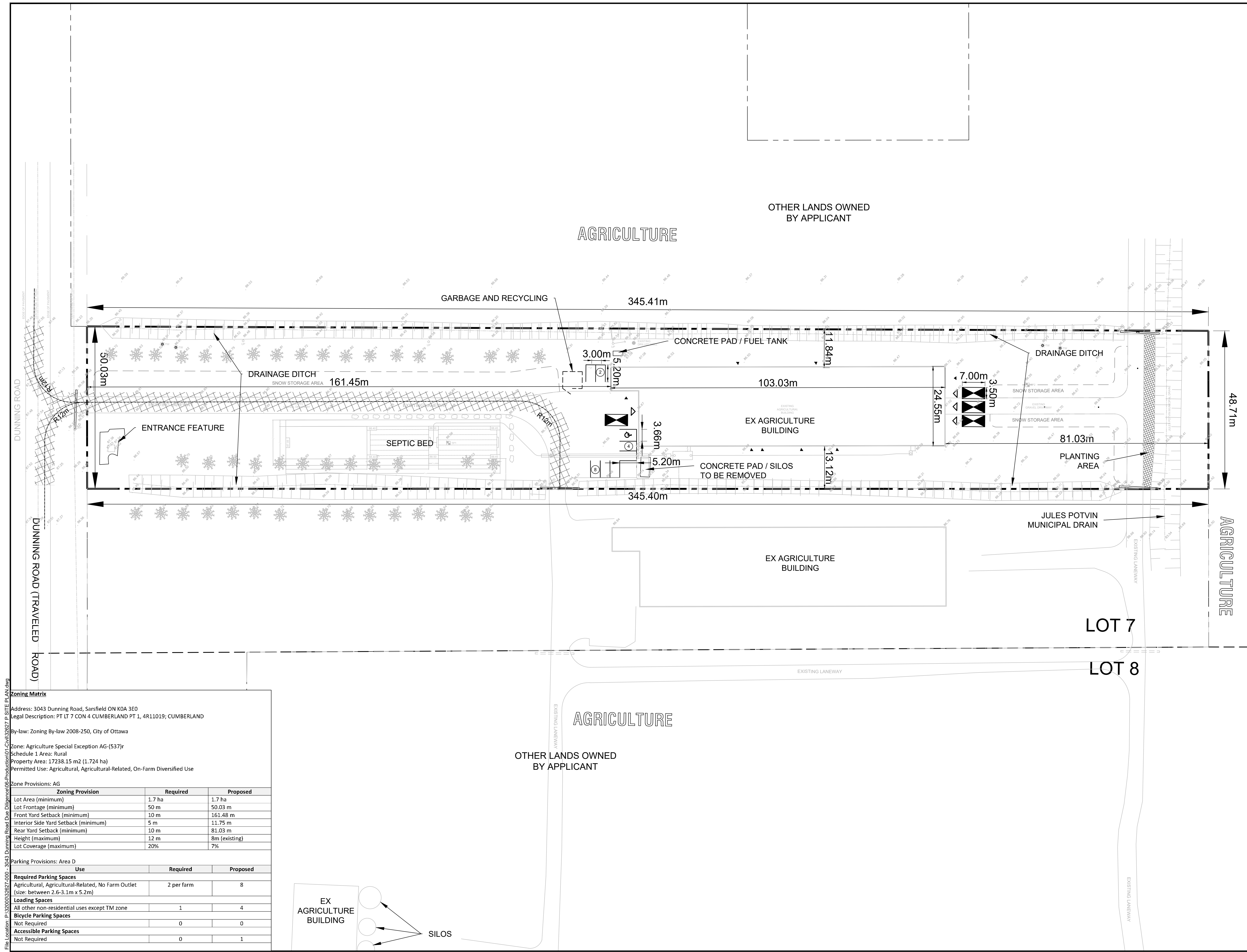


- LEGEND
- PEDESTRIAN DOOR LOCATION (EXIT/ACCESS DOOR)
 - OVERHEAD DOOR LOCATION
 - EXISTING WELL
 - BARRIER FREE PARKING SPACE
 - PARKING COUNT
 - BOLLARDS TYP. (REFER TO STRUCTURAL DRAWINGS)
 - EXISTING HYDRO POLE
 - PROPERTY LIMITS
 - LOADING SPACE
 - FIRE ROUTE



No.	ISSUE / REVISION	DDMMYY

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CLIENT:
LAPLANTE POULTRY FARMS LTD.
 3043 DUNNING RD,
 OTTAWA, ON K0A 3E0

CONSULTANT: www.jrichards.ca

J.L. Richards
 ENGINEERS - ARCHITECTS - PLANNERS

DATUM INFORMATION:
 TOPOGRAPHIC SURVEY
 PREPARED BY: KOLLAARD ASSOCIATES
 DATED: JULY 2024
 HORIZONTAL DATUM: MTM ZONE 9, NAD 83
 VERTICAL DATUM: UNKNOWN

PROFESSIONAL STAMP

PROJECT NORTH

PROJECT:
LAPLANTE POULTRY FARMS LTD
 3043 DUNNING ROAD, OTTAWA, ONTARIO

DRAWING:
SITE PLAN

DESIGN: KTK	DRAWING #:
DRAWN: KTK	C01
CHECKED: JB	
JLR #: 32627	

Zoning Matrix

Address: 3043 Dunning Road, Sarsfield ON K0A 3E0
 Legal Description: PT LT 7 CON 4 CUMBERLAND PT 1, 4R11019; CUMBERLAND

By-law: Zoning By-law 2008-250, City of Ottawa

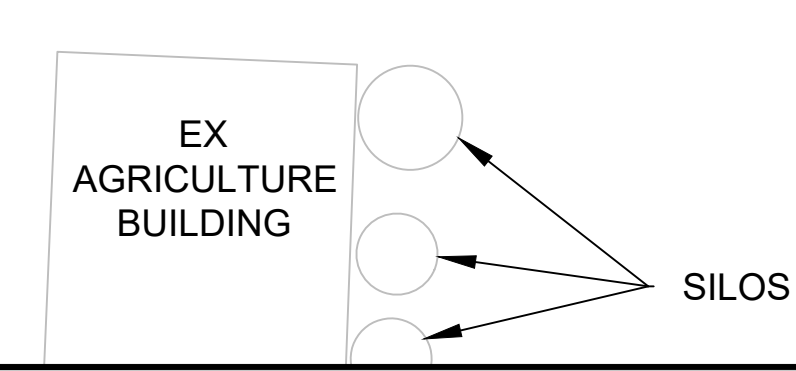
Zone: Agriculture Special Exception AG-(537)r
 Schedule 1 Area: Rural
 Property Area: 17238.15 m² (1.724 ha)
 Permitted Use: Agricultural, Agricultural-Related, On-Farm Diversified Use

Zone Provisions: AG

Zoning Provision	Required	Proposed
Lot Area (minimum)	1.7 ha	1.7 ha
Lot Frontage (minimum)	50 m	50.03 m
Front Yard Setback (minimum)	10 m	161.48 m
Interior Side Yard Setback (minimum)	5 m	11.75 m
Rear Yard Setback (minimum)	10 m	81.03 m
Height (maximum)	12 m	8m (existing)
Lot Coverage (maximum)	20%	7%

Parking Provisions: Area D

Use	Required	Proposed
Required Parking Spaces		
Agricultural, Agricultural-Related, No Farm Outlet (size: between 2.6-3.1m x 5.2m)	2 per farm	8
Loading Spaces		
All other non-residential uses except TM zone	1	4
Bicycle Parking Spaces		
Not Required	0	0
Accessible Parking Spaces		
Not Required	0	1



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PLOT DATE: December 23, 2024 11:58:05 AM