGNÉ PAR Drawn by AT MS VÉRIFIÉ PAR Checked by KP
DATE (aa mm ii) 24.06.11 ÉCHELLE Scale As
TITRE DU DESSIN Drawing Title indicated

NORTH ELEVATION - PROJECTED

REVISION Revision NO. DESSIN Dwg Number
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