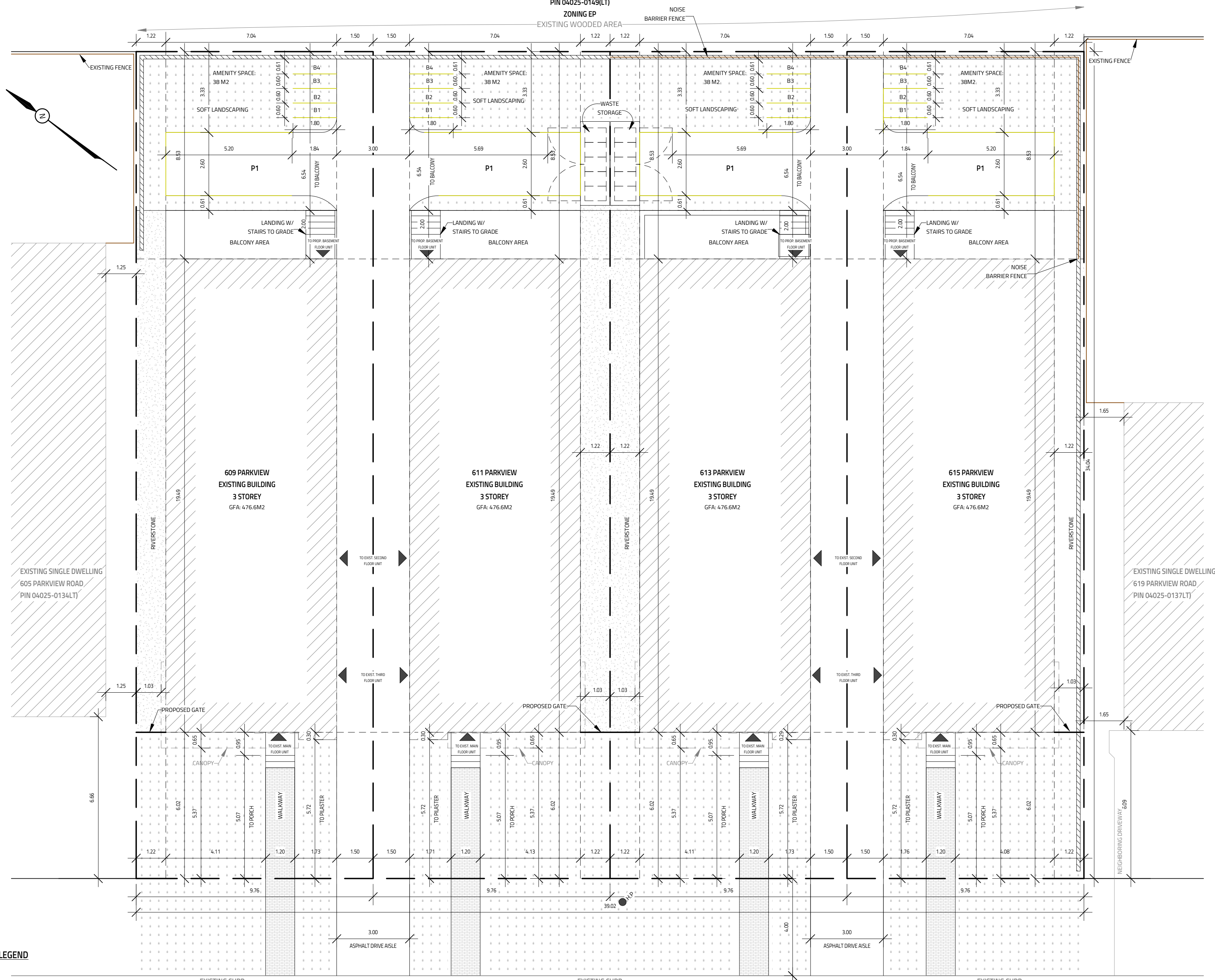


ZONING EP  
EXISTING WOODED AREA



- LEGEND**
- ENTRY POINT ▲
  - FENCE —
  - RETAINING WALL ▨
  - BIKE PARKING —
  - GATE —
  - INTERLOCK WALKWAY ▨
  - HYDRO POLE ●

**PARKVIEW ROAD (17M R.O.W)**  
PIN 04025-0144(LT)  
C/L OF ROAD

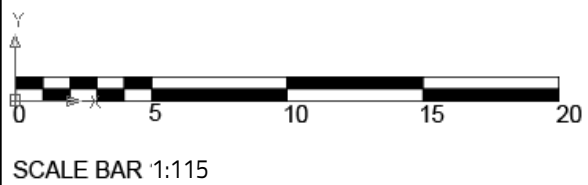
Legal Description	Names and Addresses:					
	Owners/Developer	Applicant	Landscape Architect	Engineer	Surveyor	Designer / Draftsman
Parts 1-9 on Reference Plan 4R-34475	Naascar Inc. & AD Investments	Tim Eisner	James Lennox,	Tony Mak	George Zervos	Spencer Galipeau
Plan of Survey of Lots 102,103, and 104						
and part of Lot 105, Registered Plan No. 265	23A Tristan Court	JFSA Canada Inc.	James B. Lennox & Associates Inc.	T.L. Mak Engineering Consultants Ltd.	J. D. Barnes Limited	Evolution Design and Drafting
City of Ottawa	Ottawa, ON K2E 8B9	52 Springbrook Dr	3332 Carling Ave.	1455 Youville Drive, Suite 218	103 – 62 Steacie Drive	134 Boulonnais Grove
		Ottawa ON, K2S 1B9	Ottawa, Ontario K2H 5A8	Ottawa, ON. K1C 6Z7	Ottawa, Ontario K2K 2A9	Stittsville, Ontario K2V 0S8

**GENERAL NOTES**  
-PROPERTY BOUNDARIES DERIVED FROM J.D BARNES FILE NO: 13-10-659-00 DATED OCTOBER 27, 2016  
-ALL EXISTING STRUCTURES, PEDESTRIAN WALKING AREAS, ASPHALT DRIVE AISLES, PARKING SPACES AND EXISTING FEATURES ARE TO REMAIN

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION UNTIL SIGNED AND DATED BY THE DESIGNER

FIRM BCIN: 45801  
INDIVIDUAL BCIN: 113793

I REVIEW & TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 3.2.4 OF THE OBC 2012. I AM QUALIFIED & THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES/CATEGORIES.



NO.	REVISION	DATE
2	UPDATES TO REAR YARD BIKE PARKING	JANUARY 14, 2025
1	SITE PLAN UPDATE FOR REZONING	APRIL 23, 2024

**609-615 PARKVIEW**  
609 PARKVIEW - FOUR UNITS W/ 2 BED  
611 PARKVIEW - FOUR UNITS W/ 2 BED  
613 PARKVIEW - FOUR UNITS W/ 2 BED  
615 PARKVIEW - FOUR UNITS W/ 2 BED  
OTTAWA, ON

613-884-7068 /// 613-808-7185

SITE PLAN	
DATE DRAWN: MAY 17, 2021	SCALE: 1:115
DRAWN BY: SPENCER GALIPEAU	FILE NAME: 609, 611, 613, 615 PARKVIEW
CHECKED BY:	DWG. NO. A1.0

609, 611, 613, 615 Parkview Rd Zoning Compliance R4-UC[XXXX]			
Mechanism	Required	Provided	Conforms
Minimum Lot Area	300 m <sup>2</sup>	332 m <sup>2</sup>	Yes
Maximum Lot Area	1070 m <sup>2</sup>	332 m <sup>2</sup>	Yes
Minimum Lot Width	10 m	9.76 m	No (Relief Requested)
Maximum Lot Width	38 m	9.76 m	Yes
Minimum Front Yard Setback	4.5 m	6.02 m	Yes
Minimum Interior Side Yard Setback	1.5 m	1.2 m	No (Relief Requested)
Minimum Rear Yard Setback	7.5 m	8.53 m	Yes
Maximum Building Height	11 m	10.07 m	Yes
Parking Spaces	0	4	Yes
Bicycle Parking Spaces	8	16	Yes

GENERAL NOTES  
- E. & O. E.  
- DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS ONLY TO BE USED  
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS ON SITE & REPORT ALL DISCREPANCIES  
- GENERAL CONTRACTOR TO CONSTRUCT IN ACCORDANCE w/ THE O.B.C. 2012, ANY MUNICIPAL BY LAWS & ALL OTHER APPLICABLE CODES